

Motion to adopt proposed budget for FY 2020-2021

Agenda Item: GB061820 - 01

Date:	June 18, 2020
Proposed By:	Jon Liberman
Include motion in Consent Agenda?	No

Background

The neighborhood council needs to adopt a budget prior to July 1, 2020 for the upcoming fiscal year. Enclosed is a copy of the current years budget, the proposed budget for the upcoming fiscal year and an accounting of the present years spending compared to the current year's budget.

Proposed Motion

The neighborhood council will adopt the budget for fy 2020-2021 as proposed..

Considerations

amended if the board decides to revise the budget ...

 Committee review:
 Votes For: n/a
 Against n/a:

 (highly recommended)
 Amount previously allocated in Committee's working budget:
 \$ n/a

 (applies to funding motions only)
 Arguments for:
 Arguments against:

 1.
 Budget as proposed can be

Vice-President Jon Liberman Treasurer

Martin Epstein President Ken Blaker

(vacant)

Charlie Stein Corresponding Secretary

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

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LY Budget

South Robertson Neighborhoods Council Preliminary Budget for Fiscal Year 2019-2020 Approved on :

Funds		
Total Annual Allocation		\$42,000.00
Carry Forward from FY 2018-2019		\$10,000.00
Total Funds as of July 1, 2019		\$52,000.00
Budget Code	Category	Total
	100 Operations	
ALID	Audio Visuai	5
IDO	Training/B d Rebeat	\$ 1,000.00
FAC	Feclittes Related	S
MEE	Meeting Exp email food	\$ 2,400.00
MIS	Mac Expense	\$ 6,000.00
OFF	Office Equip/Supplies	\$ 1,000.00 toner. paper
POS	Postage	\$ 200.00
TAC	Temp Staff	S
TAL	Translation/Transcription	S
	Sub Total	\$10,600.00
DIE	200 Outreach Town Hail	\$ 750.00
EVE ADV	Social Media	\$ 2,000.00
ADV	2000 St 10 St 10 St 10	\$ 5.000.00
ADV	Vebsite JoForn	\$ 450.00
MIS	General Outreach	\$ 2,000.00
EVE	Speaker Series	\$ 3,000.00
EVE	CPR Training	\$ 4,000.00
MIS	Peace Picnic	\$ 500.00
MIS	Homeines & Coun I Reflexitime nt &	\$ 200.00
	Sub Total	\$17,900.00
	300 Community Improvement	
CIP	Community Improvement s	\$ 4,000.00
CIP	Hami Garden	\$ 500.00
CIP	Car Sad Event	\$ 300.00
CIP	Safety Expo	\$ 400.00
CIP	NC Support- Congreen/Bud . Adv .	\$ 1,500.00
	Sub Total	\$ 6,700.00
	400 Neighborhood Purpose Grant	
NPG	Fresh Fruit on Frid ay	\$ 2,000.00
NPG	Soro fest 2020	\$ 7,500.00
NPG	Movies in the Park	S
	Computer Lab Shenandoeh ES NP(\$ 4,500.00
	Sub Total	\$14,000.00
	0000000	
ELE	500 Elections	
	Sub Total	S
	Grand Total	\$49,200.00
	unallocated	\$ 2,800.00

South Robertson NC

Funds

Preliminary Budget for FY 2020-2021 approved a/o General Meeting

-f'-.t...<u>pedJa</u> y 2.oU.- Z,IJ2./ \$ 32,000.00

Funds			32,000.00	
Rollover 2019	-2020	\$	10,000.00	
total		s	42,000.00	
Cat 100	Training/Bd Retreat	\$	750.00	cut \$250 from ly
	Meeting Exp/food	\$	2,400.00	same as ly
	Misc Exp	s	4,500.00	cut \$1500 from ly
	Off Exp/supplies	\$		\$1000 prefunded fy 2019-2020 funds
	Postage	s		\$200 prefunded fy 2019-2020 funds
	subtotal Cat 100	ŝ	7,650.00	
Cat 200				
	Town Hall	s	500.00	cut \$250 from ly
	Social Media	ŝ	2,000.00	same as ly
	Website	s	6,000.00	up \$1000 from ly
	JotForm	š	-,	\$450 prefunded ty 2019-2020 funds
	General Outreach	s	2,000.00	same as ly
	CPR Training		2,000.00	cut from 2 sessions to one
	Peace Picnic		500.00	same as ly
	Homeless Count	s	200.00	same as ly
	subtotal Cat 200		13,200.00	
Cat 300	Community improv	\$	2,000.00	cut \$2000 from ly
	Haml Garden	\$	500.00	same as ly
	Car Seat event	s	300.00	same as ly
	Safety Expo	s	400.00	same as ly
	NC support BA	\$	750.00	same as orig budget ly -adj up ly as no congress
	NC support Congress	\$	750.00	same as orig budget ly- adj downward ly as no congress
	subtotal Cat 300	s	4,700.00	
Cat 400	Fresh Fruit Shenandoah	2		\$3800 prefunded by fy 2019-2020
	Sorofest 2021	\$ 1	10,000.00	up \$2500 from ly
	Movies in the Park	\$	1,200.00	amt requested by Outreach
	subtotal Cat 400	\$ 1	11,200.00	
Cat 500	Election Exp	\$	5,000.00	
	subtotal Cat 500	\$	5,000.00	
Total Cat 100	-500	2	36,750.00	
		-		

\$ 41,750.00

250.00

\$

Unallocated

	- <u>,</u> a	• VC •-	•
019-2020 FY Budget as of Ju	ine is,	2020	
		,	
,itial Amount a/o July 1, 2019	\$	42,000.00	
arry Fwd 18-19	\$	10,937.05	
otal amount July 1, 2019	\$	52,937.05	
ess amounts paid 7/1/19-6/3/20	s	17,914.72	
	ŝ	6,529.98	
ess amountd paid 6/4/20-Today	Ψ	0,029.98	note a
ess June 11 Spec Mtg Funding Motions Ap	oproved:		
1) Prepay Public Storage	\$	3,240.00	
>) Prepay Vonage	\$	516.00	
:) Prepay USPS PO Box	\$	200.00	
I) Prepay Jotform	\$	450.00	
) encumberOffice Supplies	\$	1,000.00	
) NPG Shenandoah Sch Computers	\$	5,000.00	
t) NPG Canfield Sch Beautification/mura	I \$	3,400.00	
,) NPG Shenandoah Fresh Fruit	\$	3,800.00	
) Reimburse Mike Lynn	\$	29.98	note b
ubtotal (a)-(i)	\$	17,635.98	
urplus a/o 7/1/20 after deductions	\$	10,856.37	
iss rollover w/o need to justify	\$	10,000.00	
lus adj for Mike Lynn dupl req pymt	\$	29.98	
alance subject to transfer back to city	\$	886.35	
Stas: Offee Reimh Mike Lynn (20.09)			

>tea: Office Reimb Mike Lynn (29.98)

Outreach: (BA \$1500+jfs/Sova \$1667+ LA Reg FB \$3333= \$6500)

>te b: Duplicate payment request already paid needs to be reversed





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman

Vacant Secretary

Charlie Stein Corresponding Secretary

Motion to affirm CM Huizar to resign

Agenda Item:	GB061820-2
Date:	June 18, 2020
Proposed By:	Terrance Gomes
Include motion in Consent Agenda?	If possible (NO)

Background

The South Robertson Neighborhoods Council is gravely concerned that it has taken 2 years since the Los Angeles Neighborhood Council Coalition asked for Councilmember Jose Huizar to resign that the Los Angeles Times Editorial Board, Mayor Garcetti, Council President Martinez, and Controller Ron Galperin have asked him to step down. It is offensive that Mr. Huizar is allowed to collect a paycheck during these times, when Angelenos do not have jobs because of COVID-19 and the current riots, from the taxpayers while not having to attend committee or council meetings and represent the good people of Council District 14. Mr. Huizar, do the right thing for the people of Los Angeles and RESIGN.

https://www.latimes.com/california/story/2020-05-28/garcetti-l-a-city-councilpresident-martinez-huizar-resign

Proposed Motion

- I. The SORONC takes a position to request that Councilmember Huizar resigns.
- II. The SORONC transmit a statement via email to Council President Martinez that SORONC supports her request for Councilmember Huizar to resign.
- III. The SORONC transmit a statement via email to Councilmember Huizar to resign.

Considerations

Committee review: (highly recommended)	Votes For: 0	Against				
Amount previously allocated in Committee's working budget: \$ (applies to funding motions only)						
Arguments for:	Argume	ents against:				
Residents need to hold our officials accountable	elected Could c	reate a special election				

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City of Los Angeles Certified Neighborhood Council



Transmitted Statement: The South Robertson Neighborhoods Council is gravely concerned that it has taken 2 years since the Los Angeles Neighborhood Council Coalition asked for Councilmember Jose Huizar to resign that the Los Angeles Times Editorial Board, Mayor Garcetti, Council President Martinez, and Controller Ron Galperin have asked him to step down. It is offensive that Mr. Huizar is allowed to collect a paycheck during these times, when Angelenos do not have jobs because of COVID-19 and the current riots, from the taxpayers while not having to attend committee or council meetings and represent the good people of Council District 14. Mr. Huizar, do the right thing for the people of Los Angeles and RESIGN.

South Robertson Neighborhoods Council | SORONC_Motion_SB061820-2

Page 2 of 2

SOIO south robertson neighborhoods council



Motion to adopt and submit Bylaws

updates

upuates	
Agenda Item:	GB061820-3
Date:	June 18, 2020
Proposed By:	By Laws Committee
Include motion in Consent Agenda?	NA
Consent Agenua:	

Background

The NC is currently non-compliant with its Bylaws due to coronavirus meeting rules, election cycle updates imposed by the city, and other changes in BONC policies. The draft changes correct the non-compliance along with other changes agreed to unanimously by the committee members.

Proposed Motion

The NC shall adopt the attached draft Bylaws changes and submit the draft to DONE.

Committee review: (highly recommended)	Votes For:	4	Against	C
Amount previously allo	cated in Committe	ee's worki	na budaet: \$	n
(applies to funding motions only			ig budger. o	
	y)		s against:	
(applies to funding motions only	V)	Argument		

Martin Epstein

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant

Charile Stein Corresponding Secretary

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General Board Meeting Minutes

Thursday, May 21, 2020, 8:00pm Vla Zoom

Krystal Návar

Ken Blaker Vice-Presiden

Jon Liberman

Martin Epstein

Charlie Stein

- L Call to Order & Roll Call -
 - SORO NC Board President Krystal Návar called the meeting to order at a 8:05 p.m. Meeting held via Zoom
 - Board Members Present: Charlie Stein, Richard Bloom, Jared Weston, b. Linda Theung, Michael Lynn, Jon Liberman, Ken Blaker, Jessica Barclay-Strobel, Krystal Navar, Jason Van Over, Barry Levine, Martin Epstein, Gideon Pardo, Gloria Dioum, Adam Rich, Bianca Cockrell, Terrence Gomes, David Menkes, David Reiman, Paula Peng
 - Board Members Absent: Jonathan Brand, Gary Kasbarian, Susan C. Burden; Steve Chocron; Dan Fink
 - General Public Comment & Board Announcements
- 111 **Community Partner Reports**

11.

- a. Office of Councilmember Wesson (Carlin)
- Department of Neighborhood Empowerment (Elbarbary) b
- IV. Consent Agenda (6 minutes)
- Draft meeting minutes of February 20, 2020 (Epstein / GB052120-1) a. v
 - Election of President (GB052120-2)
 - Krystal Navar resigns as President a.
 - Martin Epstein 11 votes b.
 - Jon Liberman 8 votes C.
 - Martin elected as new President of SORONC until General Election d. scheduled for May/June 2021
- VI. Possible Election of Secretary) (GB052120-3)
- No candidates Motion Withdrawn a.
- VII. Election of Student Representative Board Member (School Seat 2) (GB052120-4)
 - Nominees Gideon Pardo and Sarah Nachimson a.
 - b. Gideon Pardo - 12 votes
 - Sarah Nachimson 7 votes C.
 - Gideon is elected for one year term for School Seat 2 d.
- VIII. Selection of two Budget Representatives for FY 2020-2021 (10 minutes) (GB052120-5)
 - Martin Epstein and Gloria Dioum a.
 - Yes 18; No 1; Abstentions 0 b.
- IX. Committee Reports

ii.

- Changes to Board committee membership a
 - Gideon requests to be added to Education
- b. President's Report
- Treasurer's report C.
 - January 2020 Monthly Expenditure Report (MER) (Liberman / i.
 - GB052120-6)
 - Moved by Jon Liberman .
 - Seconded by Barry Levine
 - Yes 19; No 0; Abstentions 0
 - February 2020 Monthly Expenditure Report (MER) (Liberman / GB052120-7)
 - Moved by Krystal Navar
 - Seconded by Michael Lynn
 - Yes 19; No 0; Abstentions 0

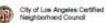
South Robertson Neighborhoods Council

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- iii. March 2020 Monthly Expenditure Report (MER) (Liberman / GB052120-8)
 - Moved by Martin Epstein
 - Seconded by Jared Weston
 - Yes 19; No 0; Abstentions 0
 - April 2020 Monthly Expenditure Report (MER) (Liberman /
 - GB052120-9)
 - Moved by Michael Lynn
 - Seconded by Terrence Gomes
 - Yes 19; No 0; Abstentions 0
- d. Committee and liaison reports, events, and legislative issues
 - i. CD10 Candidate Forum Recap Jessica Barclay-Strobel
 - ii. Soro Festival 2020 Update Martin Epstein
 - iii. WRAC Jason Van Over
 - iv. LANC + DWP + Public Works Terrence Gomes
 - V. Homelessness David Reiman, Terrence Gomes, + Gloria Dioum
 - vi. Purposeful Aging Jon Liberman
- X. New Business

iv.

- Motion to fund up to \$1667 to Sova Food Pantry to aid in feeding those who need assistance (Liberman / GB052120-10)
 Motion Withdrawn
- Motion to fund up to \$1667 to St. Mary Magdalen Catholic Church to aid in feeding those who need assistance (Liberman / GB052120-11)
 Motion Withdrawn
- Motion to fund up to \$1667 to St Mark Coptic Orthodox Church to aid in feeding those who need assistance (Liberman / GB052120-12)
 Motion Withdrawn
- Motion to fund \$1500 for Budget Advocates (Liberman / GB052120-13)
 Motion tabled
- Motion to send letters to LA Mayor, LA City Council, LA County Department of Health and California Governor to remove work/business prohibition orders. (Public Safety / GB052120-14)
- Motion to send letters to LA Mayor and LA City Council to oppose further Urbanization Development in Los Angeles due to COVID-19 Health and Safety concerns (Public Safety / GB052120-15)
 Tabling of d-f
- Krystal and Mike moved to extend meeting until 10:15
- SORO NC to support CIS for CF20-0491 (SB052120-1)
 - i. Motion Withdrawn
- XI. Adjournment
 - a. The meeting was adjourned at10:05p.m.





Vote Tally

1: moved | 2: seconded | Y: yes | N: no | A: abstain | R: recuse | X: missed vote IE: ineligible to vote | C: passed by general consent

Votes Taken	01	02	03	04	05	06	07	08
Charlie Stein	J	s	Y.	Y	Y	Y	Y	N
Richard Bloom	м	9	Y	Y	Y	Y	Y	Y
Jonathan Brand	x	x	x	x	x	x	x	x
Jared Weston	м	G	Y	Y	Y	Y	Y	Y
Linda Theung	M	G	Y	Y	Y	Y	Y	N
Michael Lynn	J	G	Y	Y	Y	Y	Y	Y
Jon Liberman	J	G	Y.	Y	Y	Y	Y.	Y
Gioria Dioum	M	G	Y	Y	Y	Y	Y	Y
Adam Rich	J	s	Y	Y	Y	Y	Y	N
Blanca Cockrell	M	G	Y	Y	Y	Y	Y	N
Ken Blaker	а 1	s	Y	Y	Y	Y	Y	Y
Jessica Barclay- Strobel	м	S	Y	Y	Y	Y	Y	Y
Krystal Návar	J	G	Y	Y	Y	Y	Y	Y
Jason Van Over	M	G	Y	Y	Y	Y	Y	Y
Gary Kasbarian	x	x	x	x	x	x	x	x
David Menkes	м	s	Y	Y	Y	Y	Y	Y
Barry Levine	J	s	Y	Y	Y	Y	Y	N
Terrence Gomes	J.	G	N	Y	Y	Y	Y	Y
Susan Burden	x	x	x	x	x	x	x	x
Martin Epstein	M	s	Y	Y	Y	Y	Y	Y
Paula Peng	M	G	Y	Y	Y	Y	Y	Y
Dan Fink	x	x	x	x	x	x	x	x
David Reiman	м	G	Y	Y	Y	Y	Y	N
Steve Chocron	x	x	x	x	x	x	x	x
Gideon Pardo	NA	NA	1E	IE	IE	E	IE	E

Votes taken

- Votes taken

 1.
 Election of Council President M: Martin & J: Jon (GB052120-2)

 2.
 Election of School Seat 2 G: Gideon & S: Sarah (GB052120-4)

 3.
 Budget Representatives Approval (GB052120-5)

 4.
 January 2020 Treasurer's Report (GB052120-6)

 5.
 February 2020 Treasurer's Report(GB052120-7)

 6.
 March 2020 Treasurer's Report(GB052120-8)

 7.
 April 2020 Treasurer's Report(GB052120-9)

 8.
 Tabling of Motion d-f of New Business (GB052120-13, GB052120-14, GB052120-15)





Krystal Návar President

Ken Blaker Vice-President

Jon Liberman Treasurer

Martin Epstein Secretary

Charlie Stein Corresponding Secretary

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City of Los Angeles Certified Neighborhood Council

Special Council Meeting Minutes

Wednesday, June 3, 2020, 7:00pm Via Zoom

Call to Order & Roll Call

L

- SORONC Board President Martin Epstein called the meeting to order at 7:15 p.m. Meeting held via Zoom
- b. Board Members Present: Charlie Stein, Linda Theung, Michael Lynn, Jon Liberman, Ken Blaker, Jessica Barclay-Strobel, Krystal Navar, Jason Van Over, Barry Levine, Martin Epstein, Gideon Pardo, Gloria Dioum, Terrence Gomes
- c. Board Members Absent: Jonathan Brand, Gary Kasbarian, Susan Burden; Steve Chocron; Dan Fink; Richard Bloom, Jared Weston, Adam Rich, Bianca Cockrell, David Menkes, David Reiman, Paula Peng
- II. General Public Comment & Board Announcements
- III. Unfinished Business

i.

- a. Motion to fund \$1500 for Budget Advocates (Liberman / GB052120-13) i. Moved by Jon Liberman
 - ii. Seconded by Terrence Gomes
 - iii. Yes 12; No 0; Abstentions 0
- Motion to send letters to LA Mayor and LA City Council to oppose further Urbanization Development in Los Angeles due to COVID-19 Health and Safety concerns (Public Safety / GB052120-15)
 - Motion to Send Back to Committee
 - Moved by Charlie Stein
 - Moved by Charlie Stein
 - Seconded by Terrence Gomes
 Yes 3; No 10; Abstentions 0
 - Yes 3; No 10; Abstentior
 - Motion does not pass
 - The Question is called by Jessica Barclay-Strobel
 - Yes 10; No 3; Abstentions 0
 - The guestion is Called
 - Moved by Michael Lynn
 - Seconded by Terry Gomes
 - Yes 3; No 10; Abstentions 0
 - Motion Does Not Pass
- IV. New Business

iii.

- a. Motion to support CIS for CF20-0491 (Gomes GB060320-1)
 - i. Moved by Terrence Gomes
 - ii. Seconded by Michael Lynn
 - Terrence Gomes Amended Motion to remove all language in background prior to "The South Robertson Neighborhoods Council recommends..."and remove II of the motion
 - Seconded by Jon Liberman
 - Amendment Vote: Yes 11; No 1; Abstentions 1
 - Motion Vote: Yes 8; No 5; Abstentions 0
- b. Motion to fund up to \$1667 to Sova Food Pantry to aid in feeding those
 - who need assistance (Executive / GB060320-2)
 - i. Moved by Jon Liberman
 - ii. Seconded by Krystal Navar
 - iii. Yes 11; No 1; Abstentions 0
 - iv. Motion Passes
- Motion to fund up to \$3,333 for Los Angeles Regional Food Bank. (Barclay-Strobel / GB060320-3)
 - Moved by Linda Theung
 - ii. Seconded by Jon Liberman





- ÌÌ. Yes - 12; No - 0; Abstentions - 0
- Motion Passes iv.
- Motion to send letter expressing concern about Mayor's Budget d. (BarclayStrobel / GB060320-4)
 - Moved by Jon Liberman i.
 - ii. Seconded by Linda Theung
 - Yes 8; No 5; Abstentions 0 iii.
 - Motion Passes iv.
- Motion to Reimburse Board Member Michael Lynn, \$29.98 for NC e. Expenses (Lynn / GB060320-5)
 - Questions arose as to whether vote could take place due to i. Michael's Lynn's recusal thereby causing loss of quorum · Pursuant to Bylaws, vote took place
 - Moved by Jessica Barclay-Strobel
 - ii.
 - iii. Seconded by Jon Lberman iv. Yes: 10; No - 0; Abstentions -1
- V. Adjournment
 - The meeting was adjourned at 8:57 p.m. a.





Vote Tally

1: moved | 2: seconded | Y: yes | N: no | A: abstain | R: recuse | X: missed vote IE: ineligible to vote | C: passed by general consent

Votes Taken	01	02	03	04	05	06	07	08	09	10
Charlie Stein	Y	N	Y	N	Y	Y	Y	Y	N	Y
Richard Bloom	x	x	x	x	x	x	x	x	x	x
Jonathan Brand	х	х	x	x	x	х	x	х	x	х
Jared Weston	х	х	x	x	x	х	x	х	x	x
Linda Theung	Y	N	Y	N	Y	N	Y	Y	Y	Y
Michael Lynn	Y	Y	N	Y	Y	Y	Y	Y	N	R
Jon Liberman	Y	N	Y	N	۸	N	Y	Y	Y	Y
Gioria Dioum	Y	N	Y	N	Y	Y	Y	Y	Y	Y
Adam Rich	x	x	x	x	x	x	x	x	x	x
Blanca Cockrell	x	x	x	x	x	x	x	x	x	x
Ken Blaker	Y	Y	N	N	Y	Y	Y	Y	N	Y
Jessica Barclay- Strobel	Y	N	Y	N	N	N	Y	Y	Y	۲
Krystal Návar	Y	N	Y	N	Y	Y	Y	Y	Y	Y
Jason Van Over	Y	Y	Y	N	Y	N	Y	Y	Y	Y
Gary Kasbarian	х	х	x	x	x	х	x	х	x	x
David Menkes	x	х	x	x	x	х	x	х	x	x
Barry Levine	Y	N	Y	N	Y	N	Y	Y	Y	Y
Terrence Gomes	Y	Y	N	Y	Y	Y	N	Y	N	۸
Susan Burden	x	x	x	x	x	x	x	x	x	x
Martin Epstein	Y	Y	Y	Y	Y	Y	Y	Y	N	Y
Paula Peng	х	х	x	x	x	х	x	х	x	x
Dan Fink	x	x	x	x	x	x	x	x	x	x
David Reiman	х	х	x	x	x	х	x	х	x	x
Steve Chocron	x	x	x	x	x	x	x	x	x	x
Gideon Pardo	IE	N	Y	N	Y	Y	IE	IE	Y	IE

Votes taken

- 1. Budget Advocates (GB052120-13)
- 2. Urbanization Development Letters Sending Back to Committee
- Urbanization Development Letters Calling of Question
 Urbanization Development Letters (GB052120-15)
 CIS for CF20-0491 Amendment

- 6. CIS for CF20-0491 As Amended (GB060320-1)
- 7. SOVA Food Pantry (GB060320-2)
- 8. LA Regional Food Bank (GB060320-3)
- Mayor's Budget Letter (GB060320-4)
 Michael Lynn Reimbursement (GB060320-5)
- Election of School Seat 2 G: Gideon & S: Sarah (GB052120-4)
 Budget Representatives Approval (GB052120-5)
- 13. January 2020 Treasurer's Report (GB052120-6)
- February 2020 Treasurer's Report(GB052120-7)
 March 2020 Treasurer's Report(GB052120-8)
- April 2020 Treasurer's Report(GB052120-9)
 Tabling of Motion d-f of New Business (GB052120-13, GB052120-14, GB052120-15)

SOTO



Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant

Charlie Stein Conseponding Secretary

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City of Los Angeles Certified Neighborhood Council

Motion to Send Letters to Board of Police Commissioners and Others, Urging Adoption of "8 Can't Wait" Policies

Agenda Item: Date: Proposed By: Van Over / GB061820 – 6 June 18, 2020

oposed By: Jason Van Over

Include motion in No preference Consent Agenda?

Background

As a Los Angeles Neighborhood Council whose board demographics do not reflect the racial, gender, or religious diversity of our constituents, we have our own demons with which to contend. Likewise, as almost entirely white-presenting board members—try though we may, well-intentioned though we may be—we are incapable of drafting motions that fully reflect the values of our community.

What we have heard from Angelenos in recent weeks, both within our council borders and without, and indeed throughout California and the nation, is that Americans are being harassed, profiled, and even slaughtered by the very men and women we have chosen to protect them: the police.

None of this is new.

While some of us may have advocated for less violent tactics in the past, others have been complacent, busy, or struggled with what seemed like complicated or morally ambiguous nuance. Whatever path we have taken previously, be it advocacy or passivity, the result has been the murder of Americans at the hands of their government.

Although overt, government-sanctioned, physical harm to Americans of color is not the only—or perhaps even the largest—violence with which they have to contend, it is tangible, recordable, and its abolition is the very least we can expect from a civilized society.

But how?

While we may be unqualified to weigh in on the full societal impact of police brutality or unable to formulate comprehensive solutions to it ourselves, we are able to turn to advocates and scholars who have been the target of that brutality, listen to what they have experienced, and throw our voices behind their proposed solutions.

Some proposals reverberate powerfully through the news, the internet, social circles, gamering widespread support, such as the evidence-based guidelines in the "8 Can't Wait" program by the advocacy group Campaign ZERO.

Campaign ZERO is "a data-informed platform present[ing] comprehensive solutions to end police violence in America. It integrates community demands and policy recommendations from research organizations and President Obama's Task Force on 21st Century Policing."





Their "8 Can't Wait" program identifies eight common-sense policies which, when adopted, dramatically reduce the number of civilians shot at and killed by the police.

Of those, the City of Los Angeles has fully adopted five. The last three remain bafflingly unaddressed or exist with enormous loopholes, rendering the policies meaningless.

Proposed Motion

Submit a letter to the Los Angeles Police Commission and others, insisting they adopt common-sense policies to reduce police violence against its citizens, namely:

- · A requirement that officers give verbal warning before shooting
- · A requirement that officers exhaust all alternatives before using physical force
- · A requirement that officers report when they point their firearm at a person

Additionally, the letter will stipulate that the Commission enforce these and all policies pertaining to the LAPD.

Considerations

Committee review: (highly recommended)	Votes For:	0	Against:	
Amount previously alloc: (applies to funding motions only)	ated in Commit	tee's work	ing budget:	\$
Arguments for:		Argumer	nts against:	
Current rules leave loopho police to attack their citizer			equiring police to avior limits their e	moderate
Evidence indicates that ad proposals will decrease po and deaths at the hands of enforcement.	lice shootings	Proposed varying e	l policies already xtents.	exist to

South Robertson Neighborhoods Council | Motion to Send Letters Urging Adoption of "8 Can't Walt" Policies

SOIO south robertson neighborhoods council



Martin Epstein

Ken Blaker

Jon Liberman

Charlie Stein Corresponding Secretary

Motion to send a letter to Zoning Administrator re: Compliance and Changes to Conditions of Use Agenda Item: GB061820-7

Date:

June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

Background

A legally-binding Settlement Agreement to which the City of Los Angeles and the operator of the West Pico Drill Site, Pacific Coast Energy Company (PCEC), are parties, approved by City Council in 2001, requires the holding of Reviews of Conditions and Compliance every five years on a continuing basis. Under the terms of the Settlement Agreement, such Reviews should have been held in 2010-11 and 2015-16, but were not.

Multiple compliance problems have already been documented by cross-checking the West Pico Drill Site's Planning case files against the 2001 Settlement Agreement and public documents available online from LADBS and SCAQMD. For instance, from these public records, we know that five microturbine electric generators were installed in 2018-19 with no approval from the ZA despite the express prohibition of electric generation on site in ZA condition 49.

The Board has already requested an on-site comprehensive compliance inspection, but given the ongoing failure to comply, it is important to request changes to the conditions of use to ensure ongoing compliance of the site.

The hearing on compliance of the Site begins on July 9, 2020 at 9 a.m.

Proposed Motion

Send the attached letter to the Department of City Planning requesting the West Pico Drill Site at 9101 W Pico Blvd undergo specific changes to the Zoning Administrator's assigned conditions of use to ensure that ongoing compliance and regular inspections.

Considerations

Committee review: (highly recommended)	Votes For:	5	Against: 0	
Arguments for:		Arguments against:		
Compliance inspections have not been performed as required.		We should let the process play out between Planning and PCEC.		
A fair hearing is unlikely without a compliance inspection being perf and a report being made available	formed			

Neighborhoods Council PO Box 35836 Los Angeles, CA 90035

South Robertson

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gro.oncorg



City of Los Angeles Certified Neighborhood Council





public prior to the hearing, which we have previously requested

Requesting specific changes to be made to ensure compliance will assist the community going forward Mr. Dylan Sittig Department of City Planning 200 N. Spring Street Los Angeles, CA 90012 <u>dvlan.sittig@lacitv.org</u> 19 June 2020

Re: ZA-1989-17683-PA2; ENV-2020-1328-EAF

Dear Mr. Sittig,

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the Review of Compliance for the West Pico Drill Site, located at 9101 & 9150 W. Pico Blvd, and to request specific changes to the Zoning Administrator ("ZA") assigned conditions of use that govern that Controlled Drill Site.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC resolved by a vote of 00 yes / 00 no / 00 abstain to send you this letter.

1. Documented Evidence of Compliance Problems

As you are likely aware, multiple compliance problems have already been documented by reviewing the West Pico Drill Site's Planning Department case files with reference to the 2001 Settlement Agreement and other public documents.

From these public records, we know that the following issues existed:

- Failure to hold required Five Year Reviews. No reviews have been conducted since at least 2005-06 as they were not held 2010-11 or 2015-16.
- Installation of expressly prohibited microturbiness. Five 200 Kilowatt microturbine electric
 generators (1 Megawatt total) were installed in 2018-19 with no application to or approval from
 the ZA, despite the express prohibition of electric generation on site. The operator acknowledges
 in its current PA Application for this review that it installed one microturbine, but it erroneously
 claims that microturbines are not prohibited.¹.
- Drilling of two new wells without ZA approvals. Two new oil wells, West Pico Well #58 (API # 03726615) and Well #59 (API # 03727133), were drilled in 2005-06 and 2010, respectively, without ZA Approval as required.²,.
- Re-drilling of at least one existing well without ZA approval. At least one existing oil well, HW Well #10 (API # 03721994) was re-drilled in 2004, without ZA Approval.³
- Operator claims that 12 new wells have been drilled at the site since 2003. Operator's affiliate
 stated that twelve new wells have been drilled from this location since 2003. While this appears
 to be an inaccurate statement, it may refer to the re-drilling of existing wells as well as the drilling
 of two new wells, which fails to reference that all 59 wells have appeared to be operational

¹ See ZA Condition 49 of the 2000 determination in ZA-1989-17683-PAD and in ZA Condition 1 (applying LAMC 13.01.F.43) in the 1965 "mother case" ZA-1965-17683

² LAMC 13.01.H and 13.01.I

³ Ibid.

- All projects undertaken without ZA review are in violation of CEQA. Each of these projects, including at least one re-drilled well, two newly drilled wells, and the installation of five 200 Kilowatt microturbines required environmental clearance under CEQA, but the operator failed to obtain the necessary ZA approval and wrongly informed CalGEM that no CEQA documents were necessary.
- Repeated LAFD Notices of Violation for leaving spilled or leaked Petroleum on surfaces.. The LAFD resumed annual inspections of drill sites to monitor compliance in or about 2017. On multiple separate occasions, Fire Safety violations were found as set forth in the attached notices. Said violations were further problematic as they violated the conditions set forth in the prior action related to this drill site.⁴
- Odor Problems emanating from the drill site. Numerous neighbors in addition to Council Member Paul Koretz's own personal testimony have complained of petroleum odors around the drill site for past several years. At a committee meeting on October 15, 2019, Mr. Koretz said, "You can smell the oil. You can taste the oil."⁵

2. Revised Conditions, ZA Findings, and ZA Orders to Monitor and Enforce Compliance, and to Protect the Environment, Public Health, and Public Safety

There is a clear and long history of non-compliance and nuisance at the West Pico Drill Site, which indicates the need for stronger enforcement mechanisms and stronger protections for the environment, public health, and public safety. We request that the ZA to adopt the following new and modified Conditions of Use, Findings, and Orders to protect public health, safety, and the environment, and ensure future compliance with City law at the West Pico Drill Site.

- Require Annual Compliance Inspections Led by Petroleum Administrator: Annual Compliance Inspection to be led by the Office of the Petroleum Administrator, an office that was revived in 2016 for this specific purpose, to ascertain compliance with City Code and ZA-assigned conditions, with copies of the inspection report to be delivered to the ZA and Council District 5 Office.
- Require Permanent 24/7 Emissions Monitoring: Installation and continuous operation of 24/7
 Emissions Monitoring using up-to-date equipment that records data and has a central alarm
 connection to an office that is staffed 24/7. The monitoring system equipment must be approved
 by the Office of the Petroleum Administrator, either by listing the system on a pre-approved list
 or by review of individual application. Emissions data shall be reported quarterly to the Office of
 the Petroleum Administrator and the ZA, and both offices shall promptly forward copies of the
 quarterly data to the Council District 5 Office.
- Require Recurring Five Year Reviews of Compliance and Conditions by the ZA, as Mandated by the City's 2001 Settlement Agreement: Amend Condition 78 of the 2000 ZA determination to include the terms of the Settlement Agreement that require recurring Five Year Reviews of Conditions.
- Finding & Order: Find that the 5 Microturbines Installed in 2018 were Illegally Installed and Order that they Either be Removed or Made the Subject of a Full Application for ZA Review

⁴ See Conditions 46, 47, 57, and 61 of the 2000 determination in ZA-1989-17683-PAD and Condition 1 of the 1965 "mother case" ZA-1965-17683

⁵ o Transcript - https://lacity.granicus.com/TranscriptViewer.php?view_id=46&clip_id=19441

Within Six (6) Months. This review shall also be done under CEQA and failure to comply should result in prompt revocation proceedings under LAMC 12.27.1.

 Finding & Order: Find that Wells Drilled or Re-Drilled since 2003 were Drilled Without ZA Approval and Order that Within 6 Months All Such Wells Made the Subject of a Full Application for ZA Review. This review shall also be done under CEQA and failure to comply should result in prompt revocation proceedings under LAMC 12.27.1

3) Concerns about Process and Thoroughness in this Review

In February 2020, SORO NC wrote to Chief Zoning Administrator Mailian requesting that the Petroleum Administrator be tasked to conduct a comprehensive compliance inspection and report the results before this Review of Compliance is sent forward to Public Hearing. SORO NC has not received a response, and it appears that no comprehensive compliance inspection is being completed.

We remain concerned that, without a comprehensive compliance inspection before the Public Hearing, the ZA and the public will be deprived of necessary and critical information and we remain concerned that any later report from the Petroleum Administrator to the ZA after the Public Hearing would impinge on the due process rights of all parties.

The evidence presented above demonstrates that in addition to non-compliance with specific mitigation measures imposed by ZA conditions, the operator of the site has conducted multiple major projects without ZA review and therefore without CEQA clearance.

A fresh and new and proper environmental review is needed in this case. The nature of the case (noncompliance and projects undertaken without application) necessitates a comprehensive compliance inspection as the predicate to define the scope of review under CEQA.

Please do not hesitate to contact me if you have any questions about this letter.

Sincerely,

Cc: Paul Koretz, Councilmember District 5 Aviv Kleinman, Office of Council Member Paul Koretz Andy Shrader, Office of Council Member Paul Koretz Edber Macedo, Office of Chief Zoning Administrator Estineh Mailian Estineh Mailian, Chief Zoning Administrator





Martin Epstein

Ken Blaker

Vice-President

Jon Liberman

Charlie Stein orresponding Secretary

South Robertson Neighborhoods Council

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City of Los Angeles Certified Neighborhood Council

Motion to Request Removal of **Overnight Parking Restrictions on the** Blocks of Holt and Sawyer that Surround La Cienega Plaza

Agenda Item: Date:

Proposed By:

To Be Filled in by Exec Committee June 18, 2020

Public Safety Committee

Include motion in No preference Consent Agenda?

Background

There are currently restriction for "no overnight parking between 11:00PM-5:00AM" on the blocks that run alongside La Cienega Plaza. They are:

- 1. North side of Sawyer, from La Cienega to Holt
- 2. and East side of 1800 Holt

The SORO NC had originally requested the restrictions back in 2009 to stop the prostitution and drug sales at night along the mall. Since, these crimes are no longer a problem in the area, there is no longer a need for these restrictions.

As the City allows granny flats and new units with reduced parking requirements, adding to an abundance of multi-family units in the neighborhood, the street parking in that area is limited and pushes people to park on streets north of 18th Street.

During COVID-19, restrictions were relaxed on that same area and it has greatly help with parking in the La Cienega Heights area and surrounding neighborhoods.

LDOT requires letters from CD-10 and LAPD requesting the permanent removal of existing restrictions.

Proposed Motion

1. That the South Robertson Neighborhoods Council ask CD-10 and LAPD to write letters "in support of removing the restrictions due to crimes in the past no longer being an issue now" of the "no overnight parking between 11:00PM-5:00PM" restrictions on the North side of Sawyer, from La Cienega to Holt and East side of 1800 Holt.





Committee review:	Votes For: 6	Against 0
(highly recommended)	Votes For. 0	Against. U
Amount previously alloc	ated in Committee's wor	king budget: \$ N/A
		ning budget. • nin
(applies to funding motions only) Arguments for:)	ents against:
(applies to funding motions only)) Argume	





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

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City of Los Angeles Certified Neighborhood Council

Motion to support proposed 29-unit TOC apartment building at 3123 Livonia

Ave

Agenda Item:

To be filled in by Exec Committee June 18. 2020

Date: Proposed By:

Land Use Committee

Include motion in No Consent Agenda?

Background

The project team presented this proposed 29-unit apartment building to the Land Use Committee at their March 05, 2020 meeting. The applicant's entitlement request is for a Tier 3 TOC (Transit Oriented Communities) apartment building.¹ 3 units will be set aside as Extremely Low Income affordable units. The remaining 26 units will be market rate units. In addition to the base incentives of increased density, decreased parking, and increased Floor Area Ration (FAR), the project utilizes an additional onmenu TOC incentive to increase the building height by 11 feet from 45 feet to 56 feet.

(The TOC program, a result of Measure JJJ passed by voters in 2016, encourages developers to build more affordable housing and to locate said housing near transit by offering incentives, which the developer can select from a menu.)

The subject property, located at 3123 Livonia Ave, on the west side of Livonia Ave, north of National Blvd and south of Kincardine Ave. The neighborhood is comprised of mostly 2-3 story apartment buildings on R3-1 zoned lots.

The project site is 12,866.7 square feet. The proposed building is 5 stories and 31,046 square feet. 15 parking stalls are located in a semi-subterranean parking garage.

Many residents attended the March Land Use meeting to discuss the project. Primary comments expressed concern over displacement of current residents, the size, and the design of the project. Two committee members recused themselves from the discussion and vote, as they are residents of the existing building to be demolished.

Proposed Motion

Submit a letter in support of the application to City Planning Department staff Helen Jadali (helen.jadali@lacity.org) to be included in case file for the TOC apartment building at 3123 Livonia Ave; DIR-2019-3727-TOC.

Considerations

add 3 affordable units, as well as 26

Committee review: (highly recommended)	Votes For:	5	Against: 1	
Arguments for:		Argume	ents against:	
The project utilizes the TOC	Guidelines to	An exist	ing fourplex will be demolished	





market rate units, to the housing stock. (29 proposed units -4 existing units = 25 additional units)

The project is located an 11-min walk from the Culver City / Expo Station. The building will be taller than neighboring buildings.

ⁱ Supporting Documents/Drawings:

https://www.dropbox.com/sh/n1dnf8pricth5y4/AACSNQWdfUvRCF0BWi1NwsR2a?dl =0





Helen Jadali Department of City Planning 200 N. Spring Street Los Angeles, CA 90012

19 June 2020

Re: Case Number DIR-2019-3727-TOC

Dear Ms Jadali:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed TOC apartment building at 3123 Livonia Ave.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The addition of 29 units, 3 of which are designated Extremely Low Income affordable units, to a transit-rich area of Los Angeles is much needed.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein President, South Robertson Neighborhoods Council

Cc: Aviv Kleinman, Office of Council Member Paul Koretz Krystal Návar, SORO NC Land Use Committee Chair

Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

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Developer Guidelines

Requested SORO NC Land Use Committee meeting date	Thursday, March 5, 2020
Project information	
Planning case number	DIR-2019-3727-TOC
Project address	3123 Livonia Ave Los Angeles, 90035
Contact information	
Information for	Owner
Name	Sassan Ohebsion
Address	9437 Santa Monica Blvd., Suite 208 Beverly Hills, Ca, 90210
Phone number	(310) 286-0383
Email	Sassan_o@hotmail.com
Representative of the	Applicant
Representative name	Janet Nass
Address	1836 Parnell Ave., Suite 105 Los Angeles, Ca, 90025
Phone number	(310-740-2030)
Email	janetnassir@icloud.com
Project background	

1. Description of what is being requested of this Committee that is not "by right"

Increase Density by 70% Parking reduction from 43 required by LAMC to 38 Height Increase by 11' 2. Description of project

a. Size of property	12866.70
b. Size of proposed building(s)	31406.00
Proposed project is	larger than allowable "by right" size
c. "By right" allowable building size/area	29241
d. Additional area requested	900
e. Rationale for requesting the additional area	insignificant
3. Proposed use of property	Residential Apatment
4. Describe the community benefit from your proposed use of the property	new development will attract more investment in the surrounding area and ulitimately raises the value of surrounding properties
5. Parking spaces	
a. Currently on property	8
b. Required by code	43
c. Breakdown of the actual spaces	
Standard spaces	15
Compact spaces	21
Handicap spaces	1
6. Trash enclosure and loading dock	
a. Trash enclosure	Yes
b. Loading dock	No
7. Have you provided any additional amenities we should know about to	Additional Open Space as required by Planning

7. Have you provided any additional amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community?

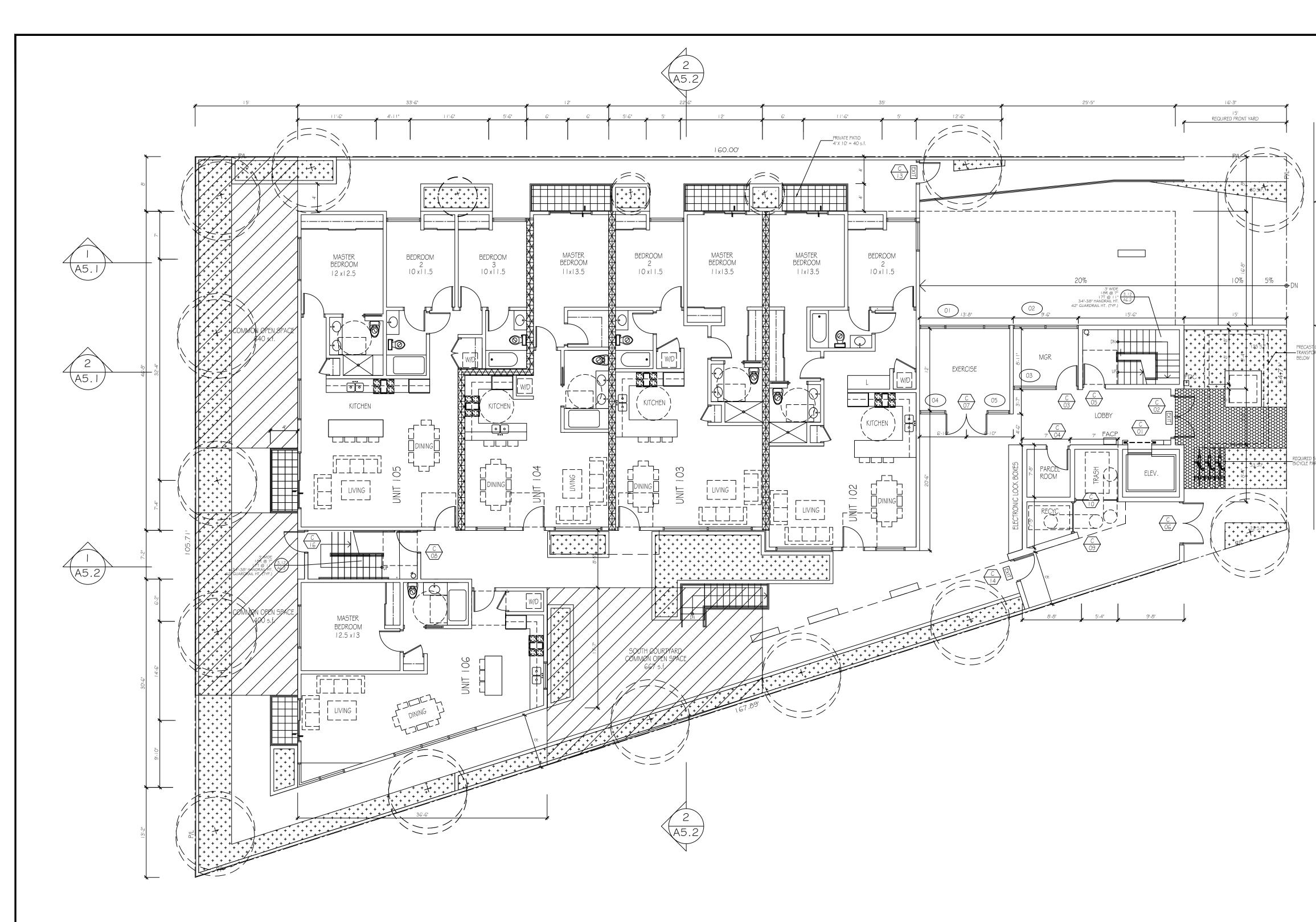
8. Outreach

For discretionary approval, SORO requires, prior to this meeting, your notification of neighbors within a

500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

SHEET INDEX		CONSULTANTS
 ARCHITECTURAL A-1.1 - Data & Index / Plot Plan A-1.2 - General Notes A-1.3b - Energy Conservation (Title 24) A-1.3b - Energy Conservation (Title 24) A-1.4 - Accessibility Requirements A-1.5 - Accessibility Requirements A-1.6 - Cai Green Mandatory Checklist A-2.1 - Site and First Floor Plan A-2.2 - Subterranean Parking Plan A-2.3 - Second Floor Plan A-2.5 - Fourth Floor Plan A-2.6 - Frifth Floor Plan A-2.7 - Roof Plan A-2.8 - Exit Analysis A-3.1 - Unit 102-10G Enlarged Floor Plan A-3.2 - Unit 201-20G Enlarged Floor Plan A-3.3 - Unit 301-30G Enlarged Floor Plan A-3.4 - Unit 401-40G Enlarged Floor Plan A-3.5 - Unit 501-50G Enlarged Floor Plan A-4.2 - Building Elevations A-6.3 - Disabled Access Details A-6.3 - Disabled Access Details A-6.3 - Disabled Access Details A-7 - Doors, Windows and Room Finish Schedule LANDSCAPING L-1 - Planting Plan L-2 - Planting Plan - Roof Level L-3 - Irrigation Plan L-4 - Irrigation Plan L-5 - Landscape Details 	STRUCTURAL S-1 - General Notes S-1.1 - Structural Notes S-1.2 - Details S-1.3 - Details S-1.4 - Details S-2 - Foundation Plan S-2 - Ist Floor Conc Deck Plan S-3 - 2nd Floor Concrete Deck Plan S-3 - 2nd Floor Concrete Deck Plan S-4 - 2nd Floor Concrete Deck Plan S-5 - Roof Deck Framing Plan S-7 - Roof Deck Framing Plan S-8 - Details S-10 - Details S-10 - Details	ARCHITECT: ZOHRABIANS ARCHITECTS + B HAMLET ZOHRABIANS AIA 3467 OCEAN VIEW BLVD. SUIT GLENDALE, CA. 91208 T. (818)236.3619 F. (818)236.2171 STRUCTURAL ENGINEER: NEXTECH ENGINEERING INC SEUNGIL HA 3454 W. 1ST STREET LOS ANGELES, CA 90004 T. (213)383.8011 F. (213)383.8045 ENERGY CONSERVATION: BF CONSULTING DESIGN BENJAMIN S. FAJARDO 12200 STAGG STREET NORTH HOLLYWOOD, CA. 9160 T. (818)795.3487 F. (818)579.7751 APPLIED EARTH SCIENCES: 4742 SAN FERNANDO RD. GLENDALE, CA. 91204 T. (818) 552-6000 F. (818) 552-6007
TRE DEPARTMENT NOTES ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR A PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBI WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABI SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED M NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED DISTANCE. FIRE SPRINKLERS: PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA-1 3 AND THE REQUINISTALLED IN ACCORDANCE WITH NFPA-1 3 AND THE REQUINISTALLED IN ACCORDANCE WITH NFPA-1 3 AND THE REQUINISTALED FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DA SMOKE DETECTORS SMOKE DETECTORS SMOKE DETECTORS SMOKE DETECTORS SMOKE DETECTORS: SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING OF THE BEDROOM(5) AND ON EVERY LEVEL OF A DWELLING HARDWIED FROM THE BUILDING POWER SUPPLY AND EQUI MARDWIED FROM THE BUILDING POWER SUPPLY AND EQUI MET U.I. 2034 AND/OR NFPA 720 STANDARDS. 2016 CA FIRE PRENKLER REQUIRED FIRE DEPARTIMENT INSPECTIONS FOR THIS PROJE FIRE SPRINKLER OVERHEAD/U	LE FROM THE STREET, ROAD, ALLEY, AND THESE NUMBERS SHALL CONTRAST WITH C NUMERALS OR ALPHABET LETTERS. NUMBERS WITH A MINIMUM STROKE WIDTH OF 0.5 INCH IANNER (IF NUMBERS ARE ON THE EXTERIOR). AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY A THROUGHOUT THE ENTIRE APARTMENT REMENTS OF THE LOS ANGELES FIRE DEPARTMENT. AYS OF ISSUANCE OF THE BUILDING PERMIT. CTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP ARMS SHALL BE INTERCONNECTED, SO THAT THE RMS. G UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY UNIT INCLUDING BASEMENTS. ALARMS SHALL BE PPED WITH BATTERY BACKUP. DETECTORS SHALL LIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC R3 I 5 EPARTMENT: ECT ARE LISTED BELOW. FOR ALL INSPECTIONS USH (BEFORE COVERING ANY PIPING)	PLOT PLAN

NTS		PROJEC	T SUMMARY		
EECTS + BUILDERS 5 AIA 3LVD. SUITE B 08 EER: NG INC T DOO4 TON: 5IGN DO	PROJECT DESCRIPTION:PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITSPROJECT DATA:LEGAL DESCRIPTION= TRACT # 625, LOT 16APN= 4311-027-012LOT AREA= 12,830 s.f.ZONE= R3-1TOC= TIER 3OCCUPANCY= R2 / 52TYPE OF CONSTRUCTION= III-A / 1-A (FULLY SPRINKLERED PER NFPA-13)BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEETMAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEETPROPOSED BUILDING HEIGHT = 5 STORIES AND 56 FEETDENSITY:ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units	TOTAL RESIDENTIAL GROSS FLOOR AREA = 32,276 s.f.TOTALTOTAL PARKING GARAGE AREA= 11,134 s.f.PROPO $\frac{32,276}{48,000}$ + $\frac{11,134}{UL}$ = 0.67 + 0.00 = 0.67 < 1	PROPOSED AREA	 (SECTION 22.52.2130.C.4) AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE DEPARTMENT OF PUBLIC WORKS, ENVIRONMENTAL PROGRAMS DIVISION. 4. THE PROJECT SHALL COMPLY WITH THE REQUIREMENT THAT TANK-TYPE TOILETS BE HIGH-EFFICIENCY TOILETS (MAXIMUM 1.28 GALLONS/FLUSH) (SECTION 22.52.2130.C.3). LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS, Chapter 22.52, Part 22. Best Management Practices (BMPs) LID BMPs shall be installed as required by the Department of Public Works (DPW) pursuant to the County's "Low Impact Development Standards Manual," unless modified or waived by DPW. A SEPARATE APPLICATION AND PERMIT 	V W V
ET , CA. 91605 NCES: O RD.)4	Mamon Benty noturn 70% denty source 17 (1,7) = 28.9 = 29 mile Proposed Every House = -70% Required too theore Units = -26 TOTAL PROPOSED UNITS = -26 TOTAL PROPOSED UNITS = -27 TOTAL PROPOSED UNITS = -27 TOTAL PROPOSED UNITS = -27 TOTAL PROPOSED STALS = -27 TOTAL = -27 TOTAL PROPOSED STALS = -27 TOTAL = -27 TOTAL PROPOSED STALS = -27 TOTAL = -2	Image: Problem interview Image:		IS REQUIRED FOR UNITY INTO WHICH PATTO IN CONCENTRICE WHICH IS A THE SPIRAL MICHANICAL AUMENTS WHICH IS INTO SPIRAL MICHANICAL AUMENTS WHICH IS IS INTO SPIRAL PATTO IN CONCENTRICE MILLION IN CONCENTRICE IS INTO AUXILIARY AND INFORMATION INFORMATION IS INTO AUXILIARY AUXILIARY AUXILIARY AUXILIARY IS INTO AUXILIARY AUXILIARY AUXILIARY AUXILIARY IS INTO AUXILIARY AUXILIARY AUXILIARY AUXILIARY IS INTO AUXILIARY AUXILIARY IS INTO AUXILIARY AUXILIARY AUXILIARY IS INTO AUXILIARY AUXILIARY AUXILIARY IS INTO AUXILIARY AUXILIARY IS INTO AUXILIARY IS INTO AUXILIARY IS INTO AUXILIARY AUXILIARY IS INTO AUXILIARY	STAMP: STAMP: These drawings and specifications are the property and copyingit of 20HRABIANS ARCHTECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with 20HRABIANS ARCHTECTS AND BUILDERS INC. Written dimensions take precederce over scaled dimensions and shall be verified by the contractor on the job stet. Any discrepancy shall be brought to the attention of 20HRABIANS ARCHTECTS AND BUILDERS INC. Prof to the commencement of any work. The Preliminary drawing indicates the general scope of the enjoyed: in ferms of architectural design conceet, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessanly indicate or described all work required for full performance and completion of the requirements of the general scope indicated or described, the contractor shall furmsh all items required for proper execution and completion of the work. CLIENT: Victoria SK Holiidings LLC 9437 Santa Monica Blvd. Suite 208 Beverly Hills Ca. 90210 PROJECT: Livonia Apartments 3123 Livonia Ave. Dos Angeles, Ca. 90034 REVISIONS DESCRIPTION DATE BY JOB NUMBER 072318 SHEET Af All L



PROJECT DESCRIPTION: PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING

OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

PROJECT DATA:

APN

ZONE

TOC

LOT AREA

LEGAL DESCRIPTION = TRACT # 625, LOT 16

- = 43||-027-0|2
- = 12,830 s.f.
- = R3-1 = TIER 3

OCCUPANCY = R2/S2

TYPE OF CONSTRUCTION = III-A/I (FULLY SPRINKLERED PER NFPA-I3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

DENSITY:

ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units Proposed Low Income Restricted Affordable Units: Proposed Density Bonus = 70% Required Low Income Units = 23%

PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. TOTAL PROPOSED UNITS = 29 REQUIRED AUTOMOBILE PARKING:

Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

PROPOSED PARKING: STANDARD STALLS = 13

HANDICAPPED STALLS = 2TOTAL PROPOSED STALLS = 15

REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29SHORT TERM: One parking space for each $\frac{10 \text{ unit}}{10 \text{ TOTAL}} = 32$

REQUIRED OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS: PARKING SPACES = $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

NOTE: THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.

PROPOSED COMMON USABLE OPEN SPACE: FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f. ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

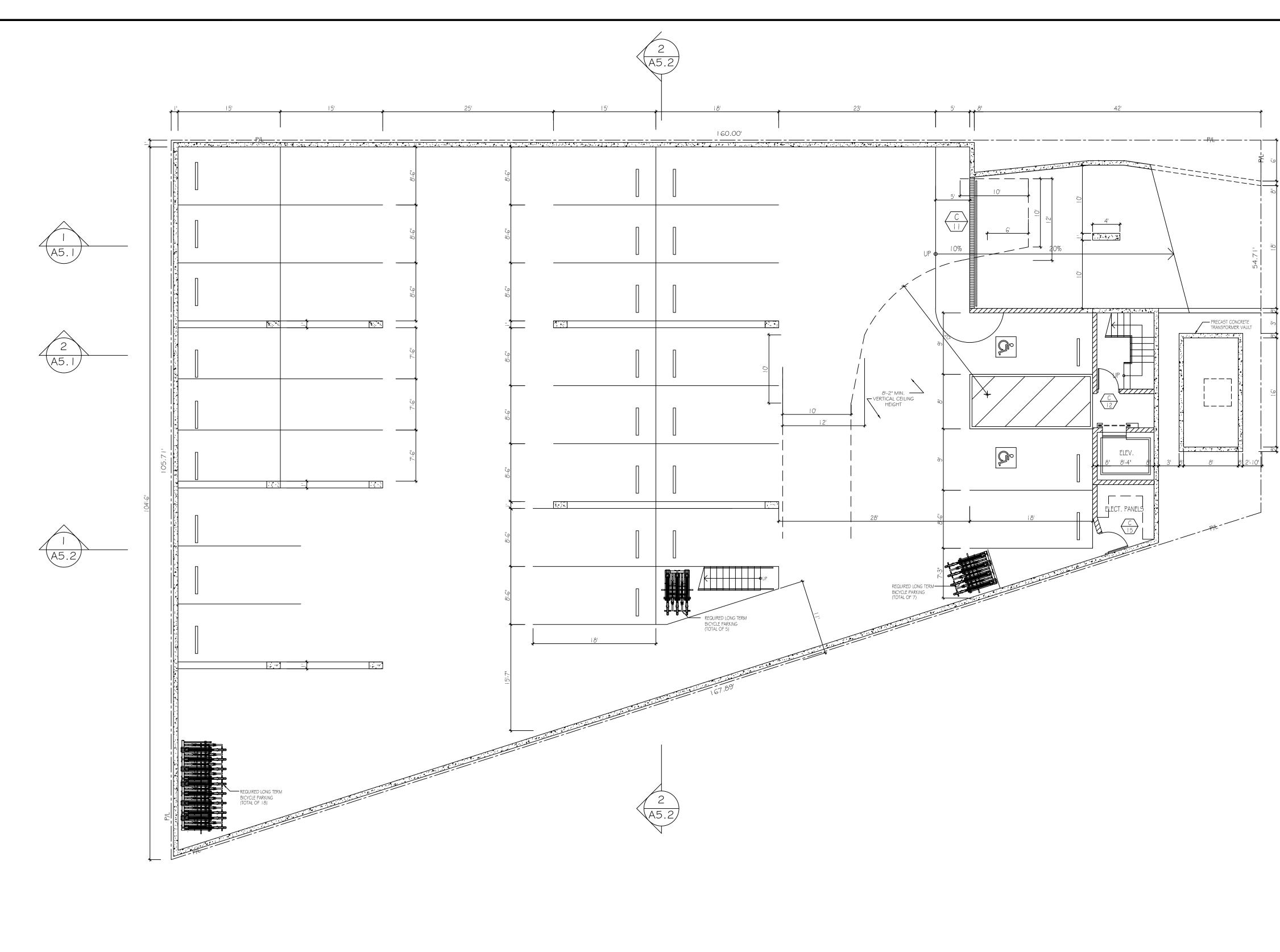
OPEN SPACE LANDSCAPE: PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f.ZONING BASE ALLOWABLE FLOOR AREA = 3(9,747 s.f.) = 29,241 s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,241 s.f. (1.5) = 43,861.5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

TOTAL PROPOSED							RESIDENTIAL AREA	
	-	102	-	103	104	105	106	A
	201	1	202	203	204	205	206	
UNIT NO.	301	-	302	303	304	305	306	
	401	-	402	403	404	405	406	
	501	1	502	503	504	505	506	
BEDROOMS	2	2	3	2		3	I	
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
FIFTH FLOOR	1,016	1	1,370	1,046	793	1,345	886	6,456 s.f.
								31,006 s.f.

CONCRETE MER VAULT	ň	LIVONIA AVE	3467 Oce Glendale, T +1 81 F +1 81 zab@zoh	LOS ANGELES LOS ANGELES Architects and Builders, Inc. an View Blvd. Suite B California 91208 3.236.3619 3.236.2171 rabians.com abians.com
1ORT TERM		1 5.2	property and c ARCHITECTS A not be used on agreement with AND BUILDERS precedence ov be venified by t Any discrepanc attention of 2C BUILDERS INC. any work. The Preliminary scope of the p design concept building, the ma the type of str systems. As sc do not necessa work required f completion of t contract docum general scope contractor shal proper execute CLIENT: Victoria S 9437 Sa Suite 20	and specifications are the opyright of ZOHRABIANS ND BUILDERS INC., and shall any other work except by ZOHRABIANS ARCHITECTS INC. Written dimensions take er scaled dimensions and shall he contractor on the job site. y shall be brought to the HRABIANS ARCHITECTS AND prior to the commencement of drawing indicates the general roject in terms of architectural s, the dimensions of the gor architectural elements and uctural, mechanical, electrical ope documents the drawings inly indicate or describe all or full performance and he requirements of the naticated or described, the I furnish all items required for on and completion of the work.
			3123 Liv	ments onia Ave. eles, Ca. 90034 REVISIONS
LOBBY	EXTERIOR		SHEET TITLE:	
AREA B	WALLS C	ZONING AREA A+B-C	SITE AND FI	RST FLOOR PLAN
822 s.f.	246 s.f. 246 s.f.	5,758 s.f. 6,322 s.f.	DATE	01.16.19
2 s.f.	246 s.f. 246 s.f.	6,322 s.f.	SCALE DRAWN BY	/8' = '-0" HZ
2 s.f.	246 s.f.	6,322 s.f. 6,322 s.f.	JOB NUMBER SHEET	072318
l ,270 s.f.	I ,230 s.f.	31,046 s.f.		A2.1



PROJECT DESCRIPTION: PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

PROJECT DATA:

APN

ZONE

TOC

LOT AREA

LEGAL DESCRIPTION = TRACT # 625, LOT 16 = 43||-027-0|2

= 12,830 s.f.

= R3-1

= TIER 3 OCCUPANCY = R2/S2

TYPE OF CONSTRUCTION = III-A/I (FULLY SPRINKLERED PER NFPA-I 3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

DENSITY:

ALLOWABLE NUMBER OF UNITS = 12,830 Maximum Density including 70% density bc Proposed Low Income Res Proposed Density Bonus = 70%

Required Low Income Units = 23%PROPOSED NUMBER OF Non-Restricted PROPOSED NUMBER OF Restricted Affor TOTAL PROPOSED UNITS

REQUIRED AUTOMOBILE Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

PROPOSED PARK	KING:
STANDARD STALLS	= 3
HANDICAPPED STALLS	= 2
TOTAL TROPOSED STALLS	- 15

REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29 SHORT TERM: One parking space for each 10 unit = 3TOTAL = 32

	s.f. = 16.03 = 16 units .7) = 28.9 = 29 units
stricted	Affordable Units:
UNITS	= 26
rdable UNITS	= 3 (Extremly Low Income)
	= 29
PARKING	<u>;</u>



REQUIRED OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS: PARKING SPACES = 15 x 5% = 0.75 PROPOSED OUTLETS = 2 NOTE:

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.PROPOSED COMMON USABLE OPEN SPACE:

FIRST FLOOR REAR COMMON USABLE OPEN SPACE	=	1,040 s.f.
FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE	=	667 s.f.
ROOF TOP DECK COMMON USABLE OPEN SPACE	=	l ,932 s.f. (2
TOTAL PROPOSED COMMON OPEN SPACE	=	3,639 s.f.
OPEN SPACE LANDSCAPE.		

1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) : 3,639 s.f.

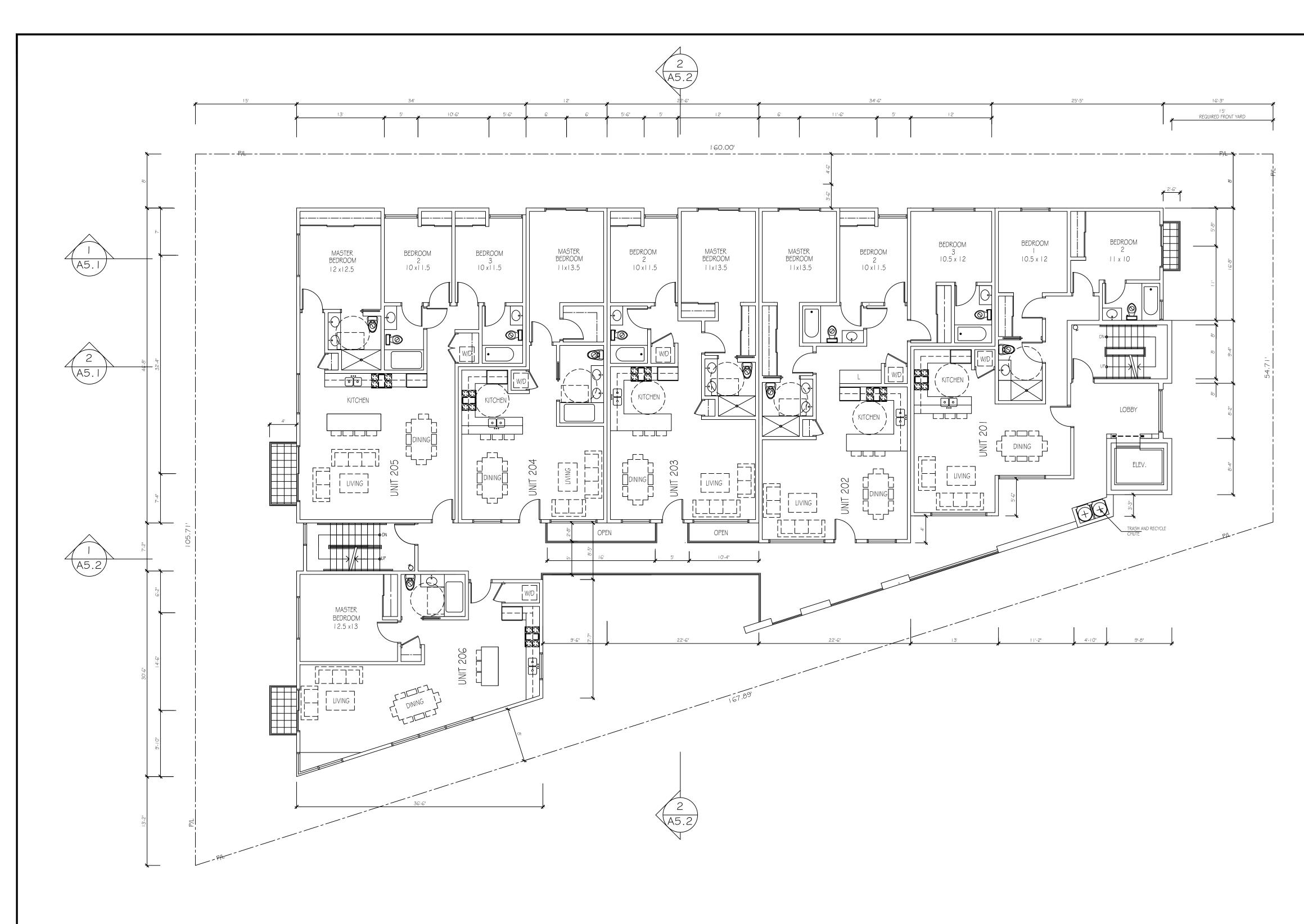
OPEN SPACE LANDSCAPE: PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f.ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,24 | s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,2415.f. (1.5) = 43,861.5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

					TOTAL	PROPOSE	ĒD	RESIDENTIAL AREA
	-	102	-	103	104	105	106	А
	201	-	202	203	204	205	206	
UNIT NO.	301	-	302	303	304	305	306	
	401	-	402	403	404	405	406	
	501	-	502	503	504	505	506	
BEDROOMS	2	2	3	2	-	3	1	
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
								31,006 s.f.

		LIVONIA AVE.	Image: Second system Image: Second system Image: Second	S ANGELES
			These drawings and specifications ar property and copyright of 20HRABI ARCHITECTS AND BULDERS INC., a not be used on any other work every agreement with 20HRABINA ARCHI AND BULDERS INC. Written dimensi precedence over scaled dimensions be verified by the contractor on the Any discreasing while be brought to attaction of 20HRABINA ARCHITEC BULDERS INC. Prior to the commen any work. The Preliminary drawing indicates the scope of the project in terms of and design concept, the dimensions of 8 building, the major architectural elen the type of structural incentional, of discipation of the requirements the d d of in the incessarily inclusions of 8 proper inclusted or discretion of the contract documents. On the basis of general scope inclusted or discretion of the contract documents of the contract documents. In the dimensions of 8 9437 Santa Monica E Bevenly Hillis Ca. 902 PROJECT: Livonia Apartments 3123 Livonia Ave, Los Angeles, Ca. 9000	ANS nd shall pt by TECTS ons take and shall job site. the ITS AND cement of general ntectural rewings be all d e the d, the ured for the work. LLC BIVCI. I O
			REVISIONS DESCRIPTION DATE	BY
LOBBY AREA	EXTERIOR WALLS	ZONING AREA	SHEET TITLE:	
B	C	A+B-C	SEMI-SUBTERRANEAN PARKING GARAGE PLAN	
822 s.f.	246 s.f.	5,758 s.f.	DATE 01.16.19	
2 s.f. 2 s.f. 2 s.f.	246 s.f. 246 s.f. 246 s.f.	6,322 s.f. 6,322 s.f.	SCALEI/8' = I'-0"DRAWN BYHZ	
2 s.f. 2 s.f. ,270 s.f.	246 s.f. 246 s.f. 1,230 s.f.	6,322 s.f. 6,322 s.f. 31,046 s.f.	JOB NUMBER 072318 SHEET	
.,_,_,,	- , LOO 3.1.	01,0100.	A2	.2



PROJECT DESCRIPTION: PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

PROJECT DATA:

APN

ZONE

TOC

LOT AREA

LEGAL DESCRIPTION = TRACT # 625, LOT 16

= 4311-027-012

= 12,830 s.f.

= R3-1

= TIER 3 = R2/S2

OCCUPANCY TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA-I 3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

DENSITY:

REQUIRED OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS: ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units PARKING SPACES = $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2 Proposed Low Income Restricted Affordable Units:

Proposed Density Bonus = 70% Required Low Income Units = 23%PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. TOTAL PROPOSED UNITS = 29

REQUIRED AUTOMOBILE PARKING: Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

PROPOSED PARKING: STANDARD STALLS = 13

HANDICAPPED STALLS = 2TOTAL PROPOSED STALLS = 15

REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29SHORT TERM: One parking space for each 10 unit = 3TOTAL = 32



NOTE: THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

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OPEN SPACE:

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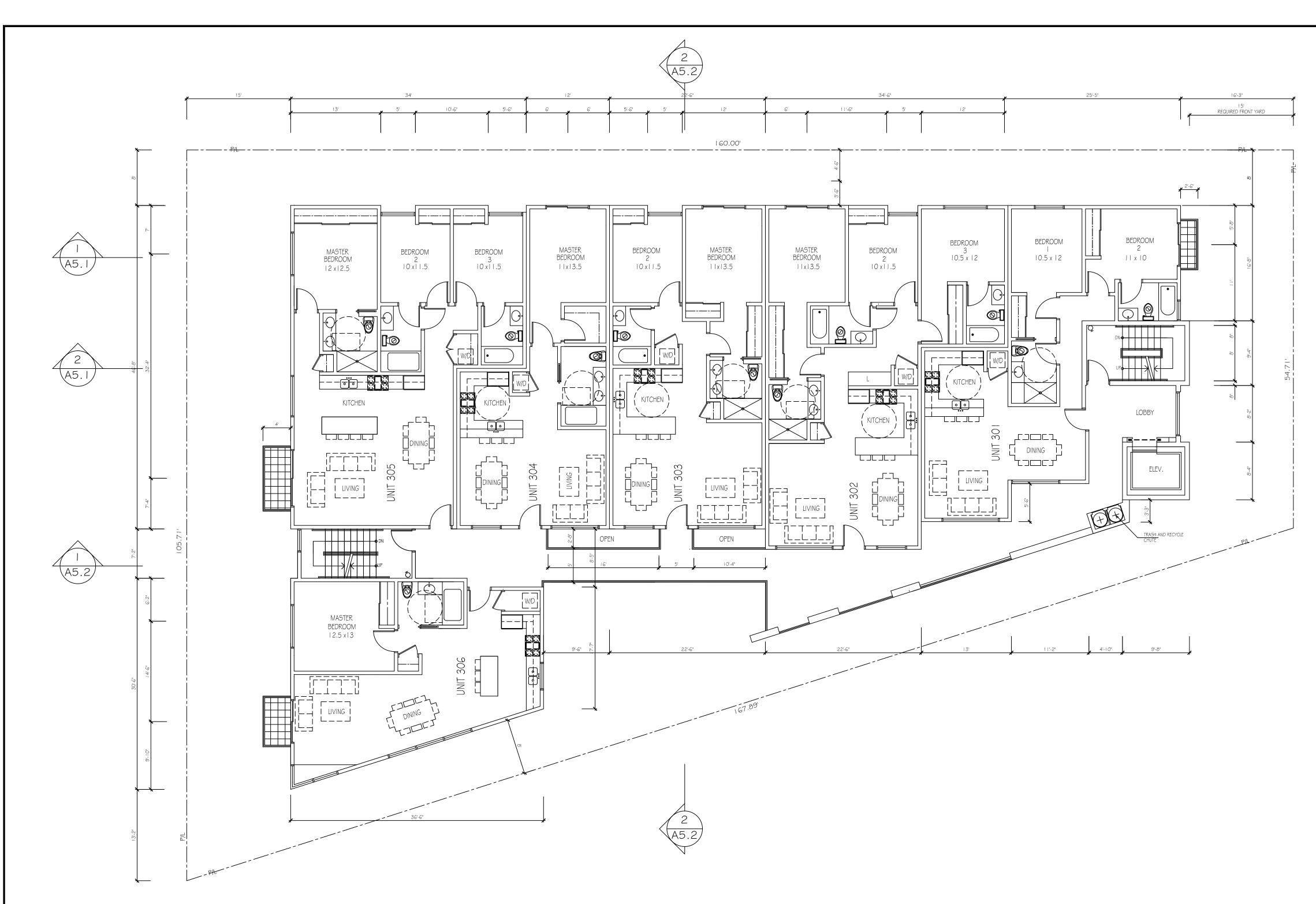
OPEN SPACE LANDSCAPE: PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f.ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,24 | s.f. (1.5) = 43,86 | .5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

	RESIDENTIAL AREA							
	-	102	-	103	104	105	106	A
	201	-	202	203	204	205	206	
UNIT NO.	301	-	302	303	304	305	306	
	401	-	402	403	404	405	406	
	501	-	502	503	504	505	506	
BEDROOMS	2	2	3	2	1	3	1	
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.
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FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
								31,006 s.f.

			2	N	ZOHRABIANS	LOS	ANGELES
		LIVONIA AVE.			Zohrabians Archit 3467 Ocean View Glendale, Califorr T +1 818.236.30 F +1 818.236.21 zab@zohrabians. www.zohrabians.	/ Blvd. Suite B nia 91208 619 171 com	s, Inc.
					These drawings and sp property and copyrigh ARCHITECTS AND BUI not be used on any ot agreement with ZOHR/ AND BUILDERS INC. W precedence over scale be verified by the cont Any discrepancy shall attention of ZOHRABI/ BUILDERS INC. prior t any work. The Preliminary drawing scope of the project i design concept, the d building, the major arc the type of structural, systems. As scope do do not necessarily ind work required for full p completion of the required ont necessarily ind work required for full p completion of the required contract documents. O general scope indicate contractor shall furnish proper execution and o CLIENT: Victoria SK F 9437 Santa Beverly Hills O PROJECT: PROJECT: Disconta Los Angeles,	t of ZOHRABIA LDERS INC., an her work except ABIANS ARCHIT written dimensions a cractor on the y- be brought to t ANS ARCHITECT o the commence g indicates the n terms of archi- hitectural eleme mechanical, ele- pouments the dri- incate or described interformance and unements of the bournents of the completion of the Ca. 902 I Monica B Ca. 902 I	NS d shall t by FECTS ons take nd shall ob site. he FS AND ement of general tectural e ents and ectrical awings be all d the i, the red for ne work. LLC IVd.
						ISIONS	BY
					DESCRIPTION		
LOBBY AREA B	EXTERIOR WALLS C	ZONING AREA A+B-C			SHEET TITLE: SECOND FLOOR F	I I	
822 s.f. 112 s.f. 112 s.f. 112 s.f. 112 s.f. 112 s.f. 1,270 s.f.	246 s.f. 246 s.f. 246 s.f. 246 s.f. 246 s.f. 1,230 s.f.	5,758 s.f. 6,322 s.f. 6,322 s.f. 6,322 s.f. 6,322 s.f. 31,046 s.f.			SCALE1/8DRAWN BYHZJOB NUMBER07SHEET	.16.19 3' = 1'-0" 2318 A2	.3



PROJECT DESCRIPTION: PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING

OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

PROJECT DATA:

APN

ZONE

TOC

LOT AREA

LEGAL DESCRIPTION = TRACT # 625, LOT 16

- = 43||-027-0|2
- = 12,830 s.f.
- = R3-1
- = TIER 3

OCCUPANCY = R2/S2 TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA- I 3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET PROPOSED PARKING: MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

DENSITY: ALLOWABLE NUMBER OF UNITS = 12,830

Maximum Density including 70% density bon Proposed Low Income Rest Proposed Density Bonus = 70%

Required Low Income Units = 23%PROPOSED NUMBER OF Non-Restricted UNITS = 26 TOTAL PROPOSED UNITS

REQUIRED AUTOMOBILE PARKING: Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

TRUTUJLU TARRING:
STANDARD STALLS = 13
HANDICAPPED STALLS = 2
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REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29SHORT TERM: One parking space for each 10 unit = 3TOTAL = 32

0 s.f. / 800 s.f. = 16.03 = 16 units onus = 17 (1.7) = 28.9 = 29 units	
stricted Affordable Units:	
0.0	

= 29



REQUIRED OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS: PARKING SPACES = 15 x 5% = 0.75 PROPOSED OUTLETS = 2 NOTE: THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE. OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.PROPOSED COMMON USABLE OPEN SPACE:

FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f. ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.OPEN SPACE LANDSCAPE:

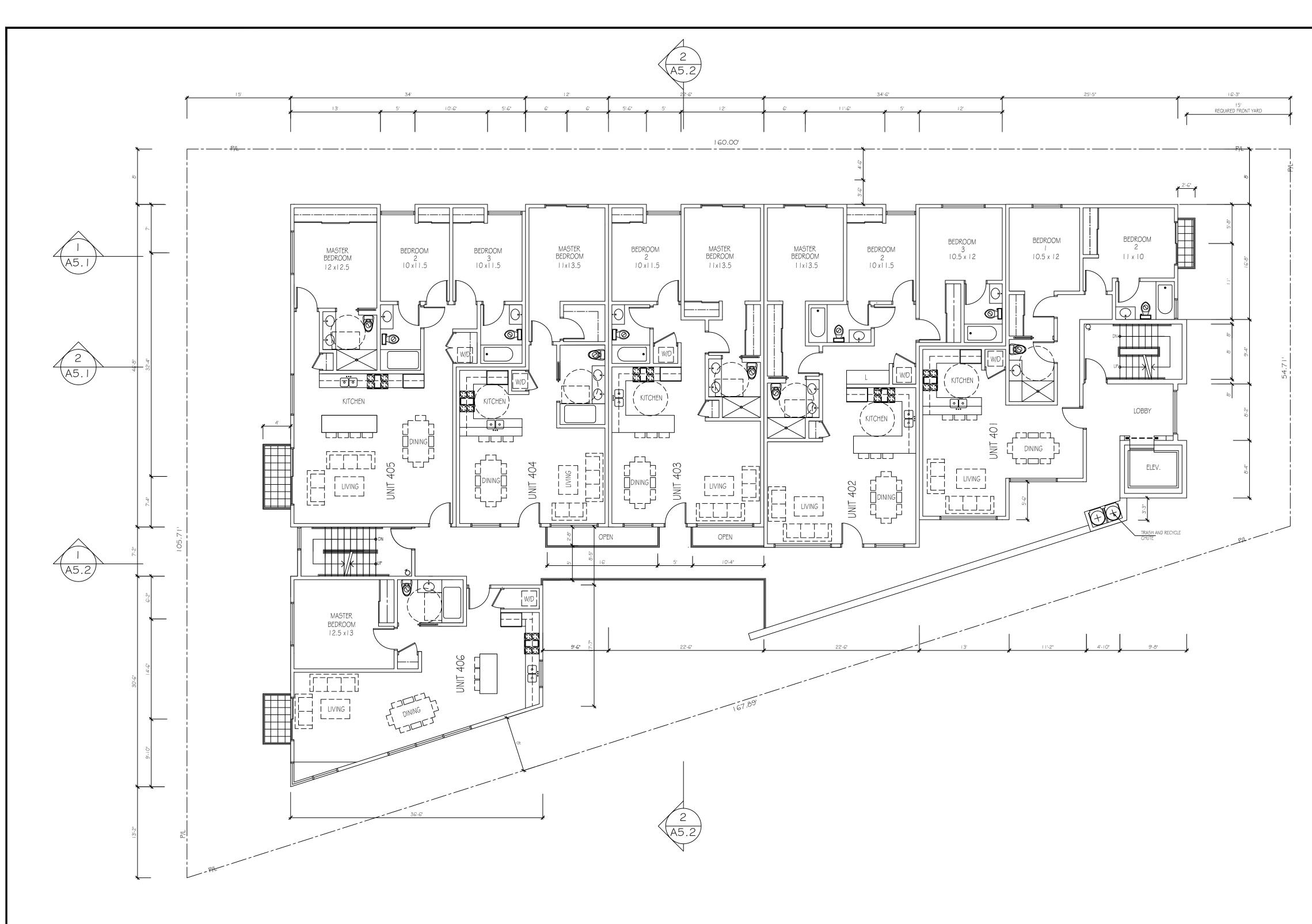
PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f.ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,24 | s.f. (1.5) = 43,86 | .5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

	RESIDENTIAL AREA							
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UNIT NO.	301	-	302	303	304	305	306	
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THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
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FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.
								31,006 s.f.

Interview of the second	3467 Ocean	Architects and Builde View Blvd. Suite B alifornia 91208 236.3619 236.2171 Dians.com	S ANGELES ers, Inc.
	property and cop ARCHITECTS ANE not be used on an agreement with Z AND BUILDERS IN precedence over be verified by the Any discrepancy s attention of ZOHF BUILDERS INC. p any work. The Preliminary dr scope of the proj design concept, f building, the majo the type of struct systems. As scop do not necessaril work required for completion of the contract documen general scope ind contractor shall fi proper execution CLIENT: Victoria SH 9437 San Beverly Hill PROJECT: LIVONIA Apartn 3123 Livo	nents	ANS Ind shall pt by ITECTS ons take and shall job site. the CTS AND cement of e general hitectural he lectrical drawings ibe all id f the d, the ured for the work. LLC BIVA. I O
	DESCRIPTION	REVISIONS DATE	BY
DENTIAL LOBBY EXTERIOR EA AREA WALLS ZONING AREA	SHEET TITLE:		
A B C A+B-C	THIRD FLOOR	PLAN	
32 s.f. 822 s.f. 246 s.f. 5,758 s.f. 56 s.f. 112 s.f. 246 s.f. 6,322 s.f.	DATE SCALE	0 . 6. 9	
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56 s.f. 112 s.f. 246 s.f. 6,322 s.f. 06 s.f. 1,270 s.f. 1,230 s.f. 31,046 s.f.	SHEET	A2	.4



PROJECT DESCRIPTION: PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

PROJECT DATA:

LOT AREA

ZONE

TOC

LEGAL DESCRIPTION	= TRACT # 625, LOT 16
APN	= 43 -027-0 2

= 12,830 s.f.

= R3-1

= TIER 3 = R2/S2

OCCUPANCY TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA-I3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

REQUIRED OUTLET FOR FUTURE ELECTRIC DENSITY: VEHICLE CHARGING STATIONS: ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units PARKING SPACES = $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2 Proposed Low Income Restricted Affordable Units: NOTE: Proposed Density Bonus = 70% THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY Required Low Income Units = 23%CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PROPOSED NUMBER OF Non-Restricted UNITS = 26 PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT TOTAL PROPOSED UNITS = 29 PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

REQUIRED AUTOMOBILE PARKING: Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

PROPOSED PARKING: STANDARD STALLS = 13 HANDICAPPED STALLS = 2

TOTAL PROPOSED STALLS = 15

REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29SHORT TERM: One parking space for each 10 unit = 3

TOTAL = 32

OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.PROPOSED COMMON USABLE OPEN SPACE:

FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f. ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

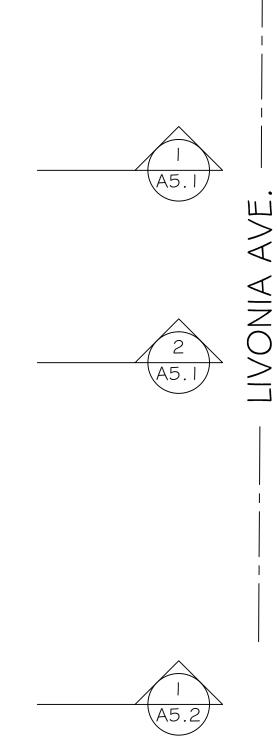
OPEN SPACE LANDSCAPE: PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

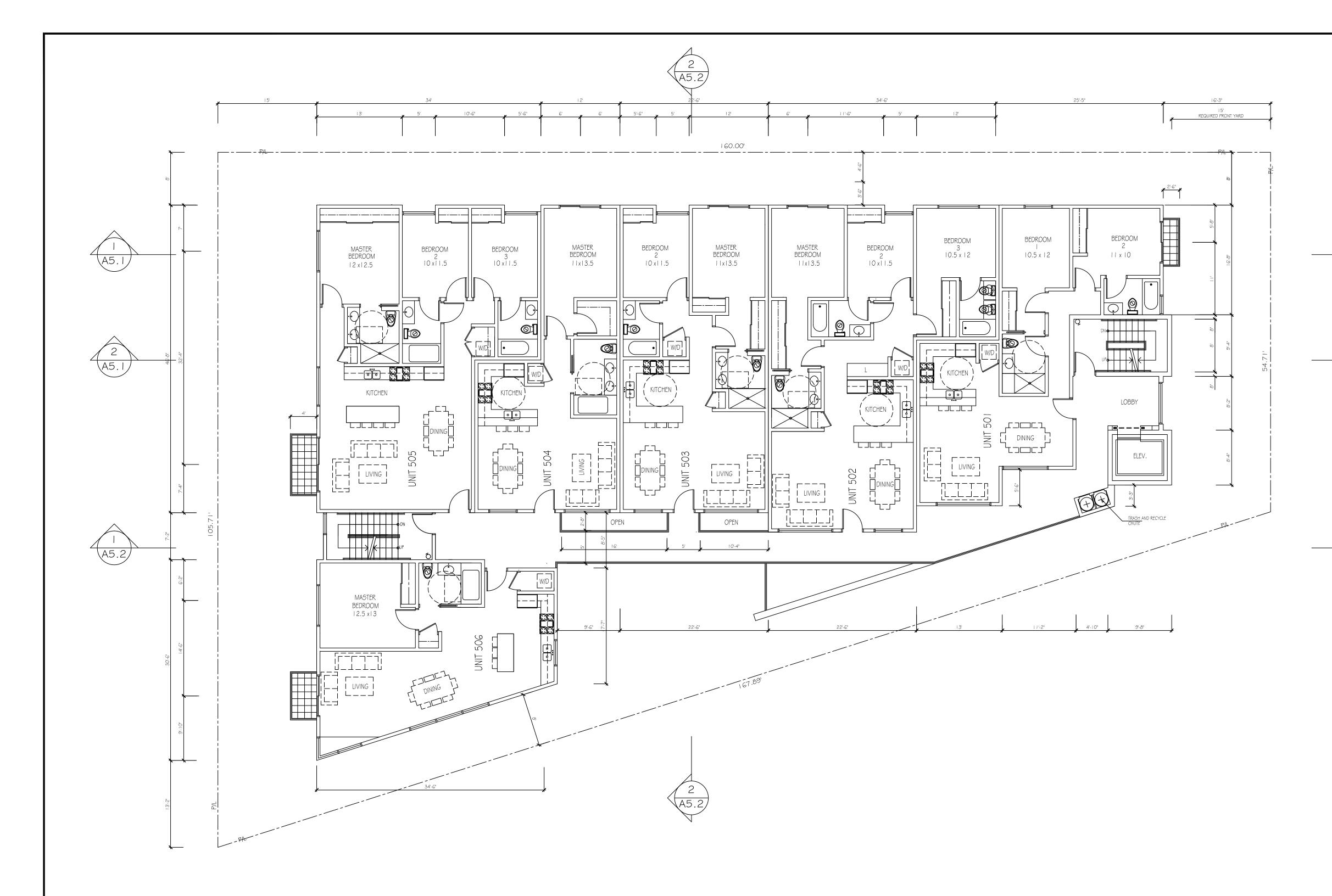
FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3(9,747 s.f.) = 29,24 | s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,241s.f. (1.5) = 43,861.5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

TOTAL PROPOSED								RESIDENTIAL AREA	LOBBY AREA	EXTERIOR WALLS	ZONING AREA
	-	102	-	103	104	105	106	A	В	С	A+B-C
	201	-	202	203	204	205	206				
UNIT NO.	301	-	302	303	304	305	306				
	401	-	402	403	404	405	406				
	501	-	502	503	504	505	506				
BEDROOMS	2	2	3	2	1	3	1				
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	2 s.f.	246 s.f.	6,322 s.f.
								31,006 s.f.	l ,270 s.f.	∣,230 s.f.	31,046 s.f.

	S N V I B V H O Z LOS ANGELES
AVE.	Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208 T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com www.zohrabians.com
	These drawings and creations are the
	These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the general scope indicated or described, the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.
	Victoria SK Holidings LLC 9437 Santa Monica Blvd. Beverly Hills Ca. 90210
	PROJECT: Livonia Apartments 3 I 23 Livonia Ave. Los Angeles, Ca. 90034
	REVISIONS DESCRIPTION DATE BY
ZONING AREA A+B-C	SHEET TITLE: FOURTH FLOOR PLAN
5,758 s.f. 6,322 s.f. 6,322 s.f. 6,322 s.f. 6,322 s.f. 31,046 s.f.	DATE 01.16.19 SCALE 1/8' = 1'-0" DRAWN BY HZ JOB NUMBER 072318 SHEET A2.5





PROJECT DESCRIPTION:

PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

PROJECT DATA:

APN

ZONE

TOC

LOT AREA

LEGAL DESCRIPTION = TRACT # 625, LOT 16

= 43||-027-0|2

- = 12,830 s.f.

- = R3-1
- = TIER 3

OCCUPANCY = R2/S2 TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA-I3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

REQUIRED OUTLET FOR FUTURE ELECTRIC DENSITY: VEHICLE CHARGING STATIONS: ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units PARKING SPACES = $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2 Proposed Low Income Restricted Affordable Units: NOTE: Proposed Density Bonus = 70% THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY Required Low Income Units = 23% CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PROPOSED NUMBER OF Non-Restricted UNITS = 26 PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT TOTAL PROPOSED UNITS = 29 PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

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OPEN SPACE:

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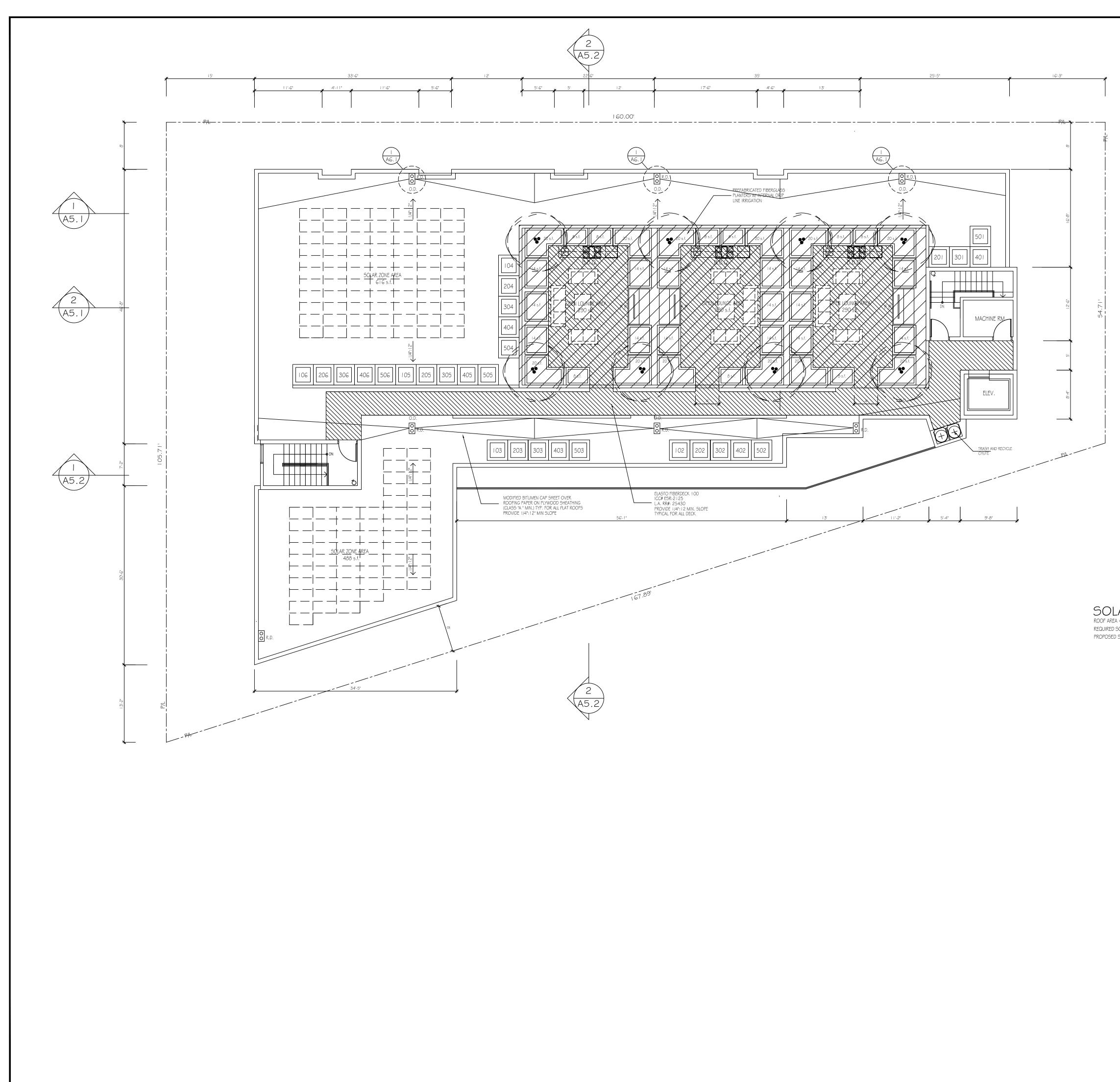
ZONING FLOOR AREA CALCULATION

					TOTAL	PROPOSE	ĒD	RESIDENTIAL AREA	LOBBY AREA	EXTERIOR WALLS
	-	102	-	103	104	105	106	A	В	С
	201	-	202	203	204	205	206			
UNIT NO.	301	-	302	303	304	305	306			
	401	-	402	403	404	405	406			
	501	-	502	503	504	505	506			
BEDROOMS	2	2	3	2	ļ	3	I			
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	2 s.f.	246 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	2 s.f.	246 s.f.
								31,006 s.f.	l ,270 s.f.	l,230 s.f.

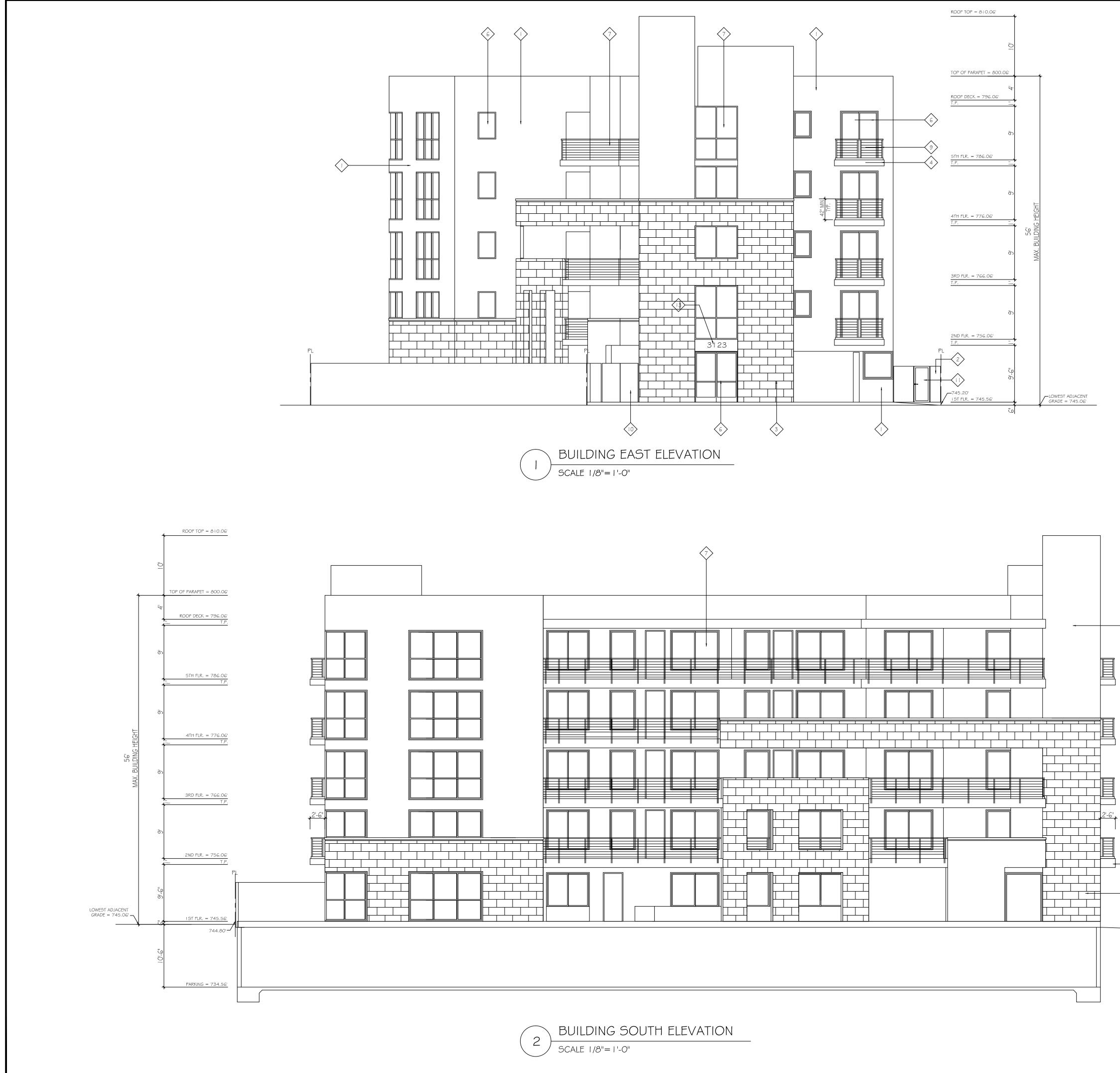
	S N V I B V H O Z I LOS ANGELES Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B
	Glendale, California 91208 T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com www.zohrabians.com
- LIVONIA AVE.	STAMP:
	These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the general scope indicated or described, the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.
	Victoria SK Holidings LLC 9437 Santa Monica Blvd. Beverly Hills Ca. 90210
	PROJECT: Livonia Apartments 3123 Livonia Ave. Los Angeles, Ca. 90034
	REVISIONS DESCRIPTION DATE BY
ZONING AREA A+B-C	Sheet Title: FIFTH FLOOR PLAN
5,758 s.f. 6,322 s.f. 6,322 s.f. 6,322 s.f. 6,322 s.f. 31,046 s.f.	DATE 01.16.19 SCALE 1/8' = 1'-0" DRAWN BY HZ JOB NUMBER 072318 SHEET A2.6

(A5.

LOBBY EXTERIOR AREA WALLS



	N	S N V I B V H O Z LOS ANGELES
A5.1 A5.1 A5.1 A5.1 A5.1		Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208 T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com www.zohrabians.com
MST STATES (7.004 st) = 1.022 st. STATES STATES (7.004 st) = 1.022 st. STATES STATES (7.004 st) = 1.022 st. STATES STATES (7.004 st) = 1.024 st.		These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the general scope indicated or described, the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT: Victoria SK Holidings LLC 9437 Santa Monica Blvd. Beverly Hills Ca. 90210 PROJECT: LIVONIA Apartments 3123 Livonia Ave. Los Angeles, Ca. 90034
		REVISIONS DESCRIPTION DATE BY
		SHEET TITLE: PROPOSED ROOFTOP DECK PLAN
		DATE 01.16.19 SCALE 1/8' = 1'-0" DRAWN BY HZ JOB NUMBER 072318 SHEET A22.7



FINISH NOTES :

- I I " SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER INSULATION BOARD OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 X 6 @ 16 O.C. AND ONE LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE PROVIDE R-13 INSULATION IN STUD SPACE. COLOR: white
- 2- SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK FENCE AND PLANTER WALL COLOR: white
- 3- SMOOTH FINISHED STONE VENEER COLOR: Black Basalt
- 4- SMOOTH FINISHED METAL CLAD (MATCH WINDOW FRAMES) COLOR: Dark Bronze
- 5- SMOOTH FINISHED METAL CLAD CANOPY (MATCH WINDOW FRAMES) COLOR: Dark Bronze
- 6- FIBERGLASS FRAMED TEMPERED GLASS DOOR COLOR: Dark Bronze
- 7- FIBERGLASS FRAMED DUAL GLAZED WINDOW COLOR: Dark Bronze
- 8- FIBERGLASS FRAMED W/ FROSTED GLASS WINDOW COLOR: Dark Bronze
- 9- PAINTED METAL GUARDRAIL
- COLOR: dark bronze 10- PAINTED METAL GARAGE GATE COLOR: dark bronze
- 11- PAINTED METAL GATE COLOR: dark bronze
- 12- WALL MOUNTED LIGHT FIXTURE COLOR: dark bronze
- 13- INTERNALLY ILLUMINATED, INDIVIDUAL CHANNEL METAL LETTERS ADDRESS SIGN COLOR: dark bronze
- 14- PAINTED METAL DOOR COLOR: dark bronze
- EW ESCAPE WINDOW

NOTE:

-

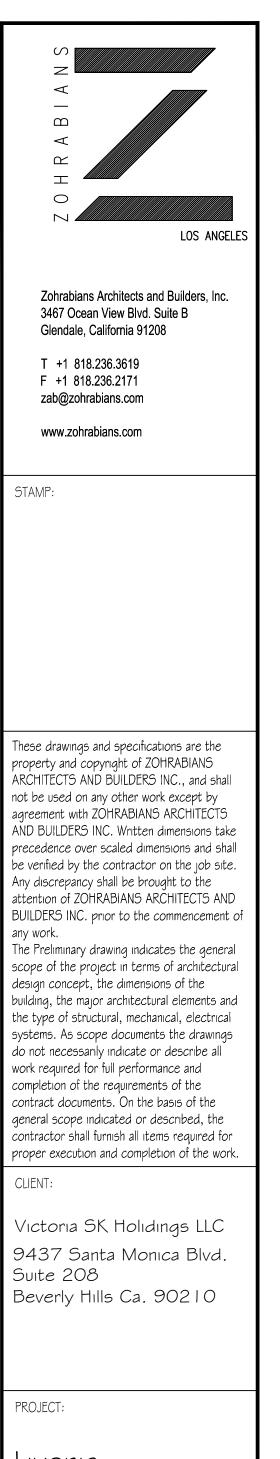
 $\overline{5}$

 $-\sqrt{3}$

745.20'

PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS (6306)

ANTI GRAFFITI COATING: VANDL GUARD VG 7007 RESEARCH REPORT # 25060 CSI # 09960



Livonia Apartments 3123 Livonia Ave.

Los Angeles, Ca. 90034

REVISIONS								
DESCRIPTION	DATE	BY						

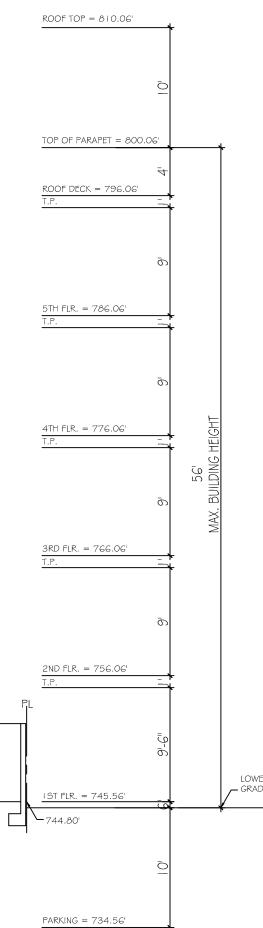
SHEET TITLE:

PROPOSED BUILDING EAST AND SOUTH ELEVATIONS

DATE	01.16.19
SCALE	/8' = '-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	
	A4.1



-	IISH NOTES :	
	I" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER INSULATION BOARD OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 X 6 @ 1 6 O.C. AND ONE LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE PROVIDE R-1 3 INSULATION IN STUD SPACE. COLOR: white	
2-	SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK FENCE AND PLANTER WALL COLOR: white	LOS ANGELE
3-	SMOOTH FINISHED STONE VENEER COLOR: Black Basalt	Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B
4-	SMOOTH FINISHED METAL CLAD (MATCH WINDOW FRAMES) COLOR: Dark Bronze	Glendale, California 91208 T +1 818.236.3619
5-	SMOOTH FINISHED METAL CLAD CANOPY (MATCH WINDOW FRAMES) COLOR: Dark Bronze	F +1 818.236.2171 zab@zohrabians.com
6-	FIBERGLASS FRAMED TEMPERED GLASS DOOR COLOR: Dark Bronze	www.zohrabians.com
7-	FIBERGLASS FRAMED DUAL GLAZED WINDOW COLOR: Dark Bronze	STAMP:
8-	FIBERGLASS FRAMED W/ FROSTED GLASS WINDOW COLOR: Dark Bronze	
9-	PAINTED METAL GUARDRAIL COLOR: dark bronze	
10-	PAINTED METAL GARAGE GATE COLOR: dark bronze	
-	PAINTED METAL GATE COLOR: dark bronze	
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EW	ESCAPE WINDOW	Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work.
PROV MEAS (630 ANTI VANE RESE	NTE: ANDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, SURED FROM GRADE AT EXTERIOR WALLS AND DOORS 6) GRAFFITI COATING: DI GUARD VG 7007 FARCH REPORT # 25060 # 09960	design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work CLIENT: Victoria SK Holidings LLC 9437 Santa Monica Blvd. Suite 208 Beverily Hills Ca. 90210 PROJECT: LIVONIA Apartments
		3 23 Livonia Ave. Los Angeles, Ca. 90034
		3123 Livonia Ave.
		3 23 Livonia Ave. Los Angeles, Ca. 90034 REVISIONS
		3 I 23 Livonia Ave. Los Angeles, Ca. 90034 REVISIONS DESCRIPTION DATE BY
IACENT 15.06'		3 I 23 Livonia Ave. Los Angeles, Ca. 90034 REVISIONS DESCRIPTION DATE BY DESCRIPTION DATE BY SHEET TITLE: PROPOSED BUILDING
		3 I 23 Livonia Ave. Los Angeles, Ca. 90034 REVISIONS DESCRIPTION DATE BY DESCRIPTION DATE BY DESCRIPTION DATE BY SHEET TITLE: PROPOSED BUILDING WEST AND NORTH ELEVATIONS







Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920

F: (310) 295-9906

E: info@soronc.org

soronc.org



City of Los Angeles Certified Neighborhood Council

Motion to support proposed 50-unit TOC apartment building at 9316-9324 National Blvd + 3301-3305 S Canfield Ave

Agenda Item:

Date:

To be filled in by Exec Committee June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

Background

The project team presented this proposed 50-unit apartment building to the Land Use Committee at their March 05, 2020 meeting. The applicant's entitlement request is for a Tier 3 TOC (Transit Oriented Communities) apartment building.¹ 5 units will be set aside as Extremely Low Income affordable units. The remaining 45 units will be market rate units. In addition to the base incentives of increased density, decreased parking, and increased Floor Area Ration (FAR), the project utilizes additional onmenu TOC incentives of increased building height, reduced open space, and reduced front and rear yard setbacks.

(The TOC program, a result of Measure JJJ passed by voters in 2016, encourages developers to build more affordable housing and to locate said housing near transit by offering incentives, which the developer can select from a menu.)

The subject property, located at 9316-9324 National Blvd + 3301-3305 S Canfield Ave, is on the southwest corner of National Blvd and S Canfield Ave. The neighborhood is primarily comprised of 2-4-story apartment and condo buildings on R3-1 zoned lots.

The project site is 22,444.804 square feet with a 45-foot height limit. The proposed building is 6 stories, 56-feet tall, and 74,635 square feet. 50 parking stalls are located in a ground-level parking garage.

The applicant noticed residents within 500 feet of the property for the March Land Use Committee meeting. A few residents attended the meeting to discuss the project. Primary comments expressed concern over parking and displacement of current residents. The project representative clarified that the previous two tenants were illegal daycares that were shut down by the City. The developer plans to provide Metro passes to the building tenants and to locate Envoy vehicles on-site to encourage car sharing. The Envoy cars will be available to the public.

Proposed Motion

Submit a letter in support of the application to City Planning Associate Renata Ooms (renata.ooms@lacity.org) to be included in case file for the TOC apartment building at 9316-9324 National Blvd + 3301-3305 S Canfield Ave; DIR-2019-6298-TOC.





Considerations

Committee review: (highly recommended)	Votes For:	6	Against: 0
Arguments for:		Argun	nents against:
The project utilizes the TOC (add 5 affordable units, as well market rate units, to the hous proposed units – 7 existing un additional units)	ll as 45 ing stock. (50	Seven	existing units will be demolished.
The project is located nearly of from the Palms Station and the / Expo Station: a 12 and 14 m respectively.	ne Culver City		

ⁱ Supporting Documents/Drawings: https://www.dropbox.com/sh/u5st43v762vxbij/AAAZ3IaFdjDDIcIciuXyK9T0a?dl=0





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary Renata Ooms Department of City Planning 200 N. Spring Street Los Angeles, CA 90012

19 June 2020

Re: Case Number DIR-2019-6298-TOC

Dear Ms Ooms:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed TOC apartment building at 9316-9324 National Blvd + 3301-3305 S Canfield Ave.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The addition of 50 units, 5 of which are designated Extremely Low Income affordable units, to a transit-rich area of Los Angeles is much needed.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein President, South Robertson Neighborhoods Council

Cc: Aviv Kleinman, Office of Council Member Paul Koretz Krystal Návar, SORO NC Land Use Committee Chair

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920

F: (310) 295-9906

E: info@soronc.org

soronc.org



City of Los Angeles Certified Neighborhood Council

Developer Guidelines

Requested SORO NC Land Use Committee meeting date	Thursday, March 5, 2020
Project information	
Planning case number	DIR-2019-6298-TOC
Project name	National & Canfield
Project address	3301 S. Canfield Avenue Los Angeles, 90034
Contact information	
Information for	Owner
Name	Simon Lazar
Address	640 S. San Vicente Blvd., #350 Los Angeles, CA, 90048
Phone number	(310) 272-5339
Email	simon@oakmontcapital.com
Representative of the	Owner
Representative name	Kristen Lonner
Address	9619 National Blvd Los Angeles, CA, 90034
Phone number	(310) 802-4261
Email	klonner@burnsbouchard.com

Project background

1. Description of what is being requested of this Committee that is not "by right" Planning Director's Determination for Tier 3 TOC incentives re: (1) height, (2) open 2. Description of project

a. Size of property	22444				
b. Size of proposed building(s)	69851				
Proposed project is	larger than allowable "by right" size				
c. "By right" allowable building size/area	49104				
d. Additional area requested	20747				
e. Rationale for requesting the additional area	The increase in FAR allows the development to construct both market rate and restricted affordable units that are of sufficient size, configuration, and quality.				
3. Proposed use of property	Multifamily Residential.				
4. Describe the community benefit from your proposed use of the property	45-units added to City's RSO housing stock, 5-units added to City's restricted affordable dwelling unit housing stock. New housing opportunities concentrated in proximity to existing high-quality transit options.				
	The developer has several approved projects working with the Palms and Mar Vista communities where he has received wide-spread support. Those projects, like this one, include Envoy pool cars on site so that both residents and neighbors can utilize a growing pool car network.				
5. Parking spaces					
a. Currently on property	8				
b. Required by code	25				
c. Breakdown of the actual spaces					
Standard spaces	24				
Compact spaces	25				
Handicap spaces	1				
6. Trash enclosure and loading dock					
a. Trash enclosure	Yes				
b. Loading dock	Νο				

Additional notes on trash and loading

7. Have you provided any additional amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community? Vehicular ingress and egress provided from Canfield Avenue only.

The developer has several approved projects on Overland Avenue which include Envoy pool cars, like this project, provided on-site for tenant and neighborhood use. These cars add to the expanding local network of car-sharing opportunities in SORO, Mar Vista and Palms. In addition the developer is providing Metro passes for tenants. In addition to car sharing and Metro opportunities, the developer is working further with Metro to have a bike-share program placed at the building. This project is designed to embrace its transit friendly location for the benefit of the tenants and the neighbors.

8. Outreach

For discretionary approval, SORO requires, *prior* to this meeting, your notification of neighbors within a 500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

9. Name and ID of all environmental or planning documents prepared to	Name	ID	Link (if available)				
support this project. Click the + sign to add more lines.	Class 32 Categorical ENV-2019-6299- Exemption EAF						
10. Additional comments	Simon Lazar and Sam Mostadim have a great track record of working with neighborhoods to gain their support of projects. They specifically develop in transit-rich areas and look to encourage their tenants to use the transit opportunities. In addition, they work with architects who use high quality design aesthetics that reflect in renderings but are also maintained through build-out. In addition while they commit to true affordability, they also guarantee 100% of the units as rent-controlled. We look forward to working with your neighborhood council!						

SOUTH ROBERTSON NEIGHBORHOOD COUNCIL LAND USE COMMITTEE MEETING Thursday, March 5th at 7:00PM Simon Wiesenthal Center, 3rd Floor 1399 S. Roxbury Drive

Meeting to review proposed project at: 3301 S. Canfield Avenue

Project Description

Oakmont Capital is proposing a new, 50-unit residential community at the southwest corner of National Boulevard and Canfield Avenue. The project is designed with a pedestrian scale in mind and creatively uses landscaping to complement the architecture. All units within the building will be designated as rent controlled and an additional 5 units will be dedicated to extremely low income tenants.



Project Benefits

- Appropriately concentrates new housing development in proximity to transit options.
- Articulated design with creates thoughtful design interest.
- Improves adjacent streetscape with new street trees and landscaping.
- Ride share cars provided on site for use by tenants.
- Transit passes offered to tenants to create a truly transit oriented project.

Questions? Contact Josh Guyer (310) 802-4261 – jguyer@burnsbouchard.com

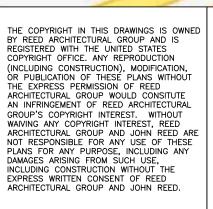
NEW 100% PRIVATELY FUNDED: RESIDENTIAL TOC TIER 3 PROJECT CONSISTING OF 6 STORIES 50 DWELLING UNITS OVER GROUND LEVEL PARKING GARAGE. BASE INCENTIVES + 3 ADDITIONAL INCENTIVES: (1) YARDS REDUCTION (FRONT&REAR), (2) HEIGHT INCREASE, (3) OPEN SPACE REDUCTION.

PROJEC	T INFOR	RMATI	ION:											
LEGAL DESCRIPTION ADDRESS: 33	301 S. CANFIELD AVENUE,	1 S. CANFIELD AVENUE, LOS ANGELES, CA 90034								G PER TOC - TIER 3:				
	ADDRESS 9324 W. NATIONAL BLVD. 9316 W. NATIONAL BLVD. 3301 S. CANFIELD AVE. 3305 S. CANFIELD AVE. NONE	LOT 127 FR128 FR129 ARB1 FR129 ARB2 FR128 ARB2	EGAL DESCRIPTIO BLOCK NONE NONE NONE NONE NONE	ON TRACT 625 625 625 625 625 625	APN 4311-024 -013 4311-024 -030 4311-024 -015 4311-024 -031 4311-024 -031	AREA 7,000.1 SQ. FT. PER ZIMAS 4,943.6 SQ.FT. PER ZIMAS 5,583.6 SQ.FT. PER ZIMAS 3,010.9 SQ.FT. PER ZIMAS 1,906.5 SQ.FT. PER ZIMAS		UNIT 3-BEDROOM UNITS 25 CARS REC		# OF UNITS CALC 50 0.5 X S ACCESSIBLE ACCESSIBLE ARD ARD				
LOT DIMENSIONS:	NORTH PROPERTY SOUTH PROPERTY WEST PROPERTY I EAST PROPERTY L	′ LINE = 110.05' LINE = 129.98'		L	.OT AREA (SQ.FT) : 22,444.8 SQ.FT. PER ZIMAS	PARKING PROVIDED:	FLOOR GROUND LEVEL	STANDARD 22	COMPACT ADA 25 (12X2+1) 1	EV	EV ACCESIBLE	TOTAL 50	
ZONING:	R3-1 TOC TIER 3												50.0400	
SPECIFIC PLAN:	NONE												50 CARS	
EXISTING USE:	RESIDENTIAL						BICYCLE PARKING:			REQUIRED; ORI	DINANCE # 185480		PROVIDED	
PROPOSED USE:	R-2 RESIDENTIAL /	S-2 PARKING						USE	LO	NG TERM		SHORT TERM	LONG SHORT TERM TERM	
HEIGHT:		5' + 22' (TOC -TIER 7 FT WITH 15' STR			GHT INCREASE)	= 67'. 15' STREET SIDE SETBACK ABOVE 56'		RESIDENTIAL 15	SPACE / 1.5 UNITS (FO	R 1-25 UNITS) x 25 UNITS = 25 1 SPACE / 10 UNITS (FOR 1-25 UNITS) x 25 UNITS = 3 1 SPACE / 15 UNITS (FOR 26-100 UNITS) x 25 UNITS = 2 42 SPACES 5 SPACES QUIRED: 42 (25 + 17) TOTAL REQUIRED: 5 (3 + 2) 42 SPACES 5 SPACES				
SETBACKS:	SIDE YARD: 9 FRONT YARD: 1	' - INSIDE YARD AL 0'-0" - ALONG CANI	LONG SOUTH PRO	OPERTY LINE - 5'+1 T PROPERTY LINE)	' FOR EVERY STO TOC INCENTIVE	ION) - NORTH PROPERTY LINE DRY ABOVE 2ND STORY (6 STORIES) = 5'+4'= - ALIGNED WITH ADJACENT BLDG. JCTION FROM THE ORIGINAL 15'	° SPRINK	KLER E		MENT				
LOT AREA:	REAR YARD:- 10'-6" (INSIDE YARD ALONG THE WEST PROPERTY LINE) TOC 30% REDUCTION FROM THE ORIGINAL 15' BEFORE DEDICATION: 22,444.7 SQ.FT. AFTER DEDICATION: 21,468 SQ.FT.				SYSTEM SHALL BE AF	PPROVED BY PLUM	BING DIVISION PRIO	AUTOMATIC FIRE EXTINGUISI R TO INSTALLATION. (903.2) G DIVISION PRIOR TO INSTAI		PLYING WITH NFPA - 1	13; THE SPRINKLER			
DENSITY : PROPOSED NUMBER OF UNI	29 X 1.7 (TIER 3 BA	SE INCENTIVE) = 4	19.3 ROUND UP T	0 = 28.056 (28 BASE O 50 UNITS (MAX. A	E UNITS) => ROU ALLOWABLE BY D	ND UP TO 29 UNITS (TOC DENS. INCR. CALC.) ENSITY INCREASE)) FIRE ALARM SYSTEM	TO BE PROVIDED	PER CFC 907.		LE. (11014. (000.2)			
AFFORDABLE UNITS:	Υ.	,		FOR EXTREMELY L	OW INCOME HO	JSEHOLDS.	EMERGENCY RESPO	NDER RADIO TO BE	PROVIDED PER CFC	C 510.				
FLOOR AREA RATIO (F.A.R.):	PROPOSED: 69,851 SQ. FT. (1,626 SF (1ST FLOOR) + 14,755 SF *4 (2ND, 3RD, 4TH & 5TH) + 9,205 (6TH))				SHEET	SHEET INDEX VICINITY MAP								
OPEN SPACE:	OPEN SPACE REQU OPEN SPACE REQU TOTAL OPEN SPAC TOTAL OPEN SPAC	UIRED AFTER TOC CE REQUIRED = 8,7	NCENTIVE: .75 *	* 8,750 SF = 6,562.5	SF		A1.0COVER SHC1SURVEYA2.0SITE PLANA3.1FIRST FLOOR			A	31L	J.	S Can	
OPEN SPACE PROVIDED:	LOCATION			ARE	A HABITA	BLE SPACE / LANDSCAPE AREA (25% MIN.)	A3.2 SECOND FI				1/1		111th The	
PRIVATE : 2500 S	ROOF DECK (Co	LCONIES (50X50 SI) AT SIXTH FLOO		S.F. 509 S.F	. / 174 S.F. (25% PLANTER)	A3.3 THIRD FLO A3.4 FOURTH FL A3.5 FIFTH FLO	OOR PLAN		4	16			
COMMON : 4124 S	ROOF DECK (CO	OMMON SPACE #2 OMMON SPACE #3	,			. / 174 S.F. (25% PLANTER) . / 141 S.F. (25% PLANTER)	A3.6 SIXTH FLO	OR PLAN			//		9	
	ROOF DECK (CO	OMMON SPACE #4) AT ROOF LEVEL	1,188 \$	S.F. 735 S.F	. / 453 S.F. (38% PLANTER)	A3.7 ROOF PLAN A4.1 NORTH & V	N VEST ELEVATIONS					Canfield Apartme	
	ROOF DECK (CO	OMMON SPACE #5	i) AT ROOF LEVEL	1,029 \$	S.F. 669 S.F	. / 360 S.F. (34.9% PLANTER)		AST ELEVATIONS						
	TOTAL OPEN SI	PACE PROVIDED		6,630	S.F.		A5.1 BUILDING S A6.1 PHOTO KE	SECTIONS A-A & B-I	3			9316 Na	tional Boulevard	N
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ARCHITECT: REED ARCHITECTURAL GRO 657 ROSE AVE, VENICE CA PHONE: (310) 393 - 9128										TR	12	IE	HIP	APPLICAB
SURVEYOR: DAVID EVANS AND ASSOCI/ 25152 SPRINGFIELD COURT SANTA CLARITA, CA 91355 PHONE: (818) 284 - 7400										A		A	N	CALIFORNIA BUILDING CODE - 2016 LOS ANGELES BUILDING CODE - LA ZONING CODE (CHAPTER 1 OF THE 2000 EDITION OF THE PLANNING AN

3301 CANFIELD @ NATIONAL 3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

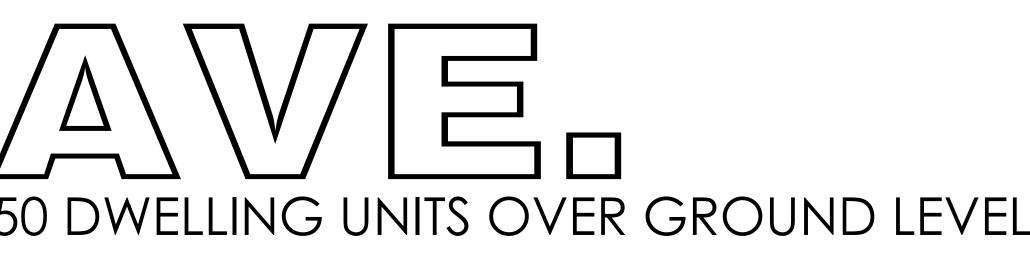
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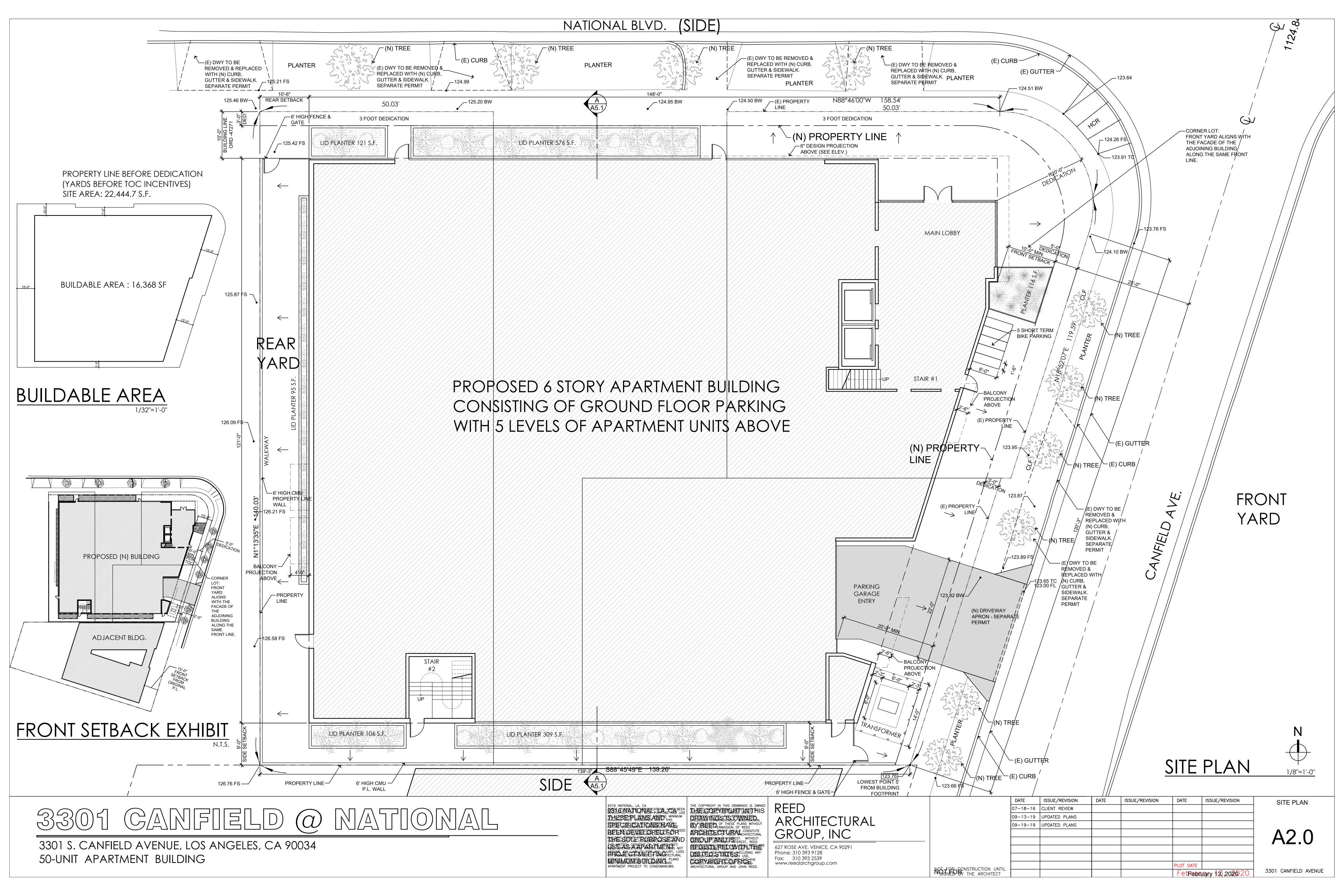
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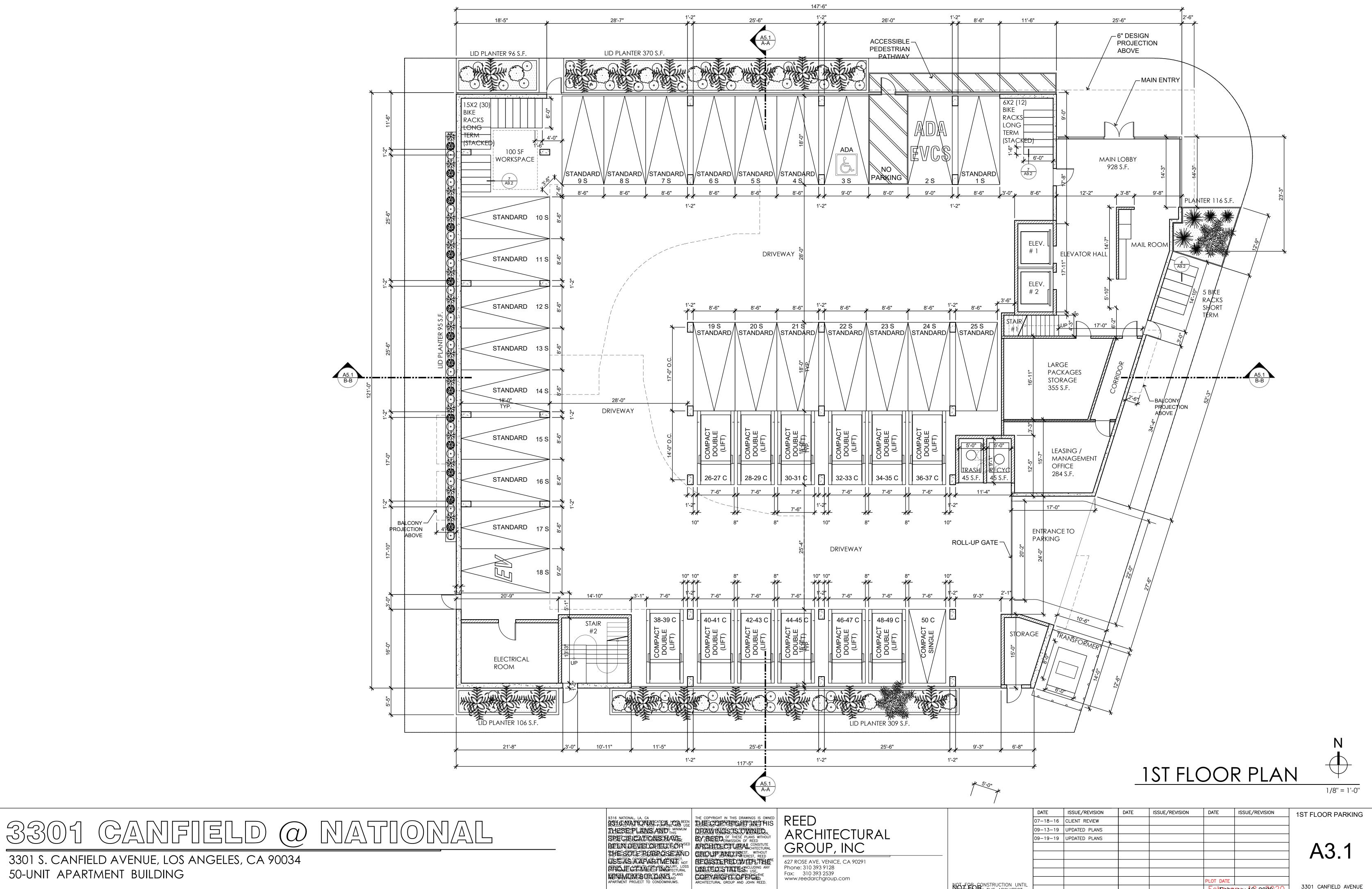


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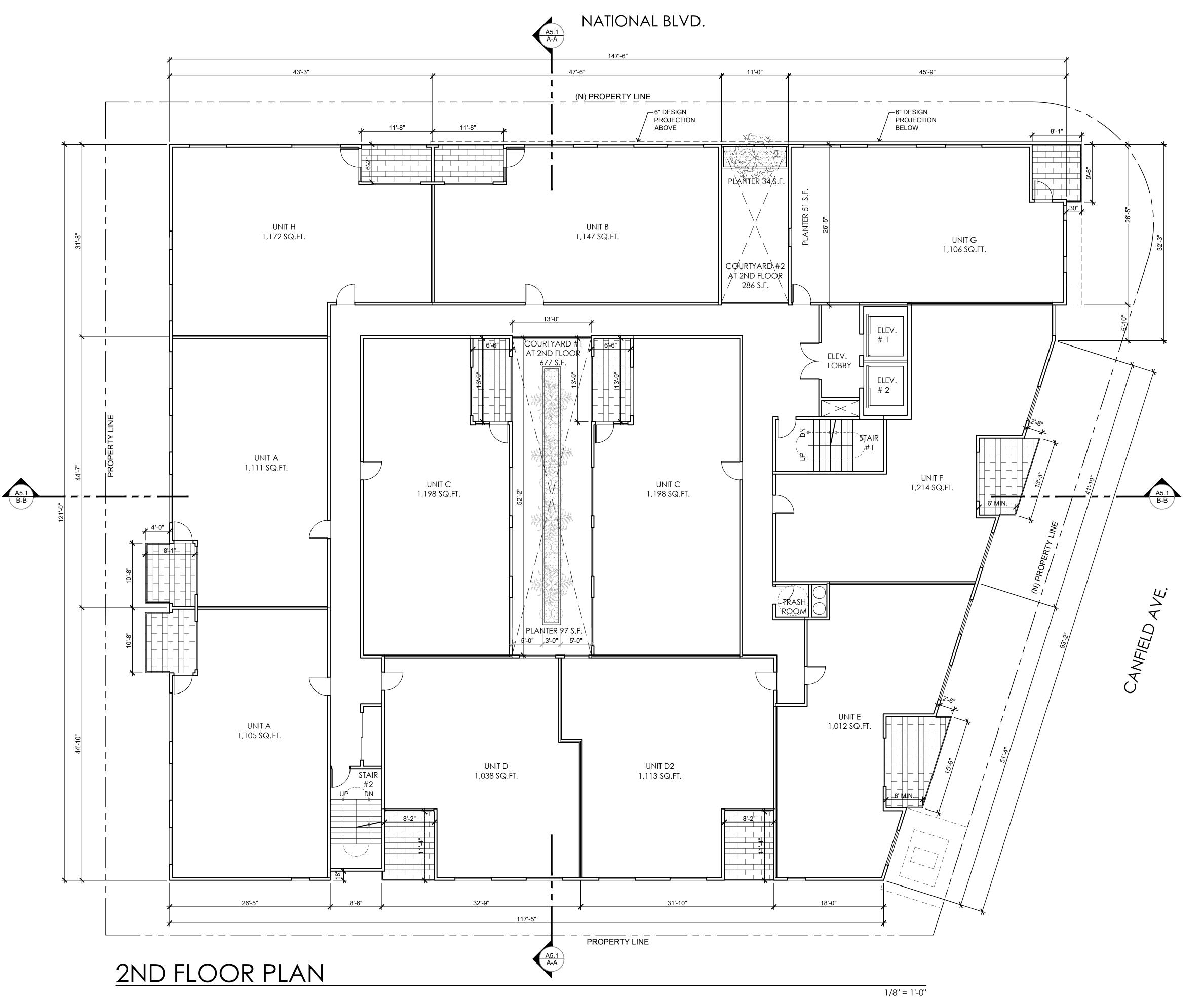
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2ND FLOOR PLAN

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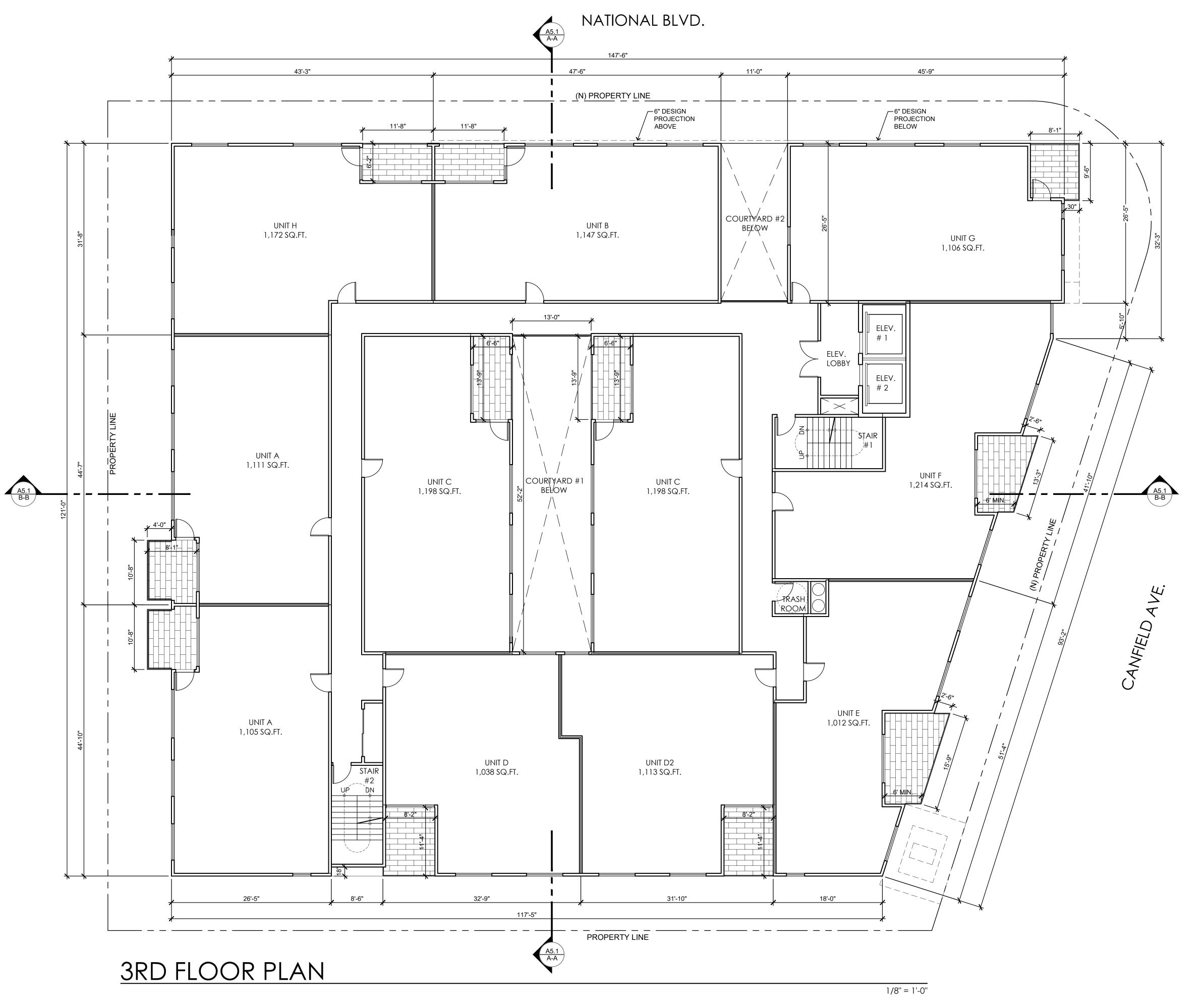
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3RD FLOOR PLAN

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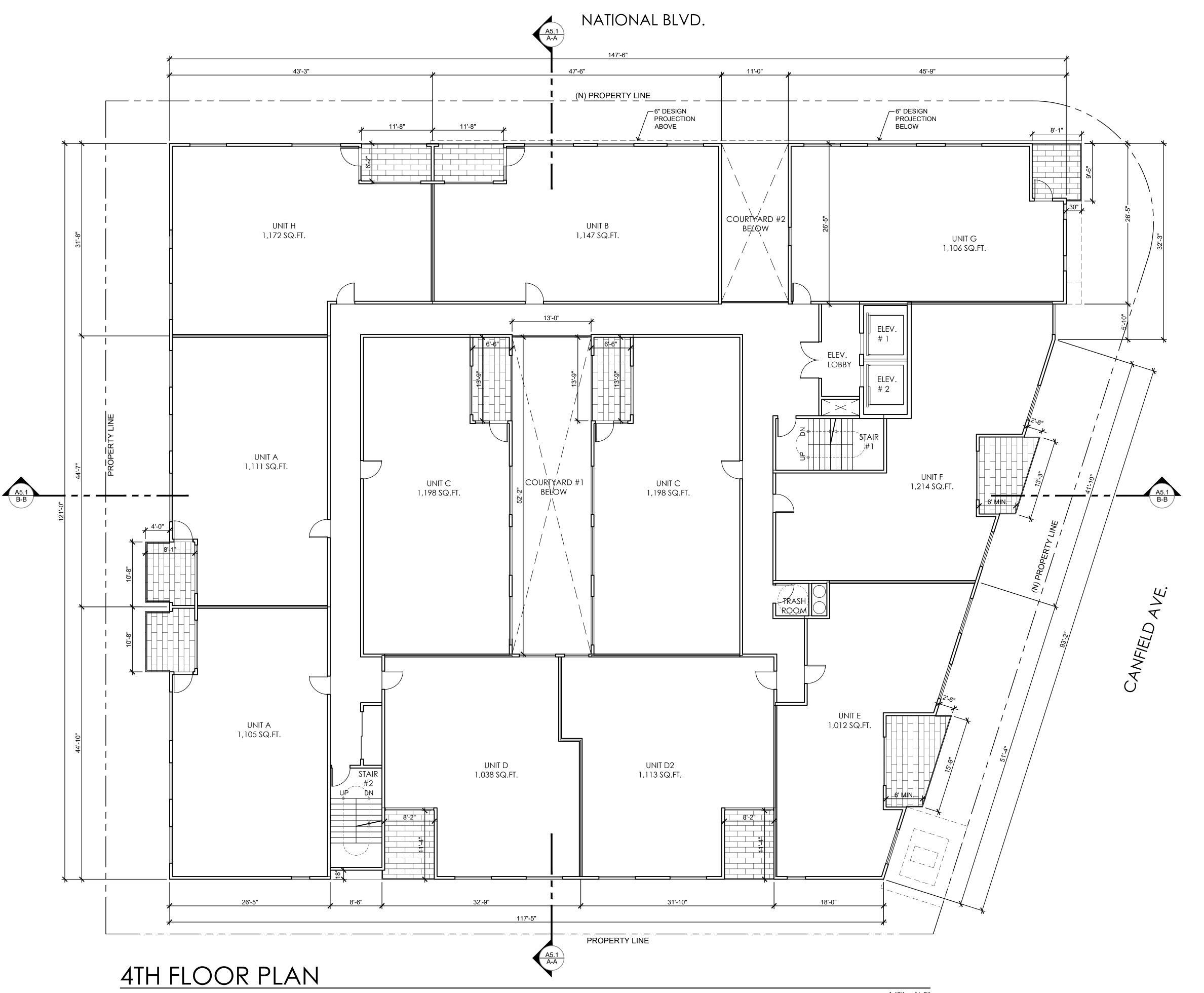
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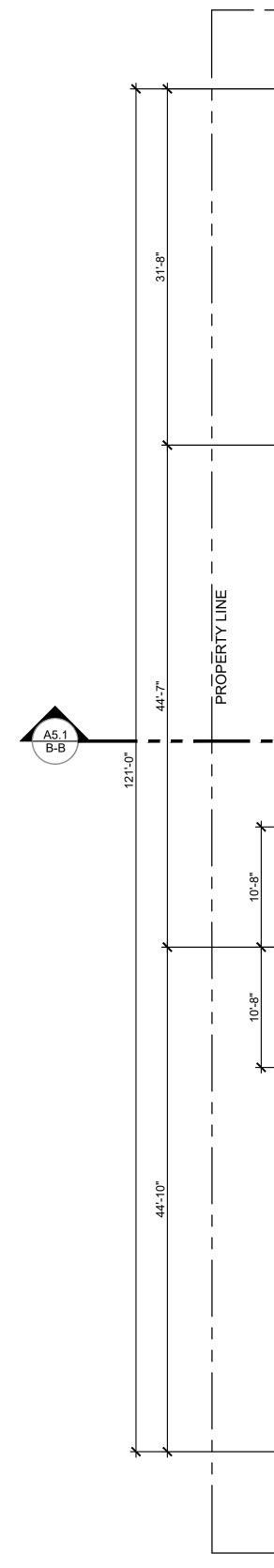
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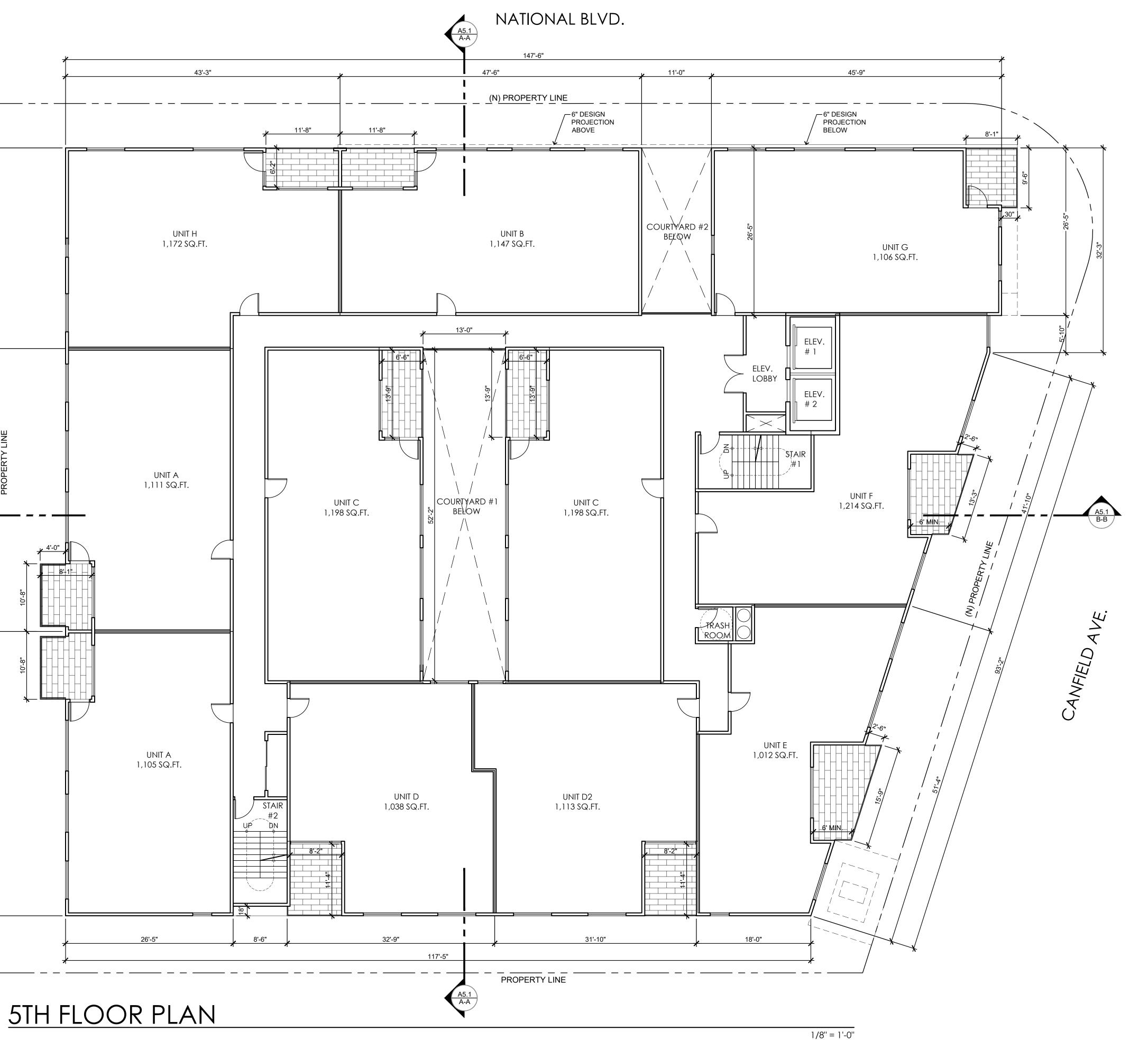
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5TH FLOOR PLAN

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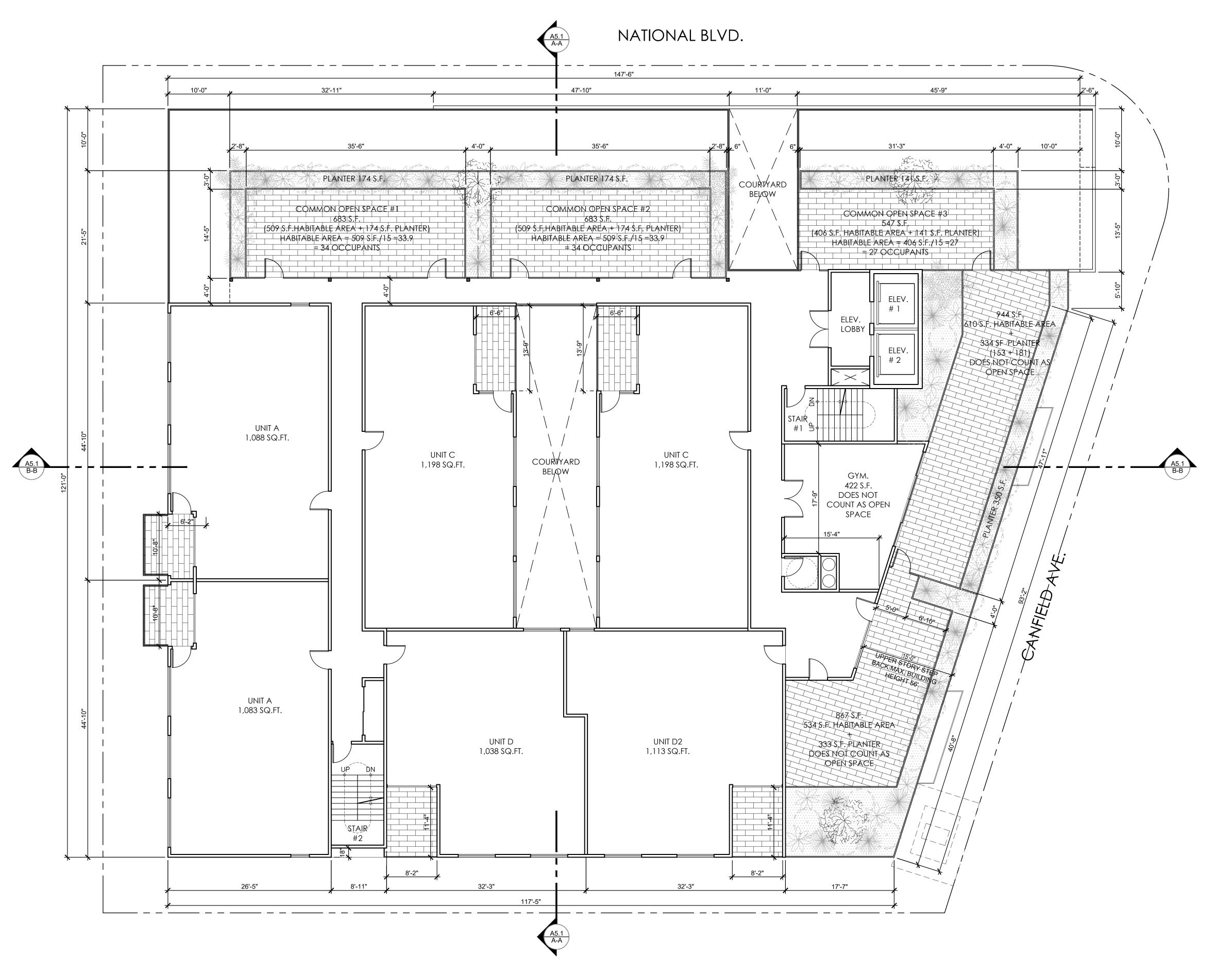
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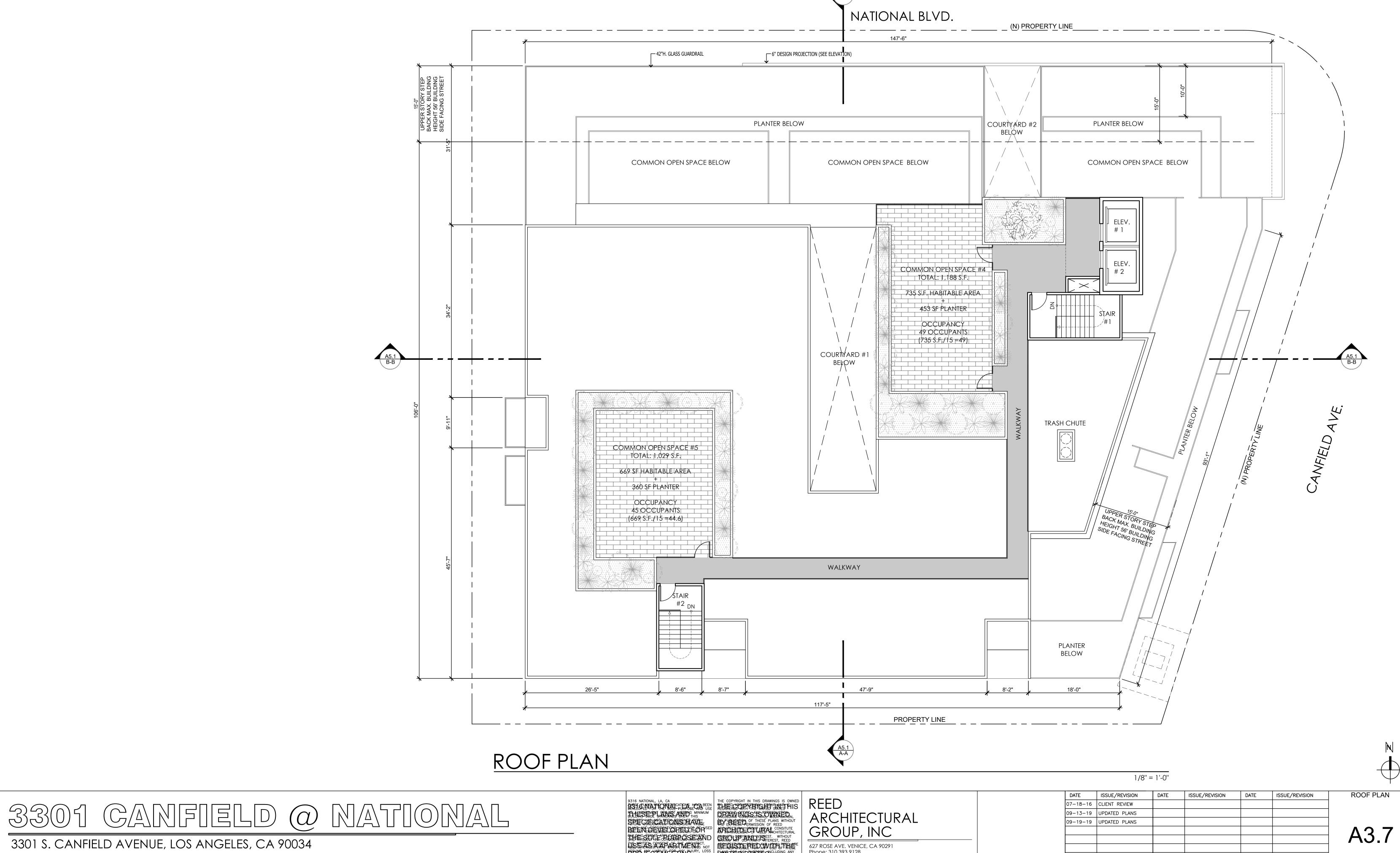
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6TH FLOOR PLAN

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A3.7

PLOT DATE e February 13,20202

	MATERIAL LEGEND:	(N) PROPERTY LINE	
1	78" PAINTED STUCCO - SMOOTH FINISH	(E) PROPERTY LINE	
2	78" STUCCO WALL W/ACCENT COLOR -SMOOTH F.		
3	BOARD FORMED CONCRETE FINISH		
4	CMU WALL WITH CLEAR SEALER		
5	POURED-IN-PLACE CONCRETE WALL/DECK/BEAM/COLUMN		×
6	PORCELAIN TILE		
7	PAINTED ARCHITECTURAL METAL		
8	BREAK METAL		
9	STOREFRONT SYSTEM: CLR GLASS W/DARK BRONZE FRAME		
10	CREEPING FIG VINE ON PAINTED METAL GRATE		
11	METAL SIDING -T-16, BY METAL SALES		
12	PAINTED 42"H. METAL BAR GUARDRAIL SYSTEM		13
13	42"H. CLEAR, TEMPERED GLASS GUARDRAIL		
14	PAINTED METAL STAIRS		
15	CAST-IN-PLACE CONCRETE PLANTER		13
16	FRAME-LESS GLASS SYSTEM		
17	BUILT-UP ROOFING		
18	METAL GATE		
19	FREE STANDING ADDRESS NUMBERS		
20	BOX GUTTER / DOWNSPOUT		9
21	CONTROL JOINT		
22	STANDING SEAM METAL ROOF		
23	SIGNAGE (UNDER SEPARATE PERMIT)		15 <u>NORIH E</u>
24	SPANDREL GLASS		(E) PROPERTY LINE
25	FRY REGLET CONTROL JOINT		10'-0"
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13 11 1 _ __ | _ __ -1 I _ __ - I 1 _ __ _ __ 6' HIGH – FENCE & 15 GATE

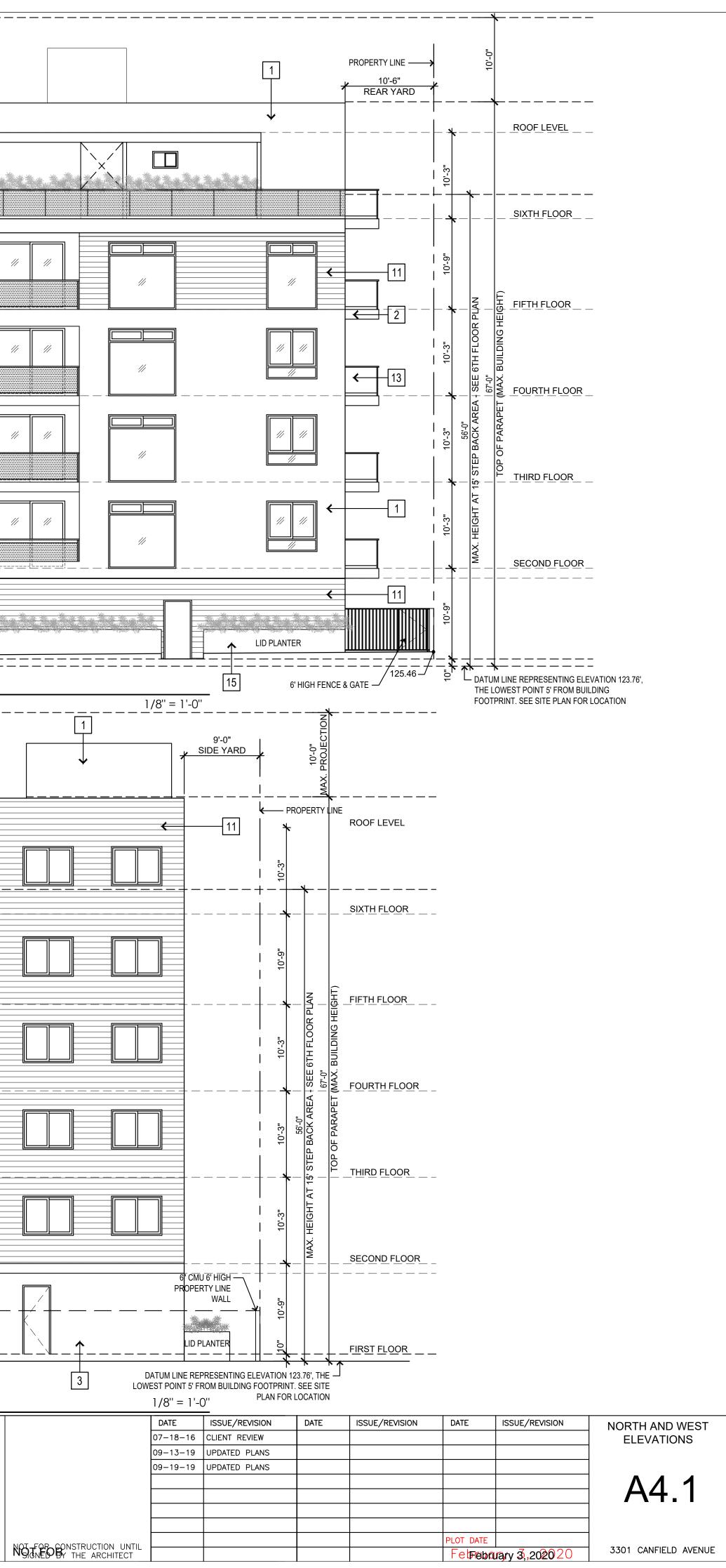
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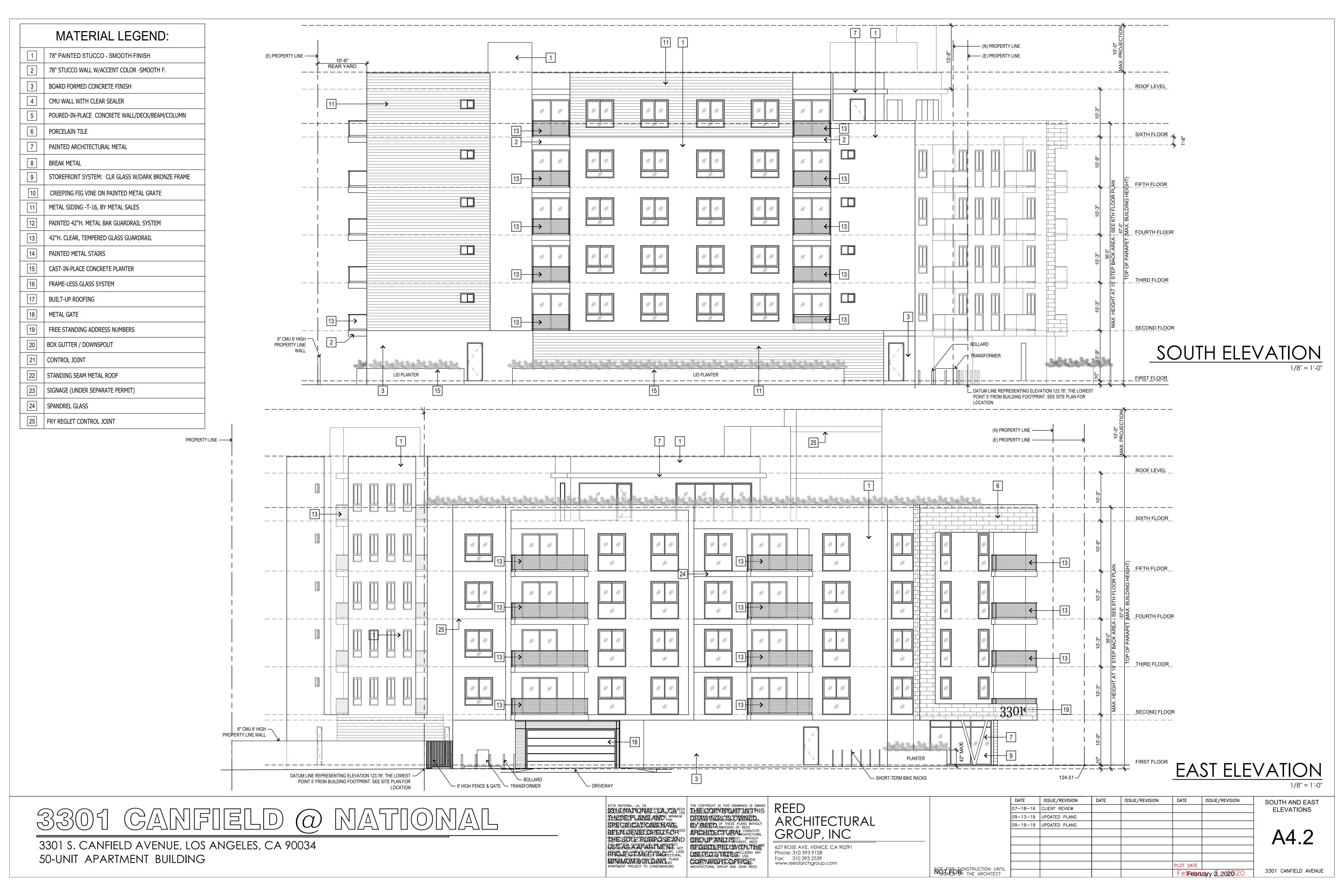
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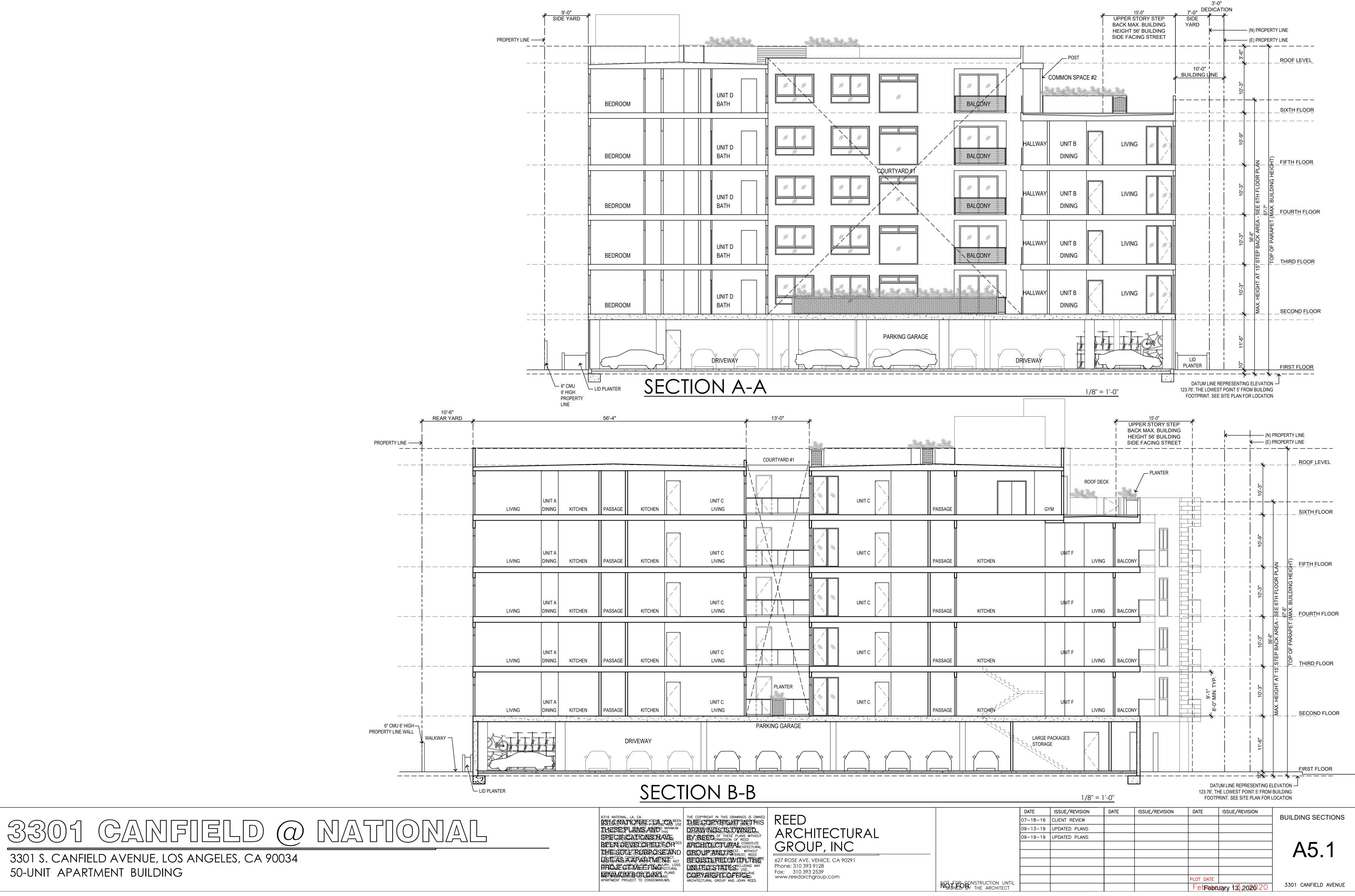


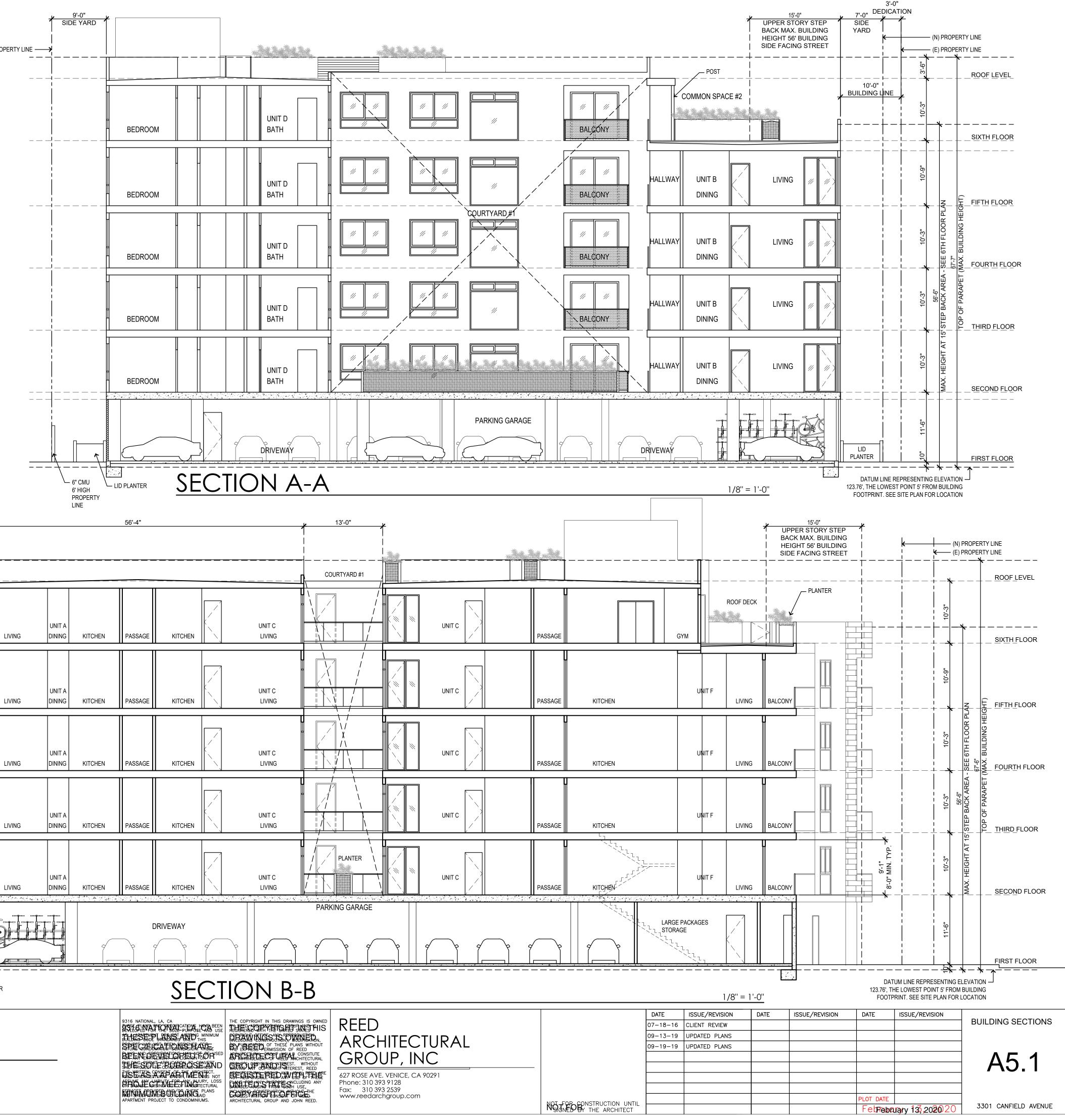
3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

	13				
15'-0" UPPER STORY STEP BACK MAX. BUILDING HEIGHT 56' BUILDING SIDE FACING STREET					
					6" CMU 6' HIGH PROPERTY LINE WALL
LEVATION		UID PLANTER	THE COPYRIGHT IN THIS DRAWINGS IS OWNE TECHERCONTRACTOR AND THE STATES OF THE STATES	REED ARCHITECT	
		BE AN EAST LEADED AND A THE SEAL AND	THE COPYRIGHT IN THIS DRAWINGS IS OWNE RECITE RED WITH THE CAMPO SAVEST PLICE PROVIDENT OF THESE PLANS WITHOUT THE EXTREME PERMISSION OF REED AND	627 ROSE AVE. VENICE, CA 90 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com	











3301 CANFIELD @ NATIONAL

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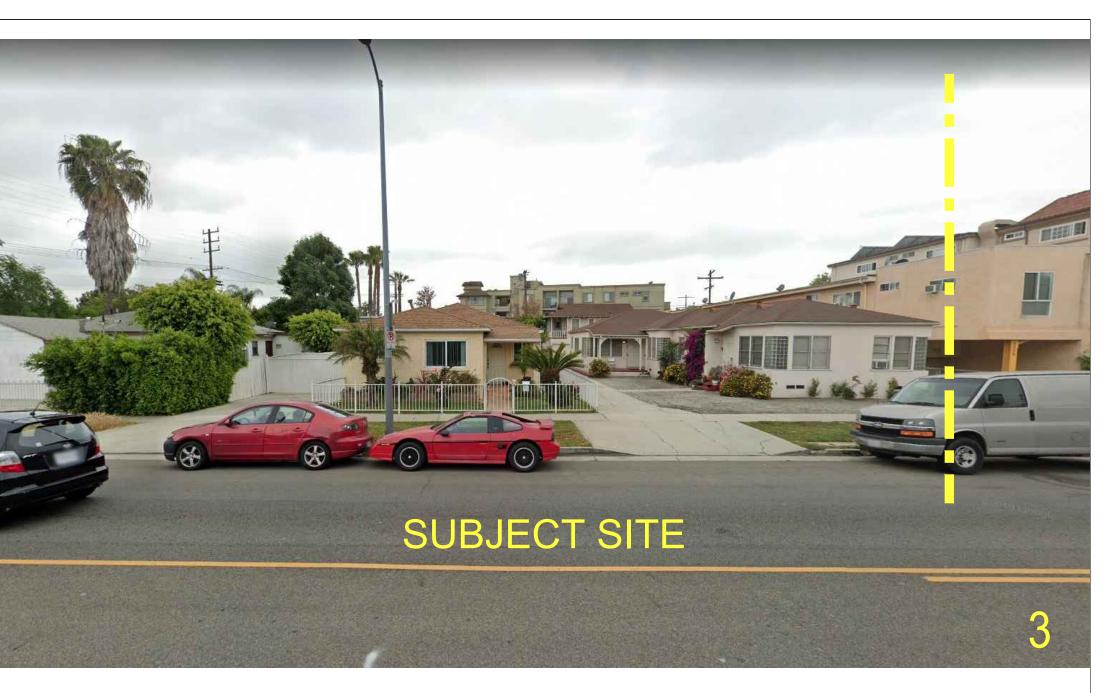


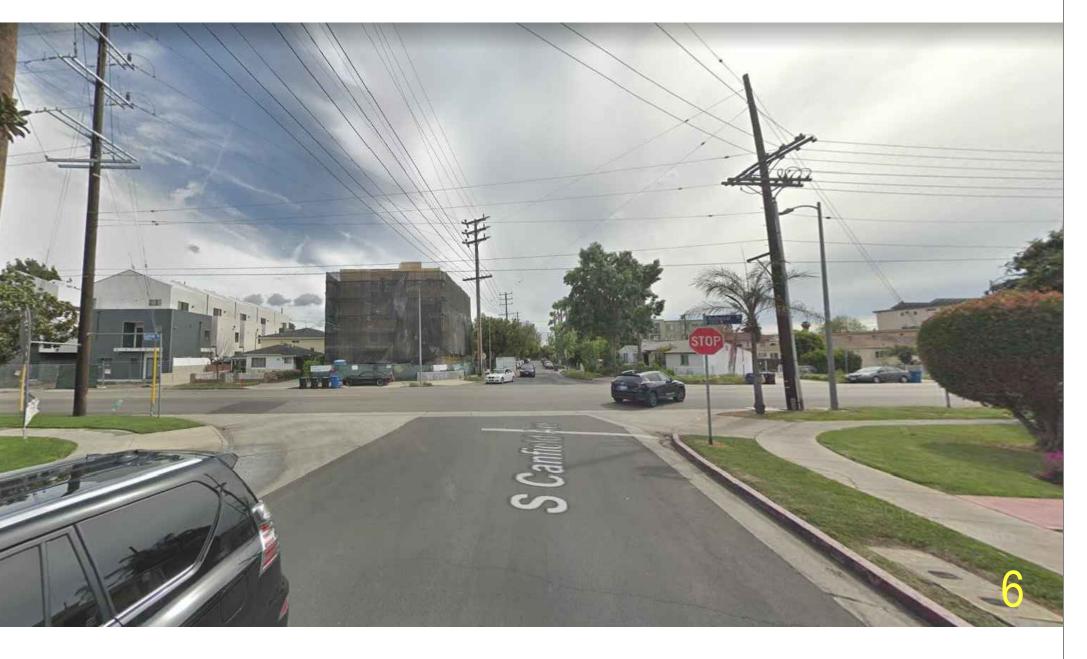




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	09-19-19	UPDATED PLANS					
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IL							3301 CANFIELD AVENUE











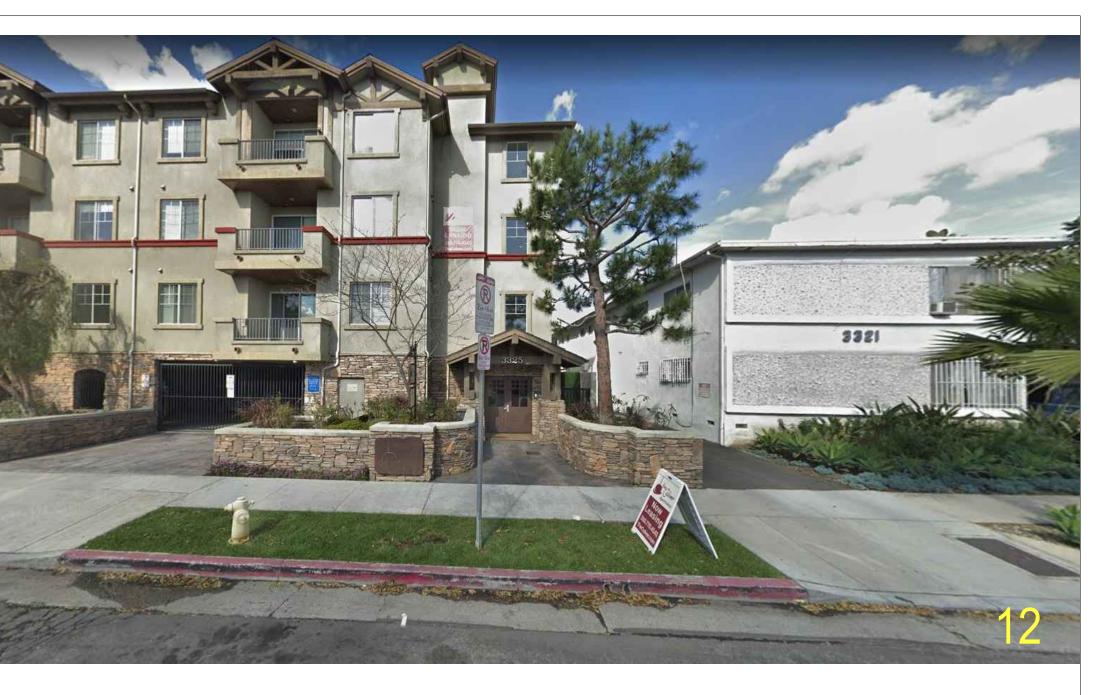


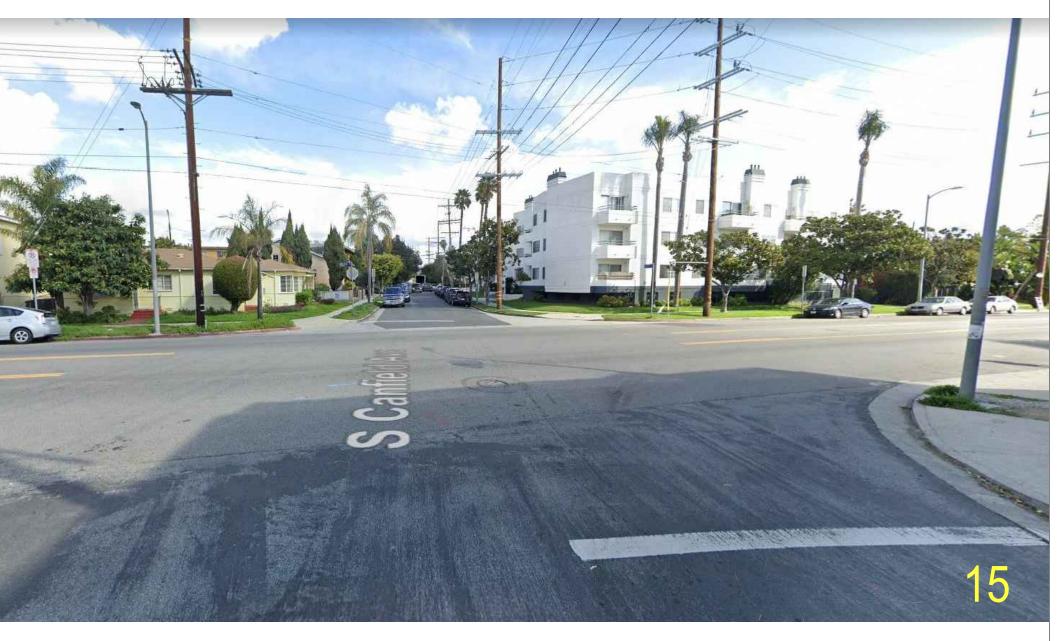




9316 NATIONAL, LA, CA THESE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE SOLE PURPOSE AND USE AS A APARTMENT PROJECT MEETING MINIMUM BUILDING CODE STANDARDS ONLY. THIS PROJECT HAS NOT BEEN DESIGNED FOR FUTURE CONDOMINIUM CONVERSION. THESE PLANS AND SPECIFICATIONS MAY NOT BE USED FOR ANY ENTITLEMENT APPLICATION OR BUILDING PERMIT APPLICATION TO CONVERT SAID PROJECT TO CONDOMINIUMS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL GROUP'S COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. WITHOUT SAID PROJECT TO CONDOMINIUMS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL SERVICES PROVIDED AND/OR THESE PLANS AND SPECIFICATIONS TO CONVERT SAID APARTMENT PROJECT TO CONDOMINIUMS.

REED ARCHITECTURAL GROUP, INC 627 ROSE AVE. VENICE, CA 90291 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com

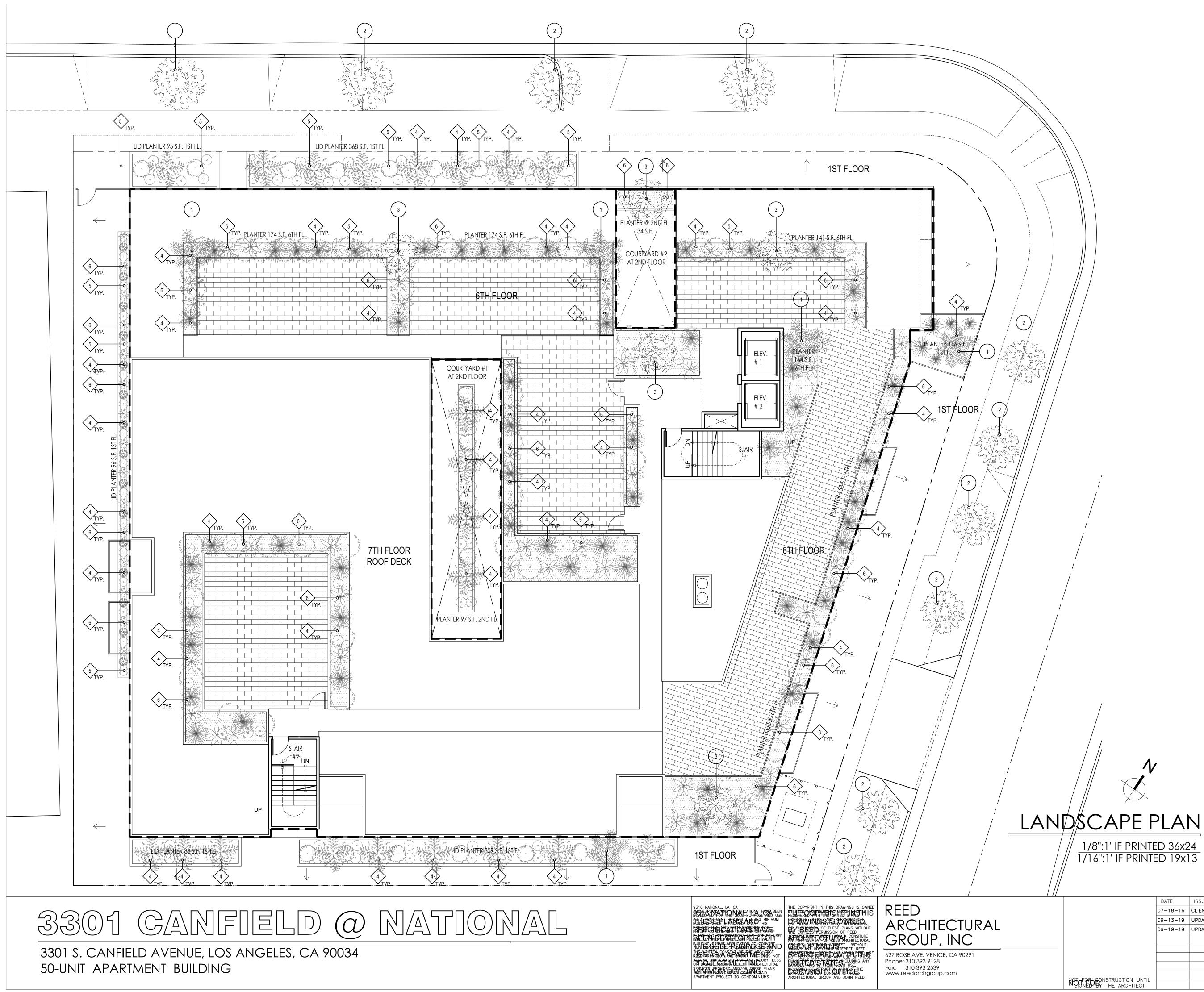






	DATE	ISSUE/REVISION	DATE	ISSUE/REVISION	DATE	ISSUE/REVISION	SITE PHOTOS
	07-18-16	CLIENT REVIEW					
	09-13-19	UPDATED PLANS					
	09-19-19	UPDATED PLANS					
							A6.3
UNTIL							
UNTIL							

NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

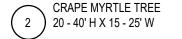


PROPOSED TREES:



CORDYLINE AUSTRALIS 'RED STAR'







PITTOSPORUM ANGUSTIFOLIUM (3) WEEPING PITTOSPORUM 20 - 30' H X 10 - 15' W

PROPOSED PLANTS:

1 RED GRASS TREE 20 - 30' H X 8 - 10' W



AGAVE ATTENUATA 'BOUTIN BLUE' BLUE FOX TAIL AGAVE 3 - 4' H X W





ADENANTHOS 'SILVER HAZE'DANIELLA REVOLUTA 'LITTLE REV'5SILVER HAZE WOODLLYBUSH64 - 6' H X W6

I. TREES REQUIRED: TOTAL LANDSCAPED SITE	AREA: -LID PLANTERS ANI -COURTYARDS PLA -OPEN SPACE TERI - OPEN SPACE TERR	RACES (6TH FL):	1,072 SF 131 SF 1,139 SF 508 SF 2,850 SF
TREES REQUIRED - 1 TRE - 1 TRE	EE PER 500 SQ. FT: E PER 4 UNITS - PER 12.21.G.2 (A) (3	2,850 SF / 500 SF =) 50 UNITS / 4 =	6 TREES <u>13 TREES</u> 19 TREES
ON-SITE TREES PRO	OVIDED:		19 TREES
1ST FLOOR: 11 TREES (10 2ND FLOOR: 1 TREE IN CO 6TH FLOOR: 6 TREES 7TH FLOOR: 1 TREE) TREES IN PARKWAY + 1 TREES IN S OURTYARD #2	IDE YARD)	

POINTS REQUIRED TOTAL SITE AREA: 21,468 SQ. FT. POINTS REQUIRED PER GUIDELINES O TABLE I	20 POINTS
POINTS ACHIEVED	
MAIN FINISH ELEVATION OF STRUCTURE, AT AN ELEVATION ABOVE OR BELOW THE FINISH ELEVATION OF THE SIDEWALK, SUCH THAT A STRAIGHT LINE PERPENDICULAR TO A STRAIGHT STREET OR RADIALLY AT A CURVED STREET, LEADING DIRECTLY TO THE MAIN PEDESTRIAN ENTRANCE OF THE STRUCTURE, IS HANDICAP ACCESSIBLE	5 POINTS
LARGE TREE, PER TREE. 10 X 2 = 20	20 POINTS
USE OF CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO R) IN MAJORITY OF LANDSCAPED AREAS	5 POINTS
TOTAL POINTS ACHIEVED	30 POINTS

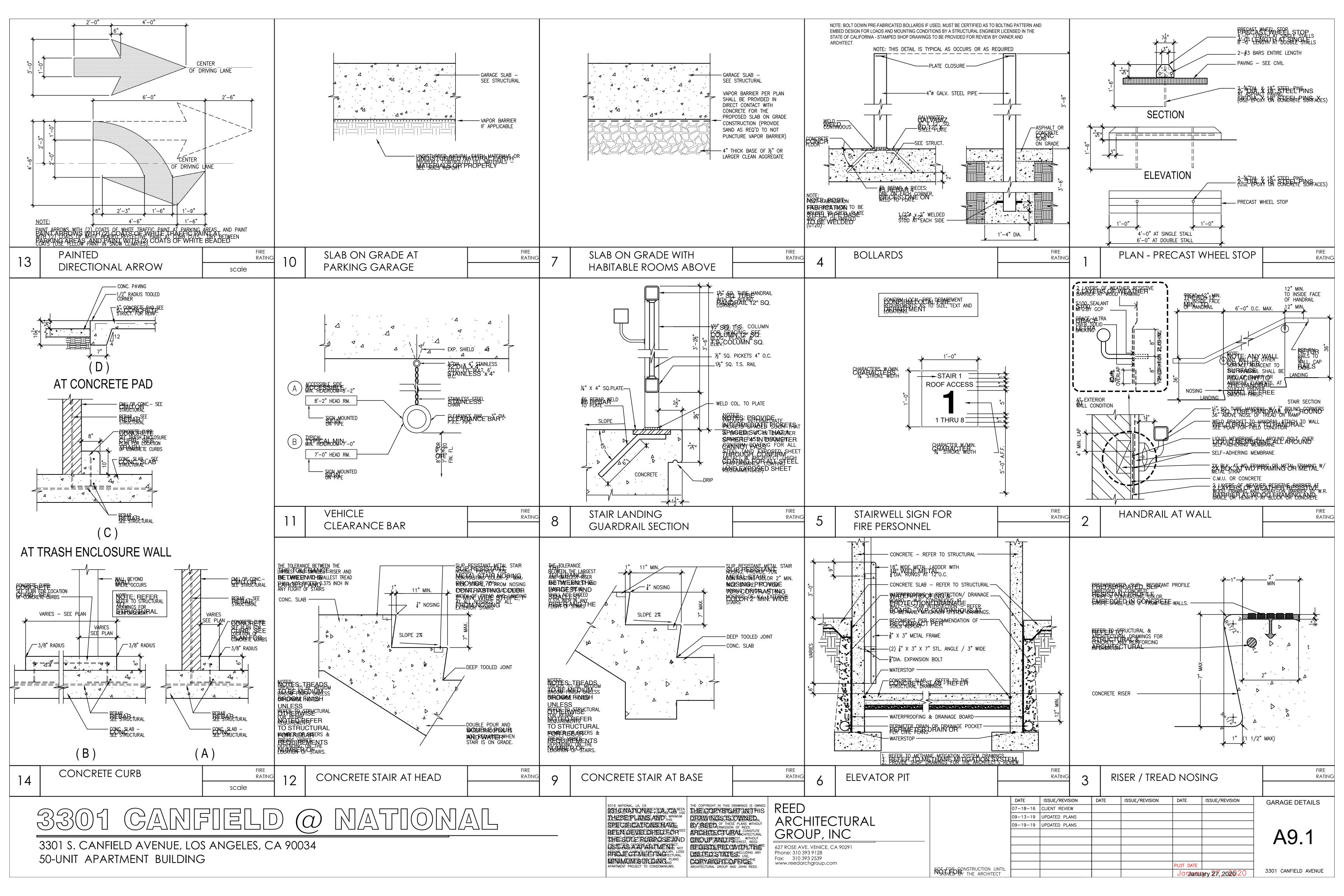
WATER MANAGEMENT POINT CALCULATION (LAMC 12.41 BI GUIDELINES AA)

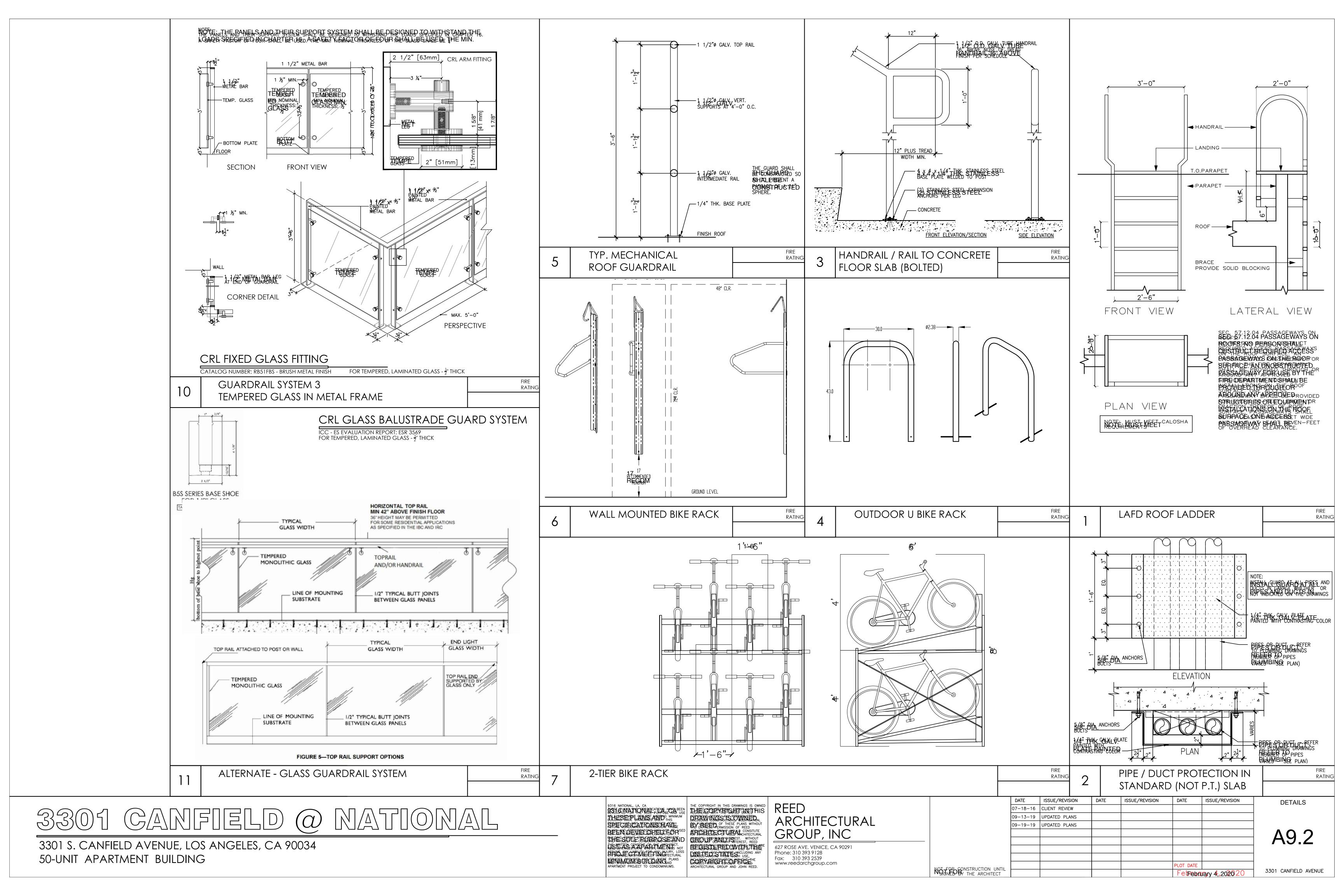
POINTS REQUIRED TOTAL SITE AREA: 21,468 SQ. FT. POINTS REQUIRED PER GUIDELINES AA

POINTS ACHIEVED ALL PLANTS ON SITE THOSE THAT WILL, IN THE DESIGNED LOCATION, AND PROPERLY ESTABLISHED FOR 3 YEARS, REMAIN IN GOOD HEALTH ON NATURAL RAINFALL. (TECHNIQUE #7) 300 POINTS

100% OF REQUIRED WATER MANAGEMENT POINTS

ISSUE/REVISION ISSUE/REVISION ISSUE/REVISION DATE DATE LANDSCAPE PLAN 07-18-16 CLIENT REVIEW 09-13-19 UPDATED PLANS 09-19-19 UPDATED PLANS A7.1 PLOT DATE 3301 CANFIELD AVENUE Febrebrurgry 13,20202





TITLE INFORMATION (ORDER NO.: 00216886-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00216886-995-LBO-VE, DATED FEBRUARY 11, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

LEGAL DESCRIPTION (ORDER NO.: 00216886-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 127 OF TRACT 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA. AS PER MAP IN BOOK 18 PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

APN: 4311-024-013

TITLE EXCEPTIONS (ORDER NO.: 00216886-995-LBO-VE):

THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC
- $\langle 3 \rangle$ A EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES OVER THE REAR OF SAID LAND AS CONDEMNED BY FINAL DECREE OF CONDEMNATION ENTERED IN CASE NO. 590389, SUPERIOR COURT, A CERTIFIED COPY THEREOF BEING RECORDED

RECORDING NO.: BOOK 38409, PAGE 4, OFFICIAL RECORDS

- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- 5. DELETED.

RECORDS.

- 6. DELETED.
- PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY.

IN ORDER TO CLOSE THIS PENDING TRANSACTION, WE WILL NEED THE FOLLOWING INFORMATION:

- COMPLETION OF THE ATTACHED OWNER'S DECLARATION COMPLETED ESCROW OWNER INFORMATION SHEET
- A STATEMENT FROM ESCROW PROVIDING THE COMPLETE NAME OF THE ACCOUNT THAT PROCEEDS ARE GOING TO.

THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS AND/OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION.

COMMENTS

DATE OF SURVEY	MARCH, 2019
BOUNDARY LINES	WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.
(#)	INDICATES EXCEPTION SHOWN HEREON.
SITE ADDRESS	9316 & 9324 NATIONAL BLVD., LOS ANGELES, CA 3301 & 3305 SOUTH CANFIELD AVE., LOS AGELES, CA
A.P.N'S	4311-024-013, 4311-024-015, 4311-024-030, 4311-024-031
BASIS OF BEARINGS	THE BEARING OF S 88° 46' W ALONG THE CENTERLINE OF NATIONAL BOULEVARD AS SHOWN ON TRACT NO. 625, BOOK 18, PAGE 125 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.
BENCH MARK	CITY OF LOS ANGELES BM # 13-27285: WIRE SPK S CURB NATIONAL BLVD; 4.4 FT E OF BC RET E OF BAGLEY AVE ELEVATION = 125.670 '; NAVD 1988; RECORDED 1985, ADJ. 2000
LAND AREA	22,462 SQ. FT. / 0.516 ACRES MORE OR LESS
FLOOD INSURANCE RATE MAP	THE PROPERTIES ARE ALL LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 06037C1595G, PANEL 1595 OF 2350, DATED DECEMBER 21, 2018. ZONE "X" IS DEFINED AS THE AREA OF MINIMAL FLOOD HAZARD.
UTILITIES	LOCATIONS OF UTILITIES SHOWN ON THIS MAP WERE OBTAINED FROM OBSERVED EVIDENCE DURING A FIELD SURVEY, THEY ARE FOR INFORMATION ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.
PUBLIC ACCESS	NATIONAL BOULEVARD AND CANFIELD AVENUE

THIS SURVEY (MAP) CONTAINS INFORMATION THAT IS PROPRIETARY TO DAVID EVANS AND ASSOCIATES, INC. ITS USE OR DISCLOSURE IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVID EVANS AND ASSOCIATES, INC. IS PROHIBITED.

THIS SURVEY (MAP) IS ALSO AN UNPUBLISHED WORK PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. IF THIS WORK BECOMES PUBLISHED, THE FOLLOWING NOTICE SHALL APPLY:

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B

TITLE INFORMATION (ORDER NO.: 00209653-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURAN NO.: 00209653-995-LBO-VE, DATED JANUARY 11, 2019, AMENDED: JANUARY 22, 2019, AMENDEME PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTE COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYO

LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS A STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 125 OF MAPS, IN THE OFFIC COUNTY RECORDER OF SAID COUNTY, LYING NORTHWESTERLY OF A LINE DRAWN PARALLEL SOUTHWESTERLY LINE OF SAID LOT AND THE NORTHEASTERLY PROLONGATION THEREOF FRO IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTERLY 61.50 FEET FROM THE SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID LOT.

EXCEPT ALL CRUDE OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDERED SUBSTANC OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SI SAID LAND, BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF SAID LAND AS CONVEYED MILDRED JAKES OSBURNE, AN UNMARRIED WOMAN IN DEED RECORDED JULY 29, 1980 AS INST 80-719597.

EXCEPT ALL RIGHT, TITLE AND INTEREST IN AND TO CRUDE OIL PETROLEUM, GAS, BREA, ASPH ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A FEET FROM THE SURFACE OF SAID LAND. BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFAC LAND AS GRANTED BY DEED RECORDED FEBRUARY 26, 1986 AS INSTRUMENT NO. 86-250442.

APN: 4311-024-015

TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):

- PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMEN COLLECTED WITH TAXES, ARE AS FOLLOWS:
 - CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-015 FISCAL YEAR: 2018-2019 **1ST INSTALLMENT:** \$1.755.31 PAID 2ND INSTALLMENT: \$1,755.30 OPEN EXEMPTION: \$0.00 LAND: IMPROVEMENTS:
 - \$189,764.00 \$77,677.00 PERSONAL PROPERTY: \$0.00 THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF AN PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR

CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAME SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION O PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PL RECORDS.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERET(FORTH IN A DOCUMENT:

PURPOSE:	PUBLIC UTILITIES AND INCIDENTAL PURPOSES
FURFUSE.	FUDLIC UTILITIES AND INCIDENTAL FURFUSES
RECORDING NO .:	BOOK 27302, PAGE 297, OFFICIAL RECORDS
AFFECTS:	WESTERLY 3 FEET OF SAID LAND

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW

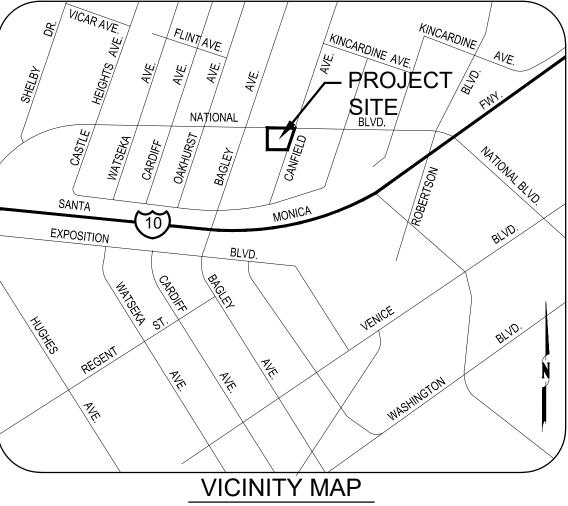
AMOUNT:	\$350,000.00
DATED:	JUNE 6, 2007
TRUSTOR/GRANTOR:	MARTIN LAX
TRUSTEE:	PRLAP INC
BENEFICIARY:	BANK OF AME
LOAN NO.:	682490166410
RECORDING DATE:	JULY 10, 2007
RECORDING NO:	1635709, OFFI

ERICA 099 **FICIAL RECORDS**

THE DEED OF TRUST SET FORTH ABOVE IS PURPORTED TO BE A "CREDIT LINE" DEED OF TRUST. UNDER CALIFORNIA CIVIL CODE SECTION 2943.1 IT IS A REQUIREMENT THAT THE TRUSTOR/GRANTOR OF SAID DEED OF TRUST EITHER IMMEDIATELY PROVIDE THE BENEFICIARY WITH THE "BORROWER'S INSTRUCTION TO SUSPEND AND CLOSE EQUITY LINE OF CREDIT" OR PROVIDE A SATISFACTORY SUBORDINATION OF THIS DEED OF TRUST TO THE PROPOSED DEED OF TRUST TO BE RECORDED AT CLOSING.

IF THE ABOVE CREDIT LINE IS BEING PAID OFF, THIS COMPANY WILL REQUIRE THAT ESCROW OBTAIN WRITTEN CONFIRMATION FROM THE CURRENT BENEFICIARY THAT THE ACCOUNT HAS BEEN FROZEN PRIOR TO RECORDING. FAILURE TO DO SO WILL RESULT IN THIS COMPANY HOLDING FUNDS AT THE CLOSE OF ESCROW UNTIL SUCH CONFIRMATION IS OBTAINED FROM THE BENEFICIARY.

THIS MORTGAGE APPEARS TO BE AN EQUITY LINE MORTGAGE. A FULL SATISFACTION OF SAME MUST BE OBTAINED AND ALL CREDIT CARDS AND/OR THE BALANCE OF VERIFIED UNUSED ACCOUNT CHECKS MUST BE SENT TO THE LENDER TOGETHER WITH A 'CANCELLATION OF EQUITY LINE AFFIDAVIT' FROM THE MORTGAGE INSTRUCTING THE LENDER TO CLOSE THE ACCOUNT.



NOT TO SCALE

DESIGN SURVEY

	TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):	TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):
ANCE, ORDER MENT NO. 1 AS NTENT, YOR.	THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00209992-995-LBO-VE, DATED DECEMBER 18, 2019, AMENDED: JANUARY 4, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.	THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMIT 002014773-995-LBO-VE, DATED JANUARY 11, 2019, AS PROVIDED BY F NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY (THE SURVEYOR.
	LEGAL DESCRIPTION (ORDER NO.: 00209992-995-LBO-VE):	LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE)
TY OF LOS	THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:	THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY C ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
DS ANGELES, FICE OF THE EL WITH THE FROM A POINT HE MOST	LOT 128 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THE EASTERLY 31 FEET OF THE SOUTHERLY 61.5 FEET OF SAID LOT.	THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS A STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 1 COUNTY RECORDER OF SAID COUNTY, LYING SOUTHEASTERLY OF SOUTHEASTERLY LINE OF SAID LOT, AND THE NORTHEASTERLY PRO
	APN: 4311-024-030	IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTE SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID
NCES AND E SURFACE OF EYED TO		THE SOUTHERLY 61.5 FEET OF LOT 128 OF SAID TRACT 625. APN: 4311-024-031
ISTRUMENT NO.	TITLE EXCEPTIONS (ORDER NO.: 00209992-995-LBO-VE):	
SPHALTUM AND	 PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020 	TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):
A DEPTH OF 500 FACE OF SAID	2. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:	1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAY COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEA
	CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-030 FISCAL YEAR: 2018-2019	2. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TA COLLECTED WITH TAXES, ARE AS FOLLOWS:
ASSESSMENTS	1ST INSTALLMENT: \$2,758.56 PAID 2ND INSTALLMENT: \$2,758.55 OPEN EXEMPTION: \$0.00	CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-031FISCAL YEAR:2018-2
ASSESSMENTS MENTS	LAND: \$319,518.00 IMPROVEMENTS: \$121,909.00 PERSONAL PROPERTY: \$0.00	1ST INSTALLMENT:\$1,220.38 PAID2ND INSTALLMENT:\$1,220.37 OPENEXEMPTION:\$0.00
MEINTS	3. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE	LAND: \$187,468.00
	PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN	IMPROVEMENTS:\$1,464.00PERSONAL PROPERTY:\$0.00
	SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.	 THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS O PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENC CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVE
	NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.	STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF T SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP (PRIOR TO DATE OF POLICY.
ANY, MADE DR PART 2,	4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.	NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED P COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.
DDE OF THE MED IN N OCCURRING	 COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, 	4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR RECORDS.
CLOSING, THIS	GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE	(5.) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIG FORTH IN A DOCUMENT:
	DOCUMENT	PURPOSE: PUBLIC UTILITIES RECORDING NO.: BOOK 26457, PAGE 266, OFFICIA
PUBLIC	RECORDING NO: BOOK 5108, PAGE 139, DEEDS SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF A FIRST MORTGAGE OR	AFFECTS: THE WESTERLY 5 FEET OF SAID
ETO AS SET	FIRST DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.	NO REPRESENTATION IS MADE AS TO THE PRESENT OWNER
	AND RECORDING NO.: BOOK 5505, PAGE 130, DEEDS	SURVEYOR'S NOTE: EASEMENT IS PLOTTED HEREON PER TIT
	 A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, AMOUNT: \$328,500.00 DATED: APRIL 12, 2018 	THE RECORDED DOCUMENT HAS NOT BEEN MADE AVAILABLI HEREON FOR CONFIRMATION.
	TRUSTOR/GRANTOR: ANDREAS MOLINA, A MARRIED MAN, AS HIS SOLE AND SEPARATE PROPERTY TRUSTEE: OLIVIA TODD	6. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT
	BENEFICIARY: U.S. BANK NATIONAL ASSOCIATION	

BENEFICIARY: U.S. BANK NATIONAL ASSOCIATION

RECORDING NO: 2018-363444, OFFICIAL RECORDS

NO.

LOAN NO .: NONE SHOWN

RECORDING DATE: APRIL 16, 2018

OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

EXECUTED BY:

IN FAVOR OF:

RECORDING NO .:

EXECUTED BY:

IN FAVOR OF:

RECORDING DATE:

RECORDING NO .:

EXECUTED BY:

IN FAVOR OF:

RECORDING DATE:

DATE

ΒY

RECORDING NO :

CITY OF LOS ANGELES

CITY OF LOS ANGELES

SARMAN CHANNEL ISLAND LTD I

1990-1714754, OFFICIAL RECORDS

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE

CITY OF LOS ANGELES OCTOBER 9, 1990

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

OCTOBER 9, 1990

UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

7. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT



REVISIONS

DESCRIPTION

TITLE EXCEPTIONS (CONTINUED): MITMENT FOR TITLE INSURANCE, ORDER NO.: 9. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. CY OF SAID REPORT IS ASSUMED BY THIS MAP OR EXECUTED BY: SARMAN CHANNEL ISLAND LTD I IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: OCTOBER 9, 1990 RECORDING NO .: 1990-1714755, OFFICIAL RECORDS Y OF LOS ANGELES, COUNTY OF LOS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. S ANGELES, COUNTY OF LOS ANGELES, E 125 OF MAPS, IN THE OFFICE OF THE THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OF A LINE DRAWN PARALLEL WITH THE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT PROLONGATION THEREOF, FROM A POINT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION. STERLY 61.50 FEET FROM THE MOST AID LOT, AND THE EASTERLY 31 FEET OF 10. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT EXECUTED BY: SARMAN CHANNEL ISLAND LTD I (CALIFORNIA PARTNERSHIP) CITY OF LOS ANGELES IN FAVOR OF: OCTOBER 12, 1990 RECORDING DATE: RECORDING NO .: 1990-1742585, OFFICIAL RECORDS PAYABLE, INCLUDING ANY ASSESSMENTS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN YEAR 2019-2020. REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. Y TAXES AND ANY ASSESSMENTS THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION. 18-2019 11. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PURPOSE(S): PUBLIC STREET RECORDING DATE: OCTOBER 24, 1990 RECORDING NO .: 1990-1801610, OFFICIAL RECORDS AFFECTS: THE NORTHERLY 3 FEET OF LOT 128 SAID EASEMENT WAS ACCEPTED FOR PUBLIC USE BY A RESOLUTION: S OF PROPERTY TAXES, IF ANY, MADE ENCING WITH SECTION 75) OR PART 2, RECORDING DATE: OCTOBER 29, 1991 RECORDING NO.: 1991-1708866, OFFICIAL RECORDS EVENUE AND TAXATION CODE OF THE F TITLE TO THE VESTEE NAMED IN SURVEYOR'S NOTE: THIS ITEM WIDENED PORTIONS OF NATIONAL BOULEVARD AND CANFIELD IP OR NEW CONSTRUCTION OCCURRING AVENUE, AND IS SHOWN BY THE RIGHT OF WAY WIDTH CHANGES HEREON. 12. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT PRIOR TO THE DATE OF CLOSING, THIS EXECUTED BY: SARMAN CHANNEL ISLAND LTD. I JAMES E. MANN, GENERAL PARTNER IN FAVOR OF: CITY OF LOS ANGELES OR NOT DISCLOSED BY THE PUBLIC RECORDING DATE: DECEMBER 11, 1991 RECORDING NO .: 1991-1947204, OFFICIAL RECORDS **RIGHTS INCIDENTAL THERETO AS SET** WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. CIAL RECORDS AID LAND THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION. ERSHIP OF SAID EASEMENT 13. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, TITLE REPORT DESCRIPTION, HOWEVER BLE TO SURVEYOR AS OF THE DATE AMOUNT: \$115,650.00 DATED: MARCH 23, 1995 TRUSTOR/GRANTOR: AARON LAX AND MYRA SHIRLEY LAX VERDUGO SERVICE CORPORATION, A CALIFORNIA CORPORATION TRUSTEE: EDWARD SHAPIRO AND HERTA SHAPIRO GLENDALE FEDERAL BANK, FEDERAL SAVINGS BANK BENEFICIARY: LOAN NO.: 7326287 BOOK 56037, PAGE 4, OFFICIAL RECORDS RECORDING DATE: MARCH 29, 1995 RECORDING NO: 1995-445465, OFFICIAL RECORDS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT MYRA SHIRLEY LAX AND GLENDALE FEDERAL BANK, FEDERAL SAVINGS EXECUTED BY: BANK JULY 8, 1998 RECORDING DATE: 1998-1145175, OFFICIAL RECORDS **RECORDING NO.:** SARMAN CHANNEL ISLAND LTD I 1990-1714752, OFFICIAL RECORDS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

	RUDER	T WALKER, PLS / 13	1			S OF CALIF	2
CAN	NFIELD A	VENUE	& NATIO	NAL E	BOULE\	/ARD)
		LOS A	NGELES,	CA			
PROJECT NO: OAKM00004009	PREPARED FOR:	ΟΔΚΜΟΝ		RTIES		SCALE:	1

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S	0	CI	AT	Ε	S	INC.

OAKMONT PROPERTIES 640 S. SAN VINCENTE BLVD., STE 350 LOS ANGELES, CA 90048

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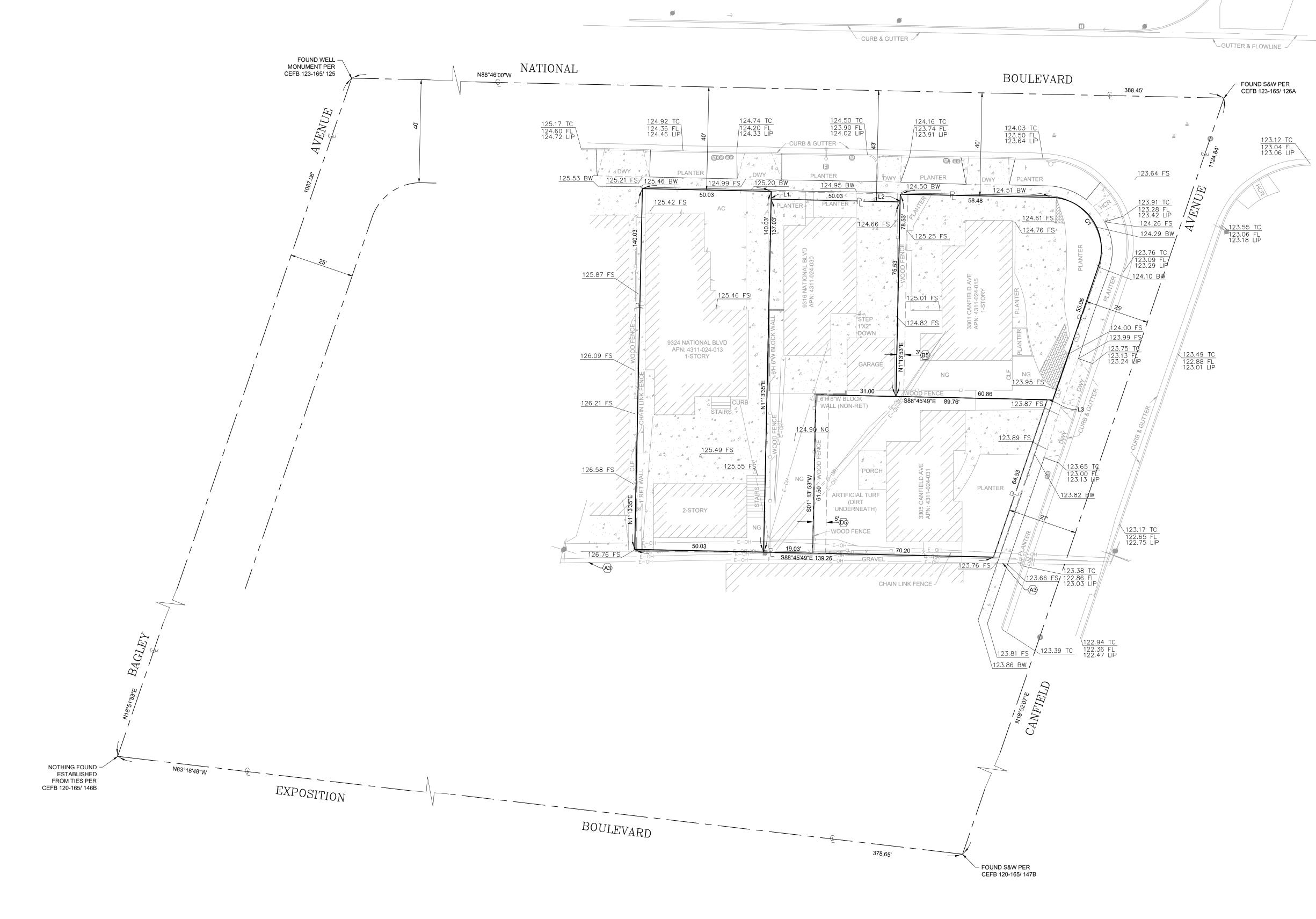
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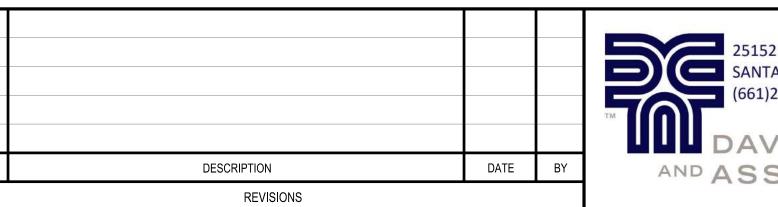
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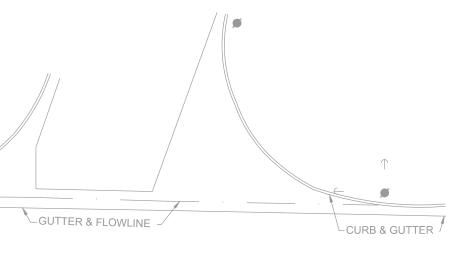
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DESIGN SURVEY



NO.



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20	10	0	20	40

SCALE: 1" = 20'

ABBREVIATIONS			
AC	ASPHALT		
BW	BACK OF WALK		
CEFB	CITY ENGINEER'S FIELDBOOK		
CL	CENTERLINE		
CONC	CONCRETE		
CLF	CHAIN LINK FENCE		
DWY	DRIVE WAY		
E/ ELEC	ELECTRICAL		
FS	FINISHED SURFACE		
PL	PROPERTY LINE		
S&W	SPIKE & WASHER		
тс	TOP OF CURB		

SYMBOL LEGEND

SYMBOL DENOTES

E	ELECTRIC BOX
۲	ELECTRIC-UTILITY POLE

- ℃ FIRE HYDRANT
- GAS METER G
- GAS VALVE
- GUY WIRE
- (S)SEWER MANHOLE
- SIGN
- STREET LIGHT
- TRAFFIC SIGNAL BOX (T)
- WATER METER (W)
- WATER VALVE

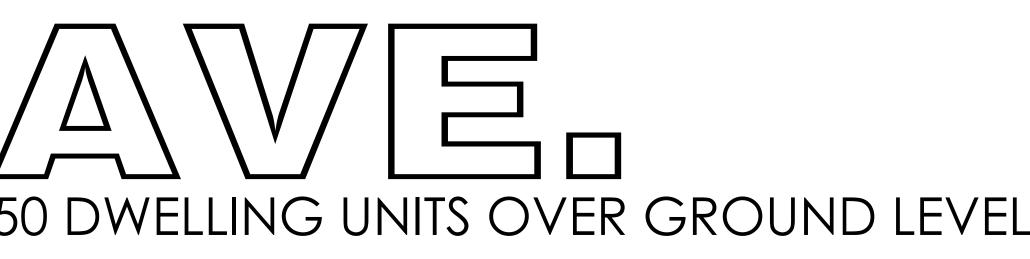
LINE TABLE			
LINE #	LENGTH	DIRECTION	
L1	3.00	S01° 13' 44"W	
L2	3.00	N01° 13' 53"E	
L3	2.10	N88° 45' 49"W	

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	
C1 37.57		20.00	107°38'07"	

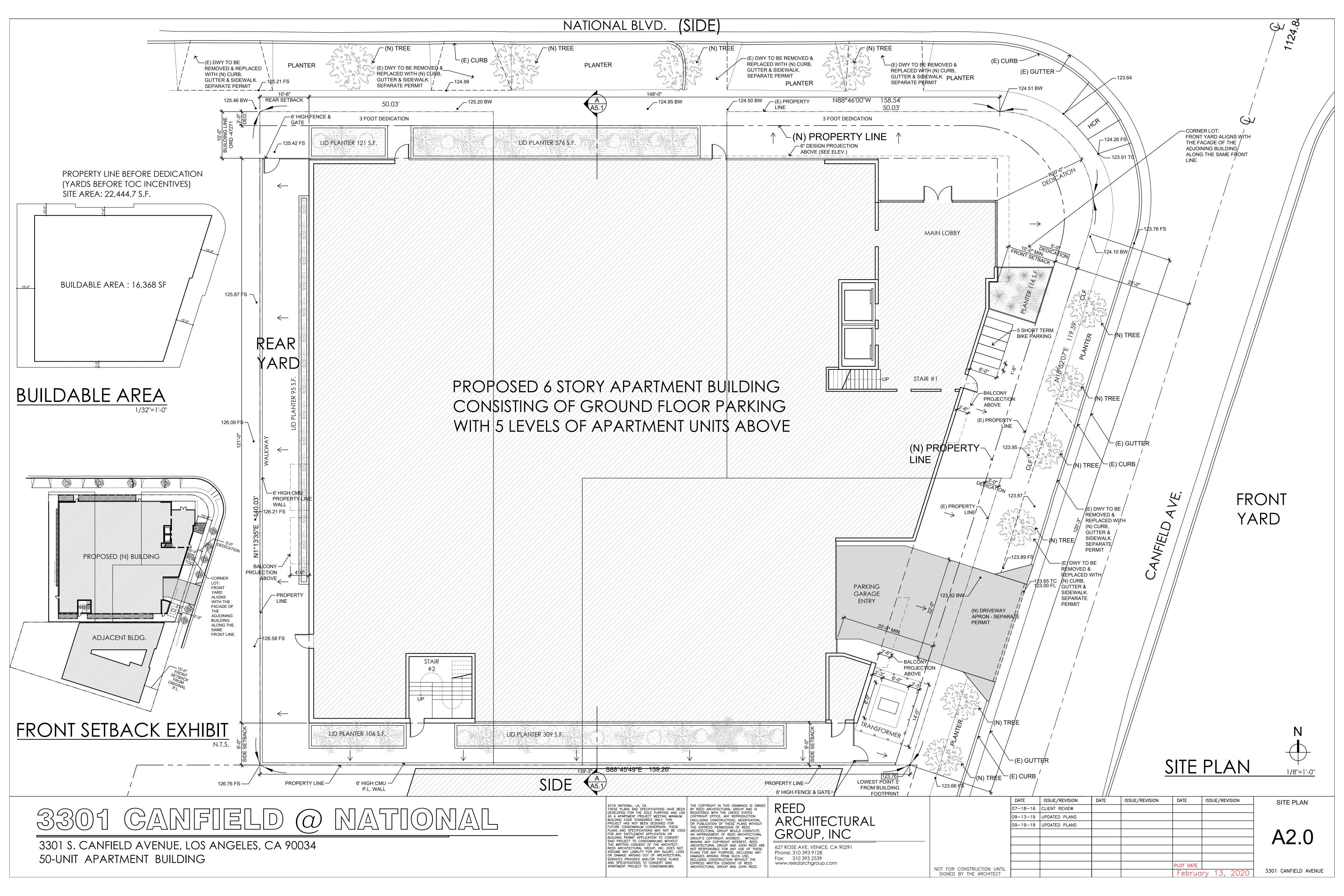
	CA	NFIELD AVEUNE & NATIONAL BOULEV	'ARD		
52 SPRINGFIELD CT STE 350 TA CLARITA, CA 91355	LOS ANGELES, CA				
)284-7400	PROJECT NO: OAKM00004009	PREPARED FOR: OAKMONT PROPERTIES	SCALE: 1"=20'		
	DAIT	640 S. SAN VINCENTE BLVD., STE 350 LOS ANGELES, CA 90048	DATE: 04/05/2019 SHT NO.:		
SOCIATES INC.			2 OF 2		

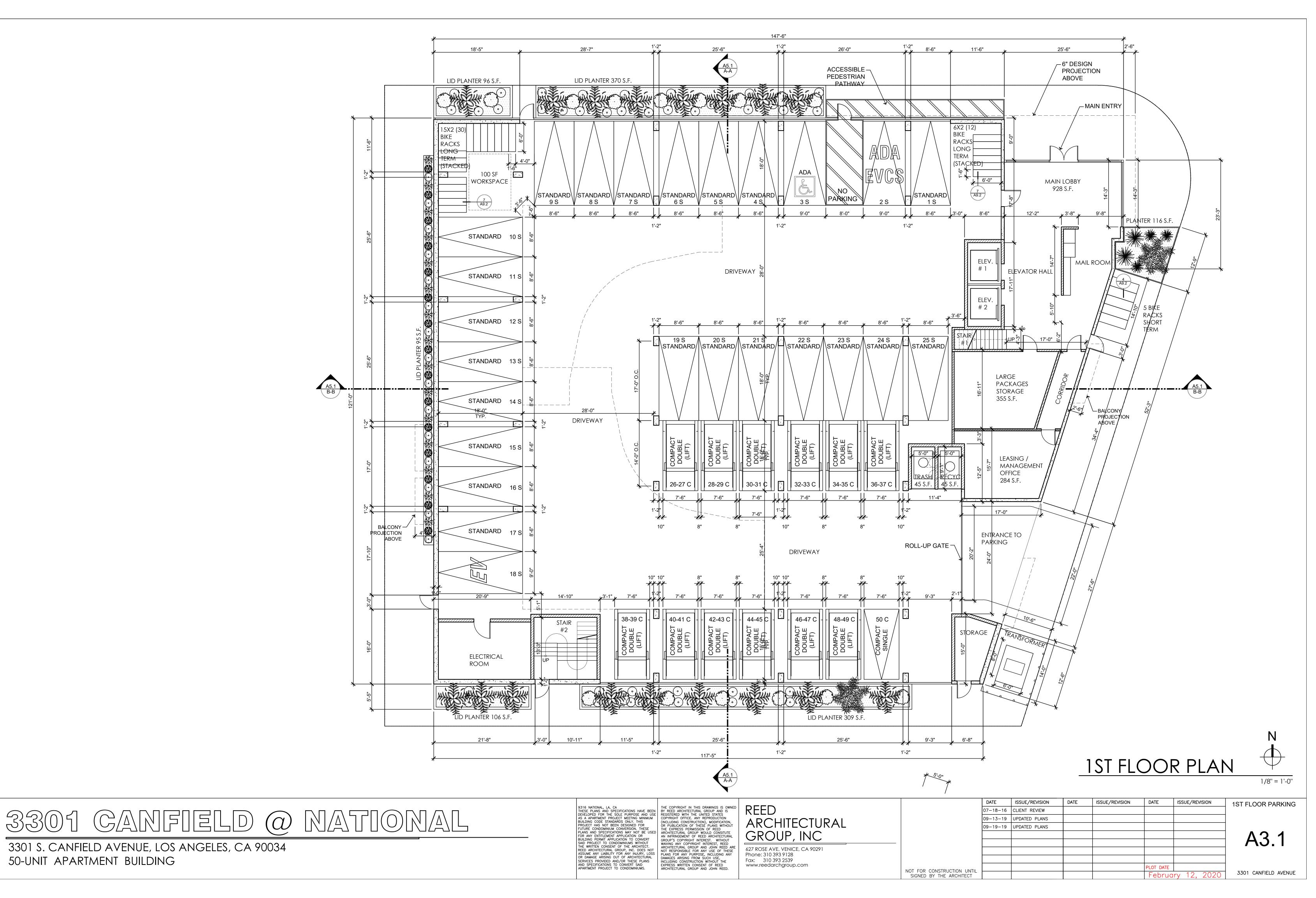
NEW 100% PRIVATELY FUNDED: RESIDENTIAL TOC TIER 3 PROJECT CONSISTING OF 6 STORIES 50 DWELLING UNITS OVER GROUND LEVEL PARKING GARAGE. BASE INCENTIVES + 3 ADDITIONAL INCENTIVES: (1) YARDS REDUCTION (FRONT&REAR), (2) HEIGHT INCREASE, (3) OPEN SPACE REDUCTION.

PROJECT	INFORMATION:		PROJECT RENDERING
LEGAL DESCRIPTION ADDRESS: 330 ⁷	1 S. CANFIELD AVENUE, LOS ANGELES, CA 90034	PARKING REQUIRED: REQUIRED RESIDENTIAL PARKING PER TOC - TIER 3:	
93 33 33	LEGAL DESCRIPTION ADDRESS LOT BLOCK TRACT APN AREA 324 W. NATIONAL BLVD. 127 NONE 625 4311-024 -013 7,000.1 SQ. FT. PER ZIMAS 316 W. NATIONAL BLVD. FR128 NONE 625 4311-024 -030 4,943.6 SQ.FT. PER ZIMAS 301 S. CANFIELD AVE. FR129 ARB1 NONE 625 4311-024 -015 5,583.6 SQ.FT. PER ZIMAS 305 S. CANFIELD AVE. FR129 ARB2 NONE 625 4311-024 -031 3,010.9 SQ.FT. PER ZIMAS ONE FR128 ARB2 NONE 625 4311-024 -031 1,906.5 SQ.FT. PER ZIMAS	3-BEDROOM UNITS 0.5 CARS / UNIT 50 0.5 X 50 25 CARS 25 CARS REQUIRED: 1 EV 1 EV VAN ACCESSIBLE 25 CARS 25 CARS 22 STANDARD 22 STANDARD 22 STANDARD	
LOT DIMENSIONS:	NORTH PROPERTY LINE = 121.54" LOT AREA (SQ.FT.) : 22,444.8 SQ.FT. PER ZIMAS SOUTH PROPERTY LINE = 110.05' WEST PROPERTY LINE = 129.98' EAST PROPERTY LINE = 118.98'	PARKING PROVIDED:FLOORSTANDARDCOMPACTADAEVGROUND LEVEL2225 (12X2+1)11	EV ACCESIBLE TOTAL 1 50
ZONING:	R3-1 TOC TIER 3		50 CARS
SPECIFIC PLAN:	NONE		
EXISTING USE:	RESIDENTIAL	REQUIRED; ORDINANCE # 185480	PROVIDED SHOPT TERM
PROPOSED USE:	R-2 RESIDENTIAL / S-2 PARKING	USE LONG TERM 1 SPACE / 1 UNIT (FOR 1-25 UNITS) x 25 UNITS = 25 1 SPACE / 10 UNIT	Short TERM LONG SHORT TERM TERM S (FOR 1-25 UNITS) × 25 UNITS = 3
HEIGHT:	REQUIRED:45' + 22' (TOC -TIER 3 ADDITIONAL INCENTIVE FOR HEIGHT INCREASE) = 67'. 15' STREET SIDE SETBACK ABOVE 56'PROVIDED:67 FT WITH 15' STREET SIDE, STEP BACK ABOVE 56'	RESIDENTIAL 1 SPACE / 1.5 UNITS (FOR 26-100 UNITS) x 25 UNITS = 17 1 SPACE / 15 UNITS	
SETBACKS:	SIDE YARD:10' BUILDING LINE - ALONG NATIONAL BLVD. (INCLUDING 3FT. DEDICATION) - NORTH PROPERTY LINESIDE YARD:9' - INSIDE YARD ALONG SOUTH PROPERTY LINE - 5'+1' FOR EVERY STORY ABOVE 2ND STORY (6 STORIES) = 5'+4'= 9FRONT YARD:10'-0" - ALONG CANFIELD AVE. (EAST PROPERTY LINE) TOC INCENTIVE - ALIGNED WITH ADJACENT BLDG.REAR YARD:-10'-6" (INSIDE YARD ALONG THE WEST PROPERTY LINE) TOC 30% REDUCTION FROM THE ORIGINAL 15'	SPRINKLER EQUIPMENT	
LOT AREA:	BEFORE DEDICATION: 22,444.7 SQ.FT. AFTER DEDICATION: 21,468 SQ.FT.	THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMI SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. (903.2)	PLYING WITH NFPA - 13; THE SPRINKLER
DENSITY :	22,444.7 SQ.FT. LOT AREA BEFORE DEDICATIONS / 800 = 28.056 (28 BASE UNITS) => ROUND UP TO 29 UNITS (TOC DENS. INCR. CALC.) 29 X 1.7 (TIER 3 BASE INCENTIVE) = 49.3 ROUND UP TO 50 UNITS (MAX. ALLOWABLE BY DENSITY INCREASE)	THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. (903.2) FIRE ALARM SYSTEM TO BE PROVIDED PER CFC 907.	
PROPOSED NUMBER OF UNITS		EMERGENCY RESPONDER RADIO TO BE PROVIDED PER CFC 510.	
AFFORDABLE UNITS: FLOOR AREA RATIO (F.A.R.):	5 UNITS (10% OF TOTAL UNITS) SHALL BE SET ASIDE FOR EXTREMELY LOW INCOME HOUSEHOLDS. ALLOWABLE: 16,368 SQ.FT BUILDABLE AREA BEFORE DEDICATION *4.5 (3*50% PER TIER 3 BASE INCENTIVES) = 73,656 SQ. FT.		
OPEN SPACE:	PROPOSED: 69,851 SQ. FT. (1,626 SF (1ST FLOOR) + 14,755 SF *4 (2ND, 3RD, 4TH & 5TH) + 9,205 (6TH)) OPEN SPACE REQUIRED BEFORE TOC INCENTIVE: 50 THREE BEDROOM UNITS * 175 S.F. = 8,750 S.F.	SHEET INDEX VICINITY MA	
OPEN SPACE.	OPEN SPACE REQUIRED BEFORE TOC INCENTIVE: 30 THREE BEDROOM UNITS = 175 S.F. = 8,750 S.F. OPEN SPACE REQUIRED AFTER TOC INCENTIVE: .75 * 8,750 SF = 6,562.57 SF	A1.0 COVER SHEET	
	TOTAL OPEN SPACE REQUIRED = 8,750 S.F. (BEFORE TOC INCENTIVE SPACE REDUCTION) TOTAL OPEN SPACE REQUIRED PER TOC : .75 * 8,750= 6,562.5 SF	C1 SURVEY A2.0 SITE PLAN	
OPEN SPACE PROVIDED:	LOCATION AREA HABITABLE SPACE / LANDSCAPE AREA (25% MIN.)	A3.1 FIRST FLOOR PLAN A3.2 SECOND FLOOR PLAN	
PRIVATE : 2500 SF		A3.2 SECOND FLOOR PLAN A3.3 THIRD FLOOR PLAN	
	ROOF DECK (COMMON SPACE #1) AT SIXTH FLOOR 683 S.F. 509 S.F. 174 S.F. (25% PLANTER)	A3.4 FOURTH FLOOR PLAN	
	ROOF DECK (COMMON SPACE #2) AT SIXTH FLOOR 683 S.F. 509 S.F. / 174 S.F. (25% PLANTER)	A3.5 FIFTH FLOOR PLAN	
COMMON : 4124 SF	ROOF DECK (COMMON SPACE #3) AT SIXTH FLOOR 547 S.F. 406 S.F. 141 S.F. (25% PLANTER)	A3.6 SIXTH FLOOR PLAN A3.7 ROOF PLAN	LUINTET CON
	ROOF DECK (COMMON SPACE #4) AT ROOF LEVEL 1,188 S.F. 735 S.F. 453 S.F. (38% PLANTER) ROOF DECK (COMMON SPACE #5) AT ROOF LEVEL 1,029 S.F. 669 S.F. 360 S.F. (34.9% PLANTER)	A4.1 NORTH & WEST ELEVATIONS A4.2 SOUTH & EAST ELEVATIONS	Canfield Apartmen
	TOTAL OPEN SPACE PROVIDED 6,630 S.F.	A5.1 BUILDING SECTIONS A-A & B-B	9316 National Boulevard
		A6.2 SITE PHOTOS	CONSTRUCTION TYPE FLOOR AREA PER BUILDING CODE
OWNFR	/ CONSULTANTS	A6.3 SITE PHOTOS PROJ A7.1 LANDSCAPE PLAN SIT	
OWNER: OAKMONT CAPITAL		Bag Bag	LEVEL OF GROUND LEVEL PARKING TYPE IA CONSTRUCTION (S2 INCLUDES AREAS UNDER ROOF OR FLOOR OVERHANGS.)
OAKMONT CAPITAL 8721 SANTA MONICA BLVD., # CA 90069	224 LA		OCCUPANCY) 3HR SEPARATION BETWEEN TYPE IA AND TYPE IIIA CONSTRUCTION USE CONSTRUCTION TYPE OCCUPANCY ALLOWED AREA PROPOSED AREA FIRST FLOOR 1A S-2 TYPE I-A UNLIMITED 15.687 S.F.
<u>ARCHITECT:</u> REED ARCHITECTURAL GROU 657 ROSE AVE, VENICE CA 90	JP 291		APPLICABLE CODE SECOND FLOOR IIIA R-2 13,194 S.F.
PHONE: (310) 393 - 9128			CALIFORNIA BUILDING CODE - 2016 EDITION
SURVEYOR: DAVID EVANS AND ASSOCIAT 25152 SPRINGFIELD COURT	ES INC.		Image: Control of the provide state of th
25152 SPRINGFIELD COURT SANTA CLARITA, CA 91355 PHONE: (818) 284 - 7400		The the still	2001 EDITION OF THE PLANNING AND ZONING CODE FROM AMERICAN
ζ, <i>γ</i>			LEGAL PUBLISHING CORPORATION. SIXTH FLOOR PLAN IIIA R-2 8,628 S.F.
		Harlow	TOTAL R-2, TYPE IIIA 4X24,000 = 96,000 77,091 S.F.
		9316 NATIONAL, LA, CA	DATE ISSUE/REVISION DATE ISSUE/REVISION DATE ISSUE/REVISION COVER SHEET
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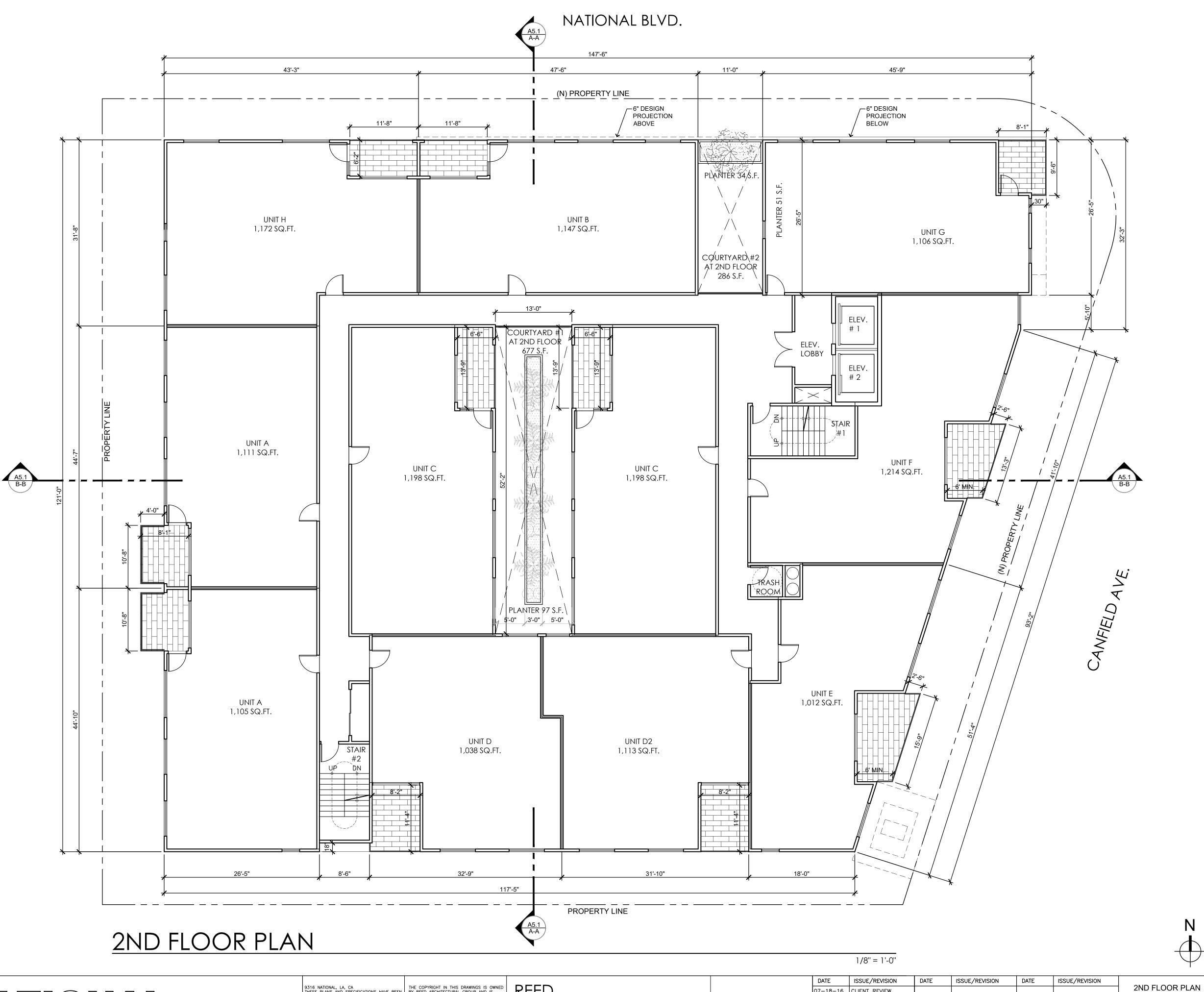






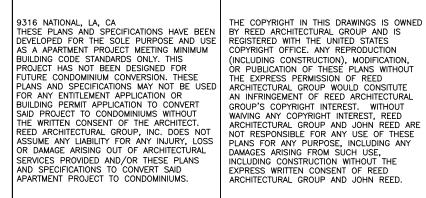


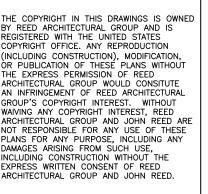












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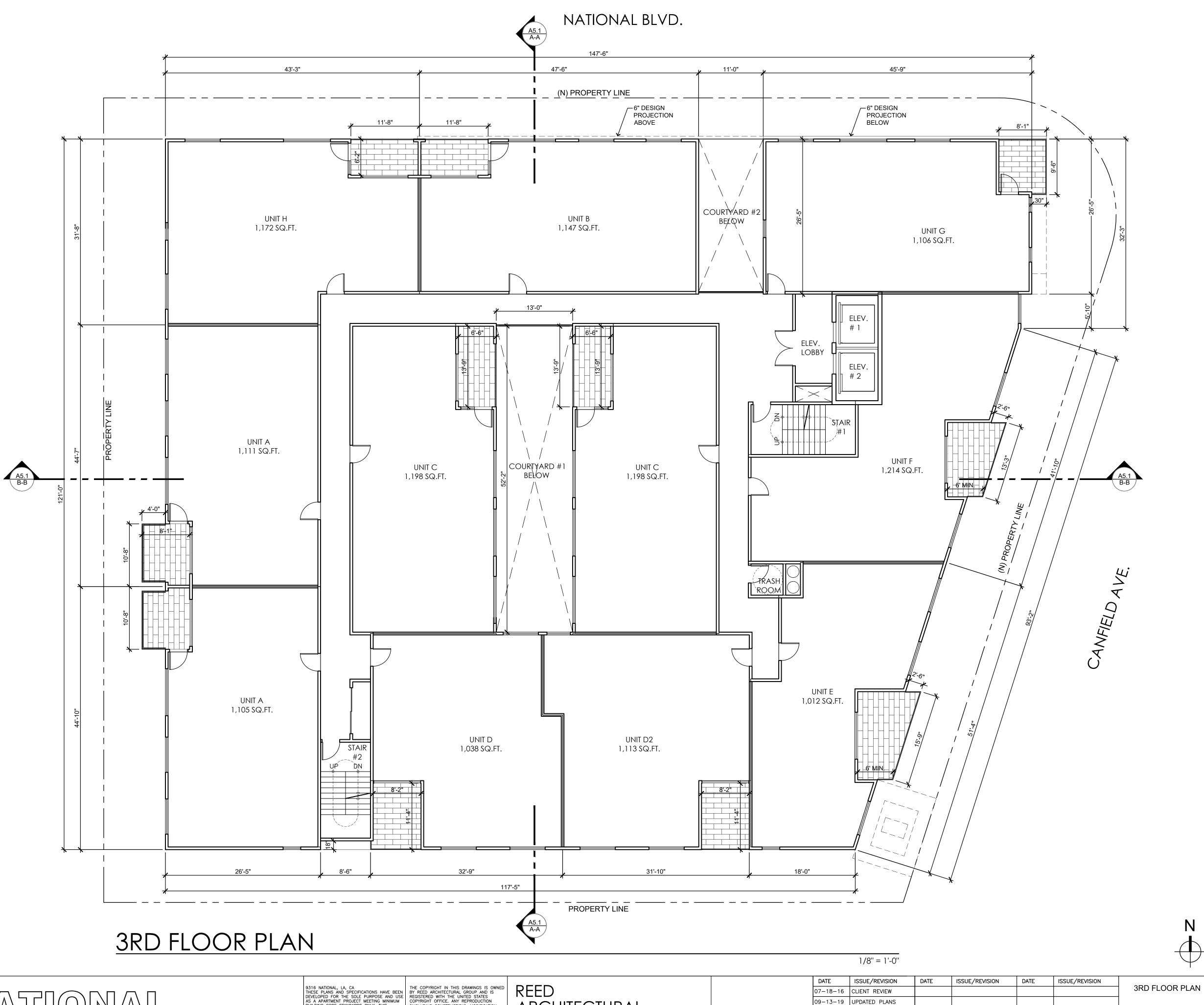
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07-18-16 CLIENT REVIEW 09-13-19 UPDATED PLANS 09-19-19 UPDATED PLANS PLOT DATE

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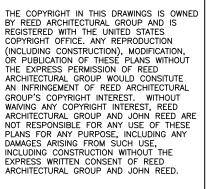
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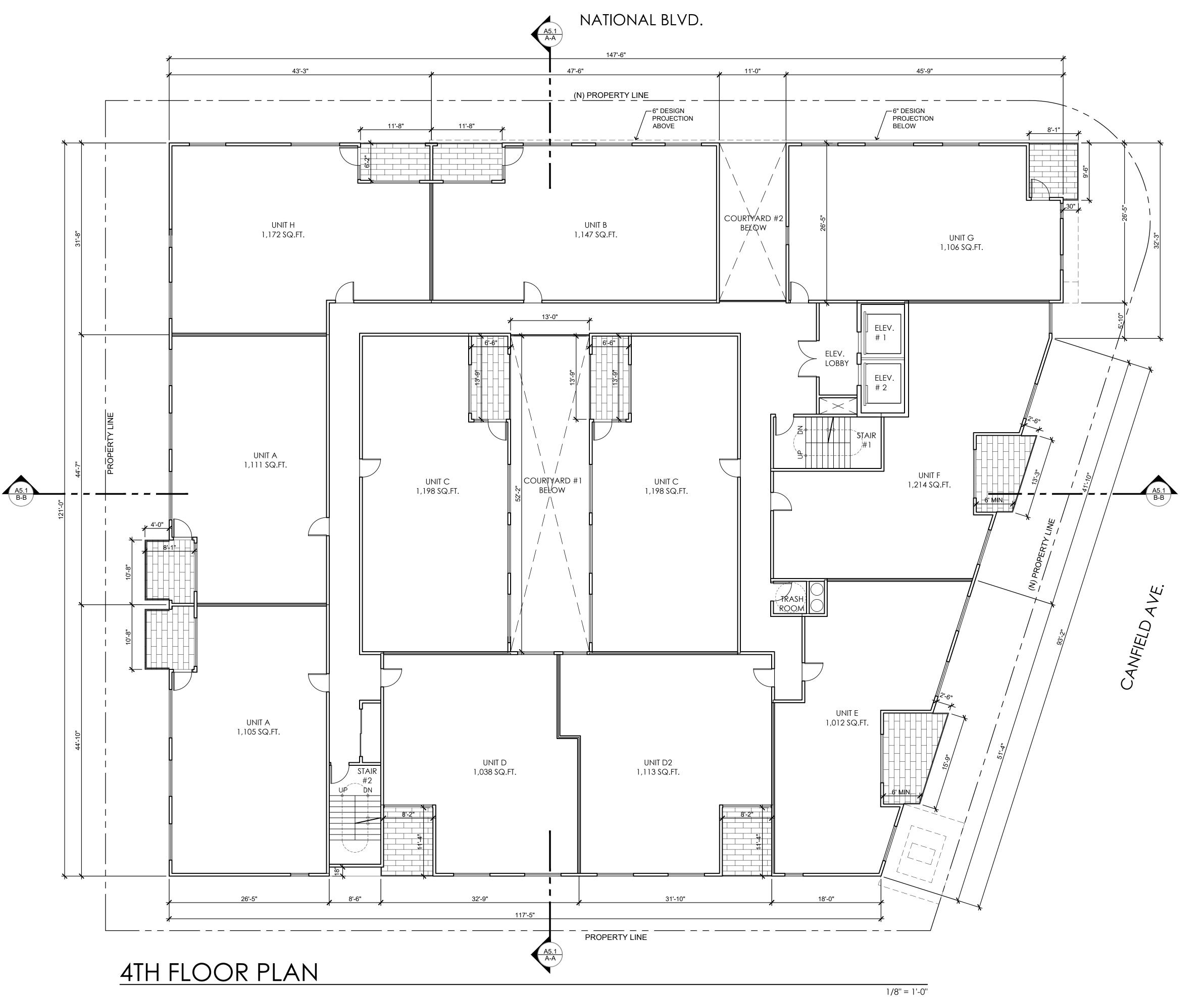
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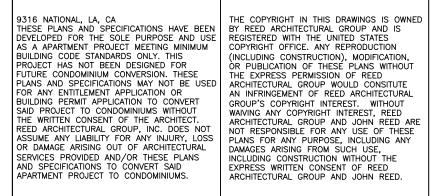
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4TH FLOOR PLAN

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A3.4

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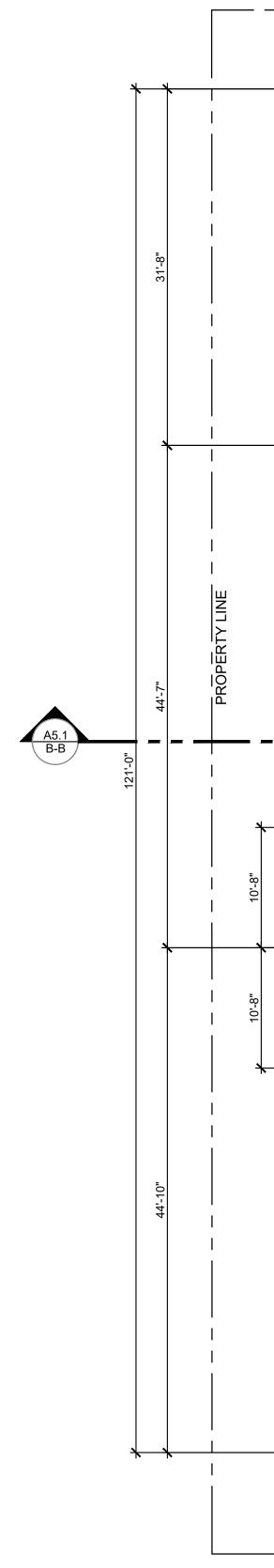
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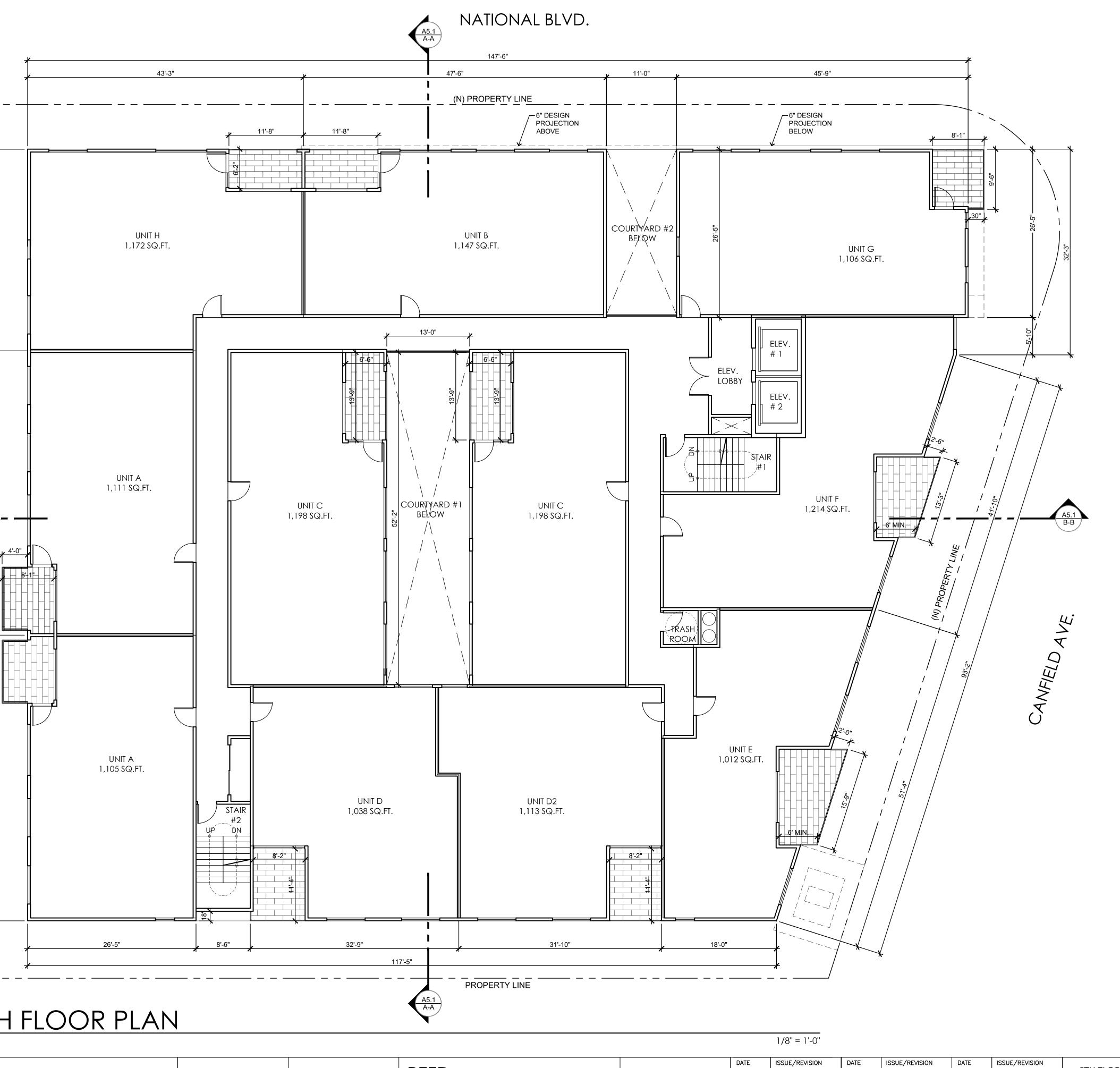
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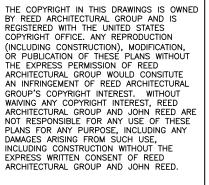




5TH FLOOR PLAN



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5TH FLOOR PLAN

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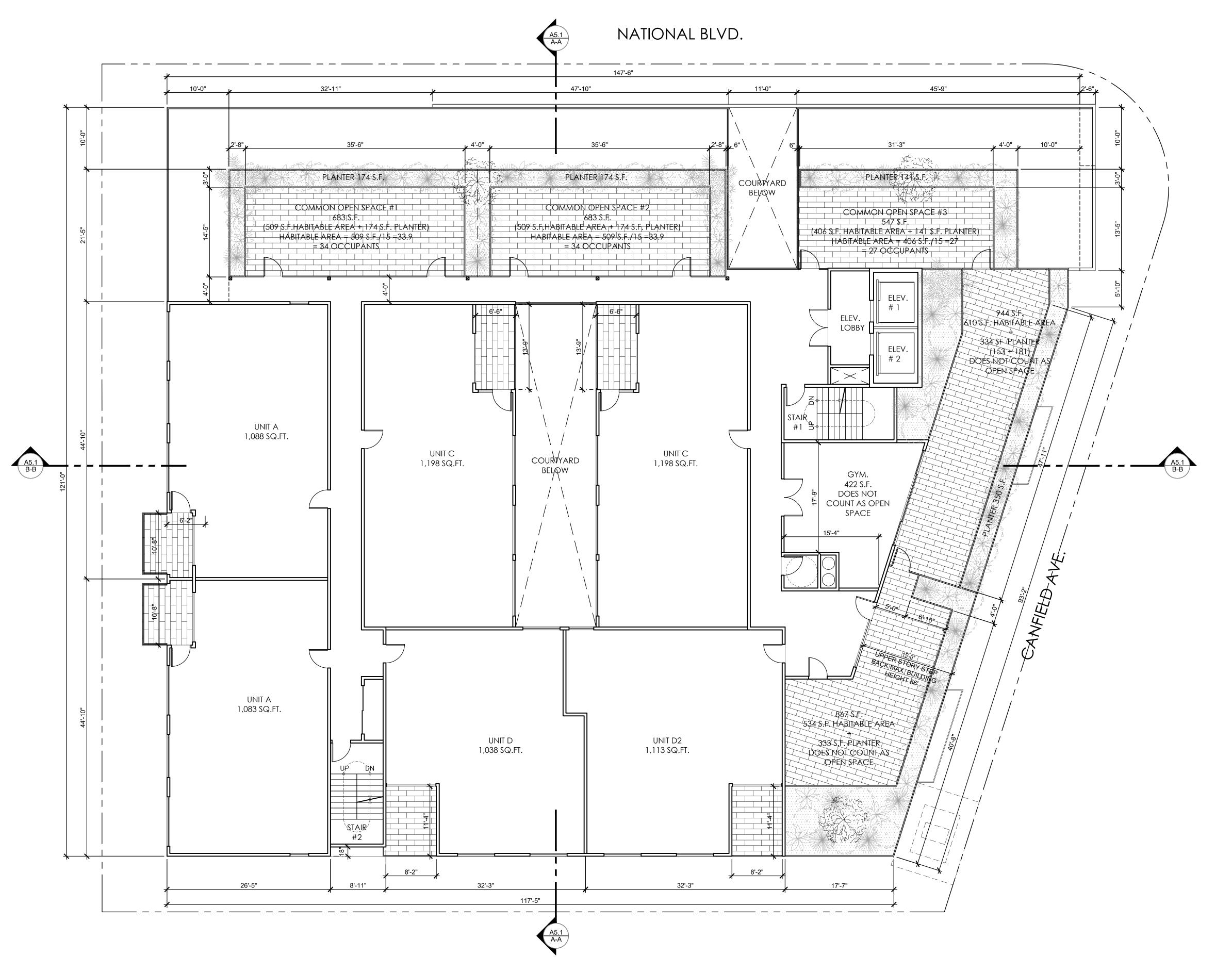
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> PLOT DATE February 4, 202

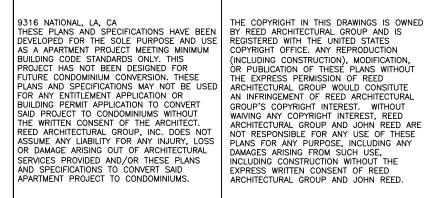


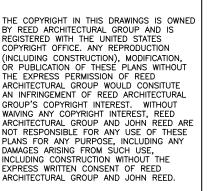


3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

6TH FLOOR PLAN







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6TH FLOOR PLAN

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1/8" = 1'-0"

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DATE

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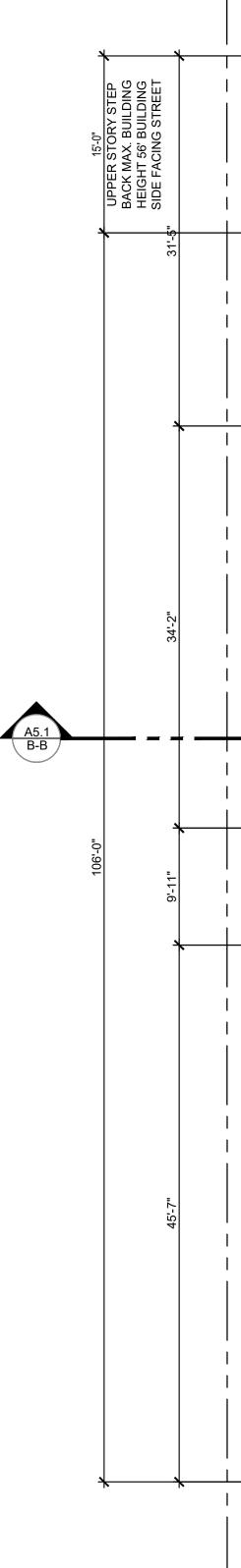
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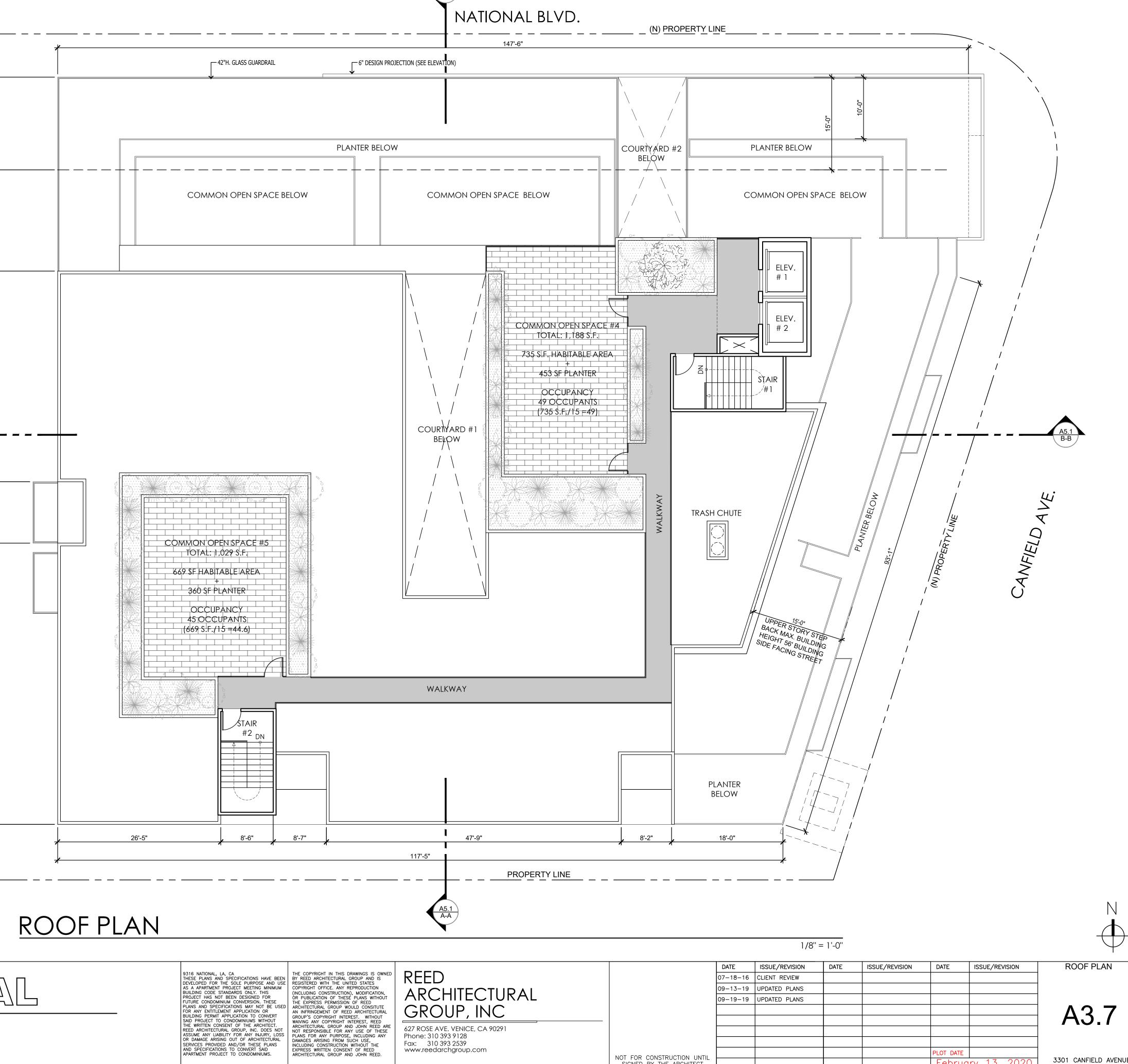
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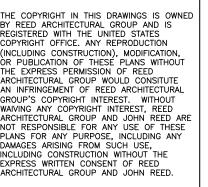
3301 CANFIELD AVENUE





3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING





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PLOT DATE February 13, 20

3301 CANFIELD AVENUE

	MATERIAL LEGEND:	(N) PROPERTY LINE	*
1	78" PAINTED STUCCO - SMOOTH FINISH	(E) PROPERTY LINE	
2	78" STUCCO WALL W/ACCENT COLOR -SMOOTH F.		
3	BOARD FORMED CONCRETE FINISH		
4	CMU WALL WITH CLEAR SEALER		
5	POURED-IN-PLACE CONCRETE WALL/DECK/BEAM/COLUMN		
6	PORCELAIN TILE		
7	PAINTED ARCHITECTURAL METAL		
8	BREAK METAL		
9	STOREFRONT SYSTEM: CLR GLASS W/DARK BRONZE FRAME		
10	CREEPING FIG VINE ON PAINTED METAL GRATE		
11	METAL SIDING -T-16, BY METAL SALES		
12	PAINTED 42"H. METAL BAR GUARDRAIL SYSTEM		13
13	42"H. CLEAR, TEMPERED GLASS GUARDRAIL		
14	PAINTED METAL STAIRS		
15	CAST-IN-PLACE CONCRETE PLANTER		13
16	FRAME-LESS GLASS SYSTEM		
17	BUILT-UP ROOFING		
18	METAL GATE		
19	FREE STANDING ADDRESS NUMBERS		
20	BOX GUTTER / DOWNSPOUT		9 9
21	CONTROL JOINT		
22	STANDING SEAM METAL ROOF		
23	SIGNAGE (UNDER SEPARATE PERMIT)	-124.26	15 NORIHE
24	SPANDREL GLASS		(E) PROPERTY LINE
25	FRY REGLET CONTROL JOINT		10'-0" b
			FRONT YARD BUILDING LINE

13 11 1 _ __ Ι _ __ -1 | _ __ - I _ __ _ __ 6' HIGH – FENCE & 15 GATE

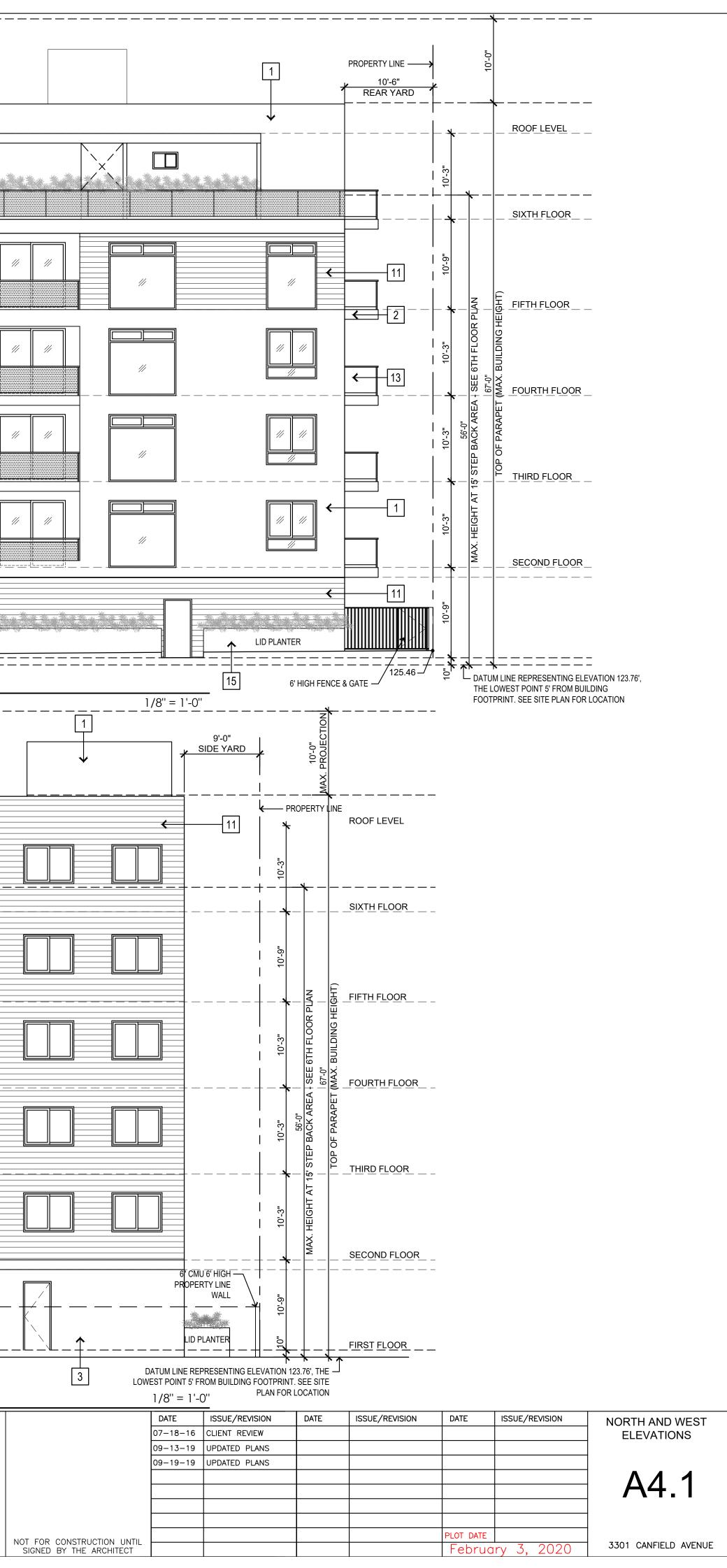
NATIONAL BLVD.

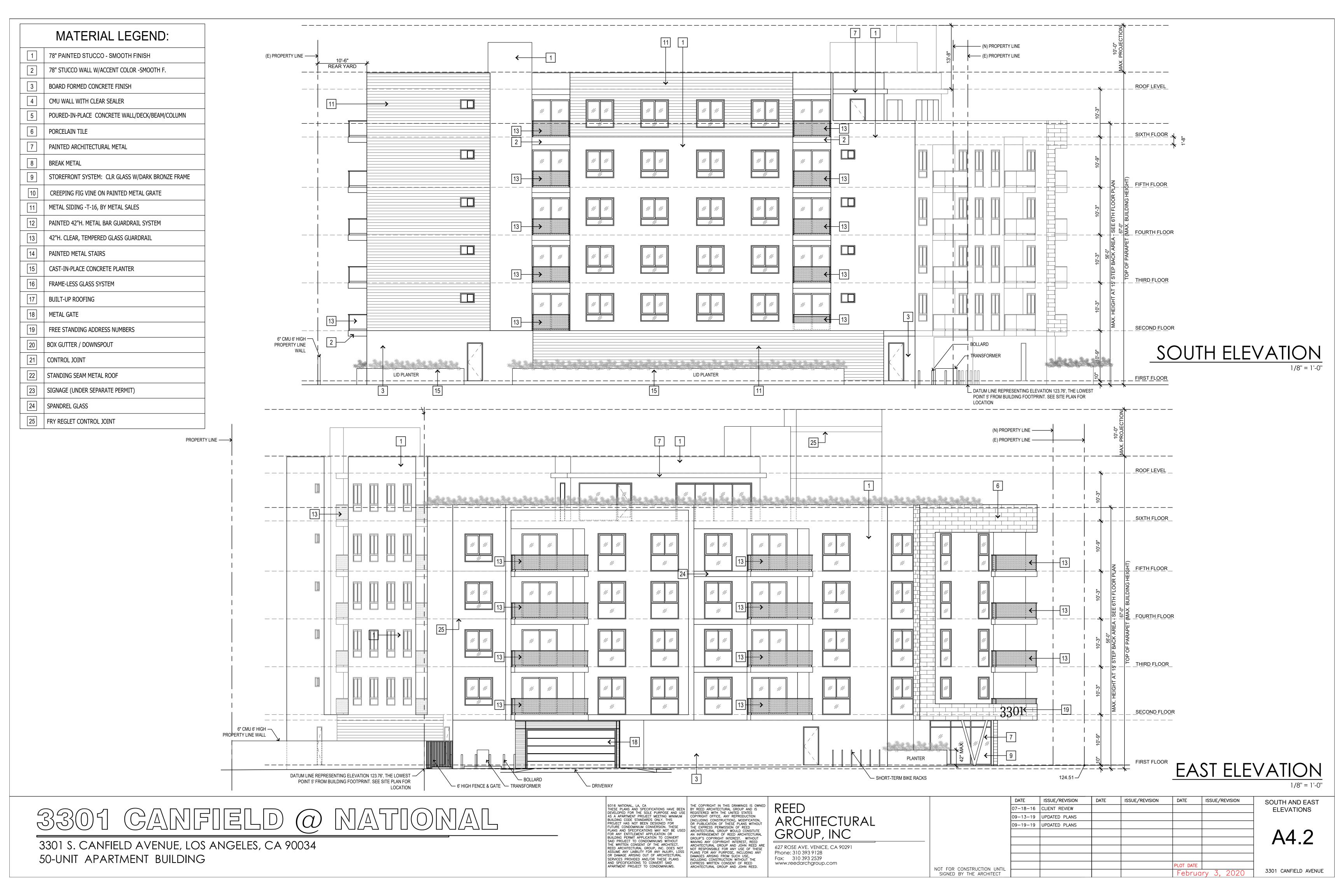
WEST EL



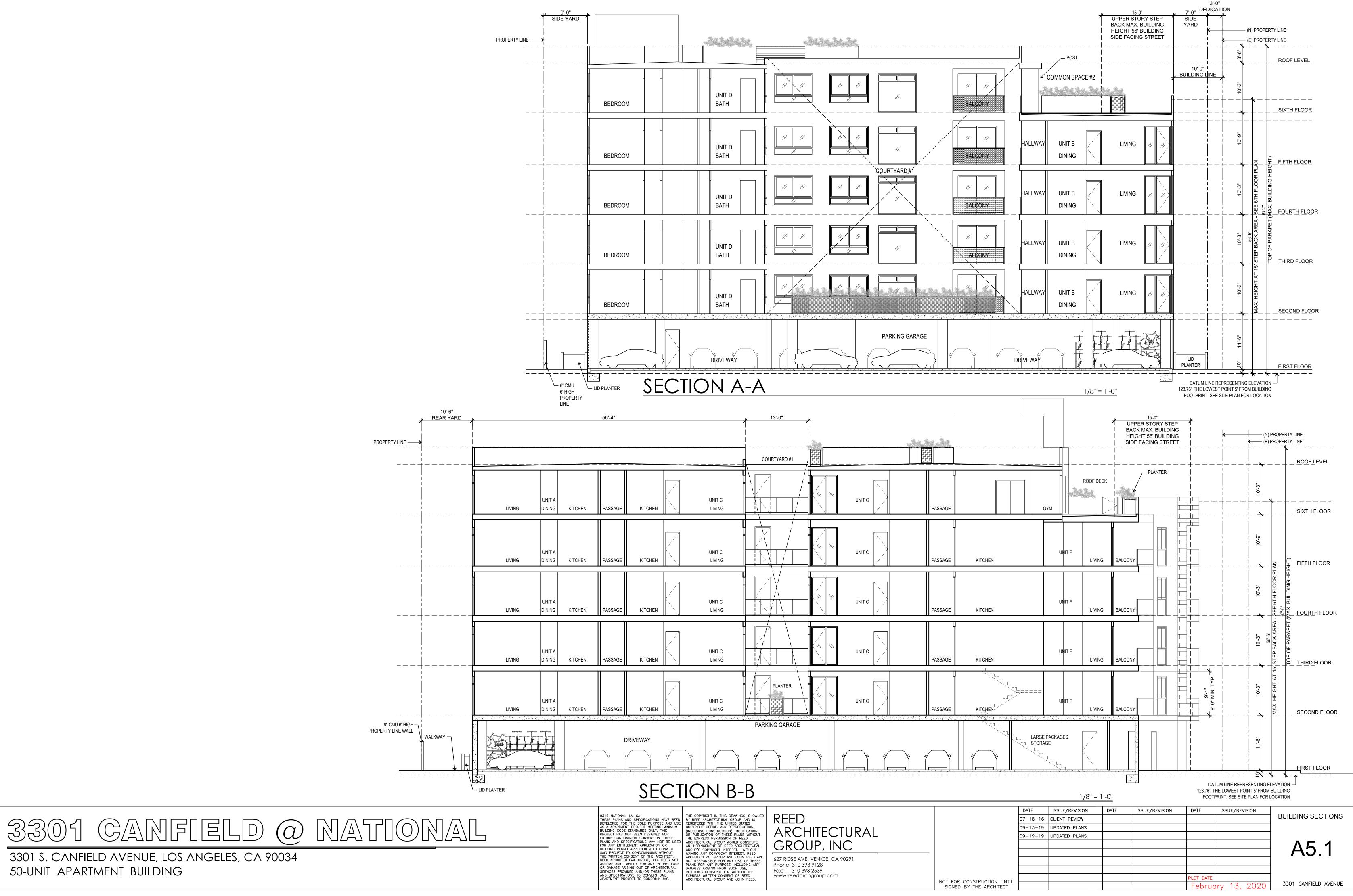
3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

			13		
		COURTYARD #2 / \ / \ / \ / \ / \			13 ////////////////////////////////////
TELEVATIC	DN 19				IID PLANTER
15'-0" UPPER STORY STEP BACK MAX. BUILDING HEIGHT 56' BUILDING SIDE FACING STREET					
			2		
25					
		LID PLANTER	 ↑		6" CMU 6' HIGH PROPERTY LINE WALL
<u>ELEVATION</u>	9316 THESE DEVELI AS A BUILDI PROJE FUTUR PLANS FOR A BUILDI SAID F THE W REED ASSUM OR DA	PLANS AND SPECIFICATIONS HAVE BEEN BY OPED FOR THE SOLE PURPOSE AND USE REG APARTMENT PROJECT MEETING MINIMUM COF NG CODE STANDARDS ONLY. THIS (INC CT HAS NOT BEEN DESIGNED FOR OR C CONDOMINIUM CONVERSION. THESE THE AND SPECIFICATIONS MAY NOT BE USED ARC AND SPECIFICATIONS MAY NOT BE USED AN NG PERMIT APPLICATION OR AN NG PERMIT APPLICATION TO CONVERT GRC PROJECT TO CONDOMINIUMS WITHOUT WAN RICTIEN CONSENT OF THE ARCHITECT. ARC ARCHITECTURAL GROUP, INC. DOES NOT NOT IE ANY LIABILITY FOR ANY INJURY, LOSS PLA MAGE ARISING OUT OF ARCHITECTURAL DAM ESS PROVIDED AND/OR THESE PLANS INCL PECIFICATIONS TO CONVERT SAID EXP	COPYRIGHT IN THIS DRAWINGS IS OWNED REED ARCHITECTURAL GROUP AND IS ISTERED WITH THE UNITED STATES YRIGHT OFFICE. ANY REPRODUCTION CLUDING CONSTRUCTION), MODIFICATION, PUBLICATION OF THESE PLANS WITHOUT EXPRESS PERMISSION OF REED HITECTURAL GROUP WOULD CONSITUTE INFRINGEMENT OF REED ARCHITECTURAL JUP'S COPYRIGHT INTEREST, WITHOUT VING ANY COPYRIGHT INTEREST, WITHOUT VING ANY COPYRIGHT INTEREST, WITHOUT VING ANY COPYRIGHT INTEREST, REED HITECTURAL GROUP AND JOHN REED ARE RESPONSIBLE FOR ANY USE OF THESE NS FOR ANY PURPOSE, INCLUDING ANY IAGES ARISING FROM SUCH USE, LUDING CONSTRUCTION WITHOUT THE RESS WRITTEN CONSENT OF REED HITECTURAL GROUP AND JOHN REED.	REED ARCHITECTU GROUP, INC 627 ROSE AVE. VENICE, CA 902 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com	





3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING





3301 CANFIELD @ NATIONAL

3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

9316 NATIONAL, LA, CA THESE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE SOLE PURPOSE AND USE AS A APARTMENT PROJECT MEETING MINIMUM BUILDING CODE STANDARDS ONLY. THIS PROJECT HAS NOT BEEN DESIGNED FOR FUTURE CONDOMINIUM CONVERSION. THESE PLANS AND SPECIFICATIONS MAY NOT BE USED FOR ANY ENTILIEMENT APPLICATION OR BUILDING PERMIT APPLICATION TO CONVERT SAID PROJECT TO CONDOMINIUMS. THE WRITTEN CONSENT OF THE ARCHITECT. REED ARCHITECTURAL GROUP, INC. DOES NOT ASSUME ANY LIABILITY FOR ANY INJURY, LOSS OR DAMAGE ARISING OUT OF ARCHITECTURAL SERVICES PROVIDED AND/OR THESE PLANS AND SPECIFICATIONS TO CONVERT SAID APARTMENT PROJECT TO CONDOMINIUMS. THE COPYRIGHT INTEREST, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. REED ARCHITECTURAL GROUP, INC. DOES NOT ASSUME ANY LIABILITY FOR ANY INJURY, LOSS OR DAMAGE ARISING OUT OF ARCHITECTURAL SERVICES PROVIDED AND/OR THESE PLANS AND SPECIFICATIONS TO CONVERT SAID APARTMENT PROJECT TO CONDOMINIUMS.

REED ARCHITECTURAL <u>GROUP, INC</u> 627 ROSE AVE. VENICE, CA 90291 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com

3301 CANFIELD AVENUE









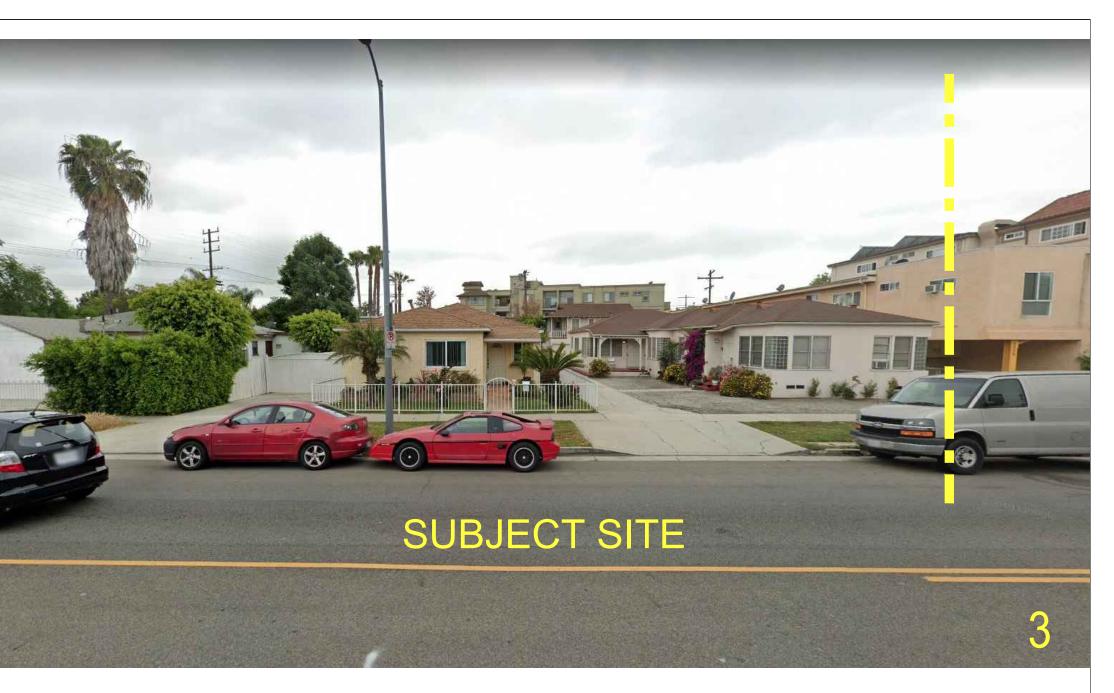


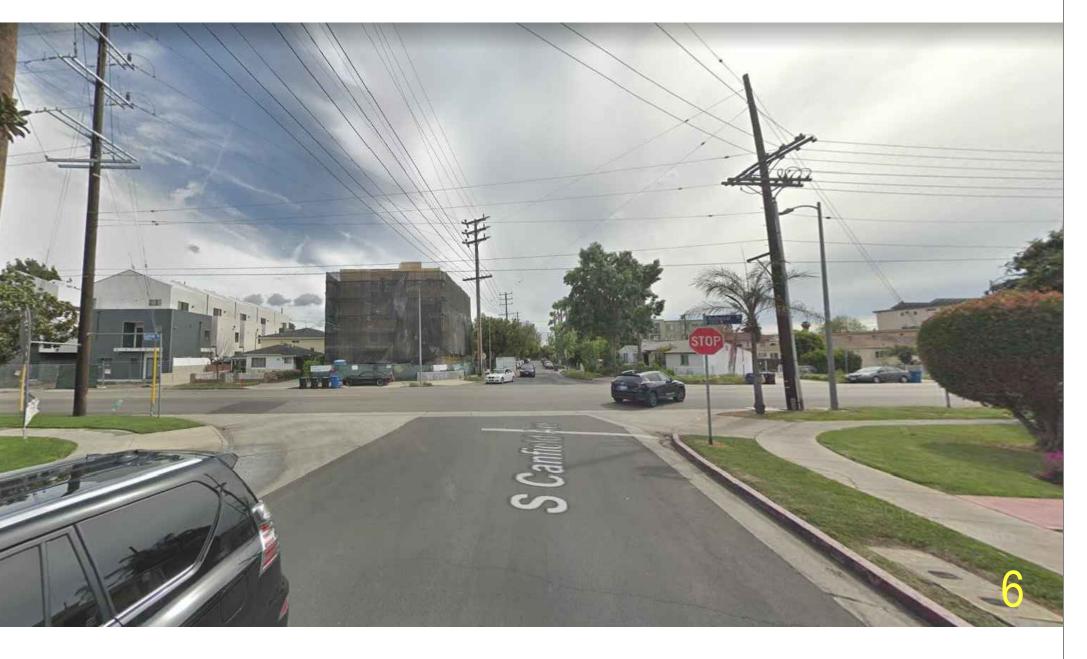




9316 NATIONAL, LA, CA THESE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE SOLE PURPOSE AND USE AS A APARTMENT PROJECT MEETING MINIMUM BUILDING CODE STANDARDS ONLY. THIS PROJECT HAS NOT BEEN DESIGNED FOR FUTURE CONDOMINIUM CONVERSION. THESE PLANS AND SPECIFICATIONS MAY NOT BE USED FOR ANY ENTITLEMENT APPLICATION OR BUILDING PERMIT APPLICATION TO CONVERT SAID PROJECT TO CONDOMINIUMS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL GROUP'S COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. REED ARCHITECTURAL GROUP AND JOHN REED ARE NOT RESPONSIBLE FOR ANY USE OF THESE PLANS AND SPECIFICATIONS MAY NOT BE USED ASSUME ANY LABILITY FOR ANY INJURY, LOSS OR DAMAGE ARISING OUT OF ARCHITECTURAL SERVICES PROVIDED AND/OR THESE PLANS AND SPECIFICATIONS TO CONVERT SAID APARTMENT PROJECT TO CONDOMINIUMS.

REED ARCHITECTURAL GROUP, INC 627 ROSE AVE. VENICE, CA 90291 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com







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VENUE









50-UNIT APARTMENT BUILDING



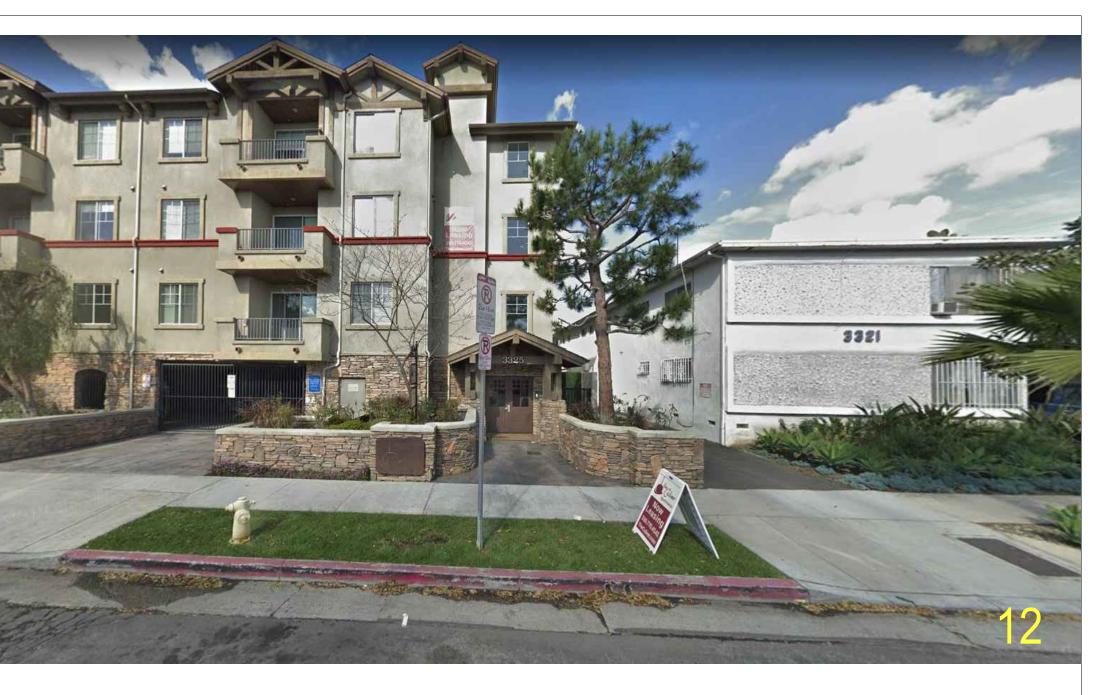


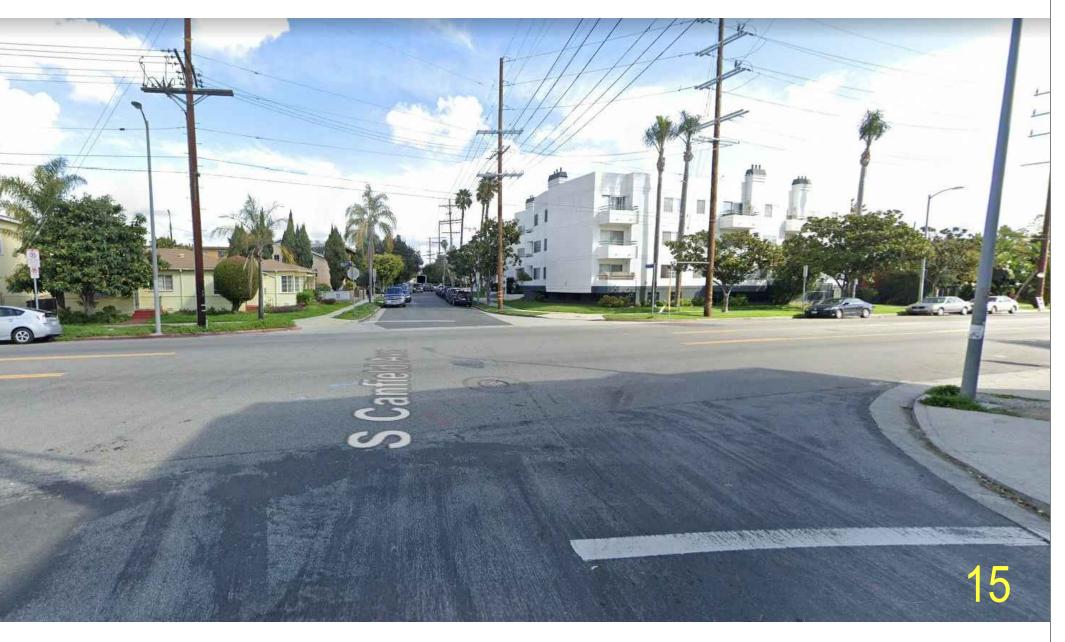


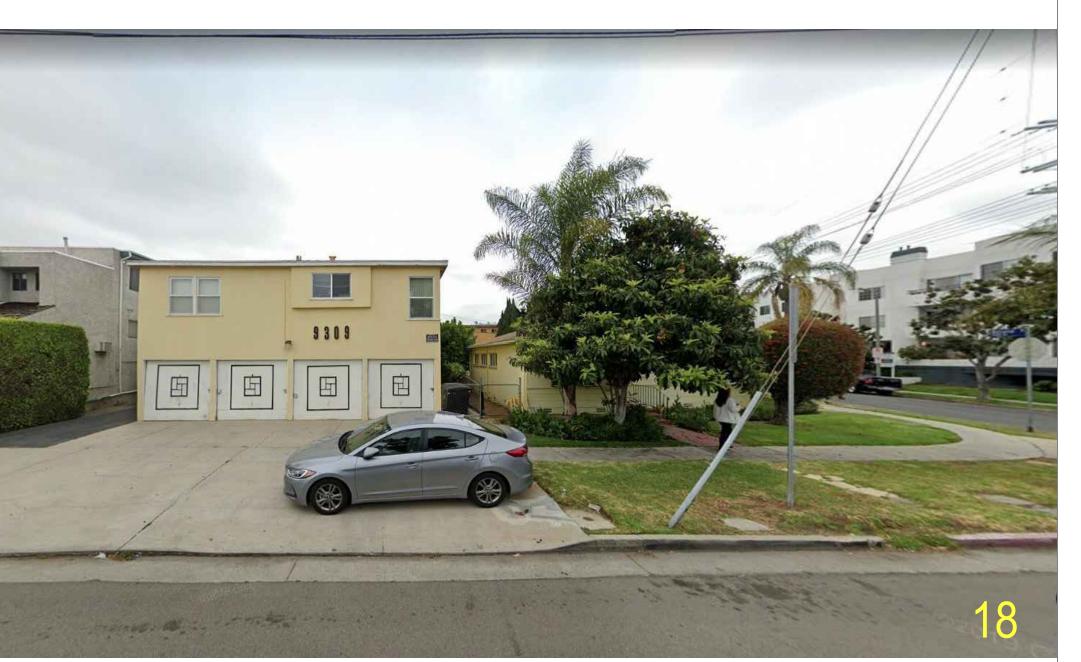


9316 NATIONAL, LA, CA THESE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE SOLE PURPOSE AND USE AS A APARTMENT PROJECT MEETING MINIMUM BUILDING CODE STANDARDS ONLY. THIS PROJECT HAS NOT BEEN DESIGNED FOR FUTURE CONDOMINIUM CONVERSION. THESE PLANS AND SPECIFICATIONS MAY NOT BE USED FOR ANY ENTITLEMENT APPLICATION OR BUILDING PERMIT APPLICATION TO CONVERT SAID PROJECT TO CONDOMINIUMS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL GROUP'S COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. WITHOUT WAIVING ANY COPYRIGHT INTEREST. WITHOUT SAID PROJECT TO CONDOMINIUMS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL SERVICES PROVIDED AND/OR THESE PLANS AND SPECIFICATIONS TO CONVERT SAID APARTMENT PROJECT TO CONDOMINIUMS.

REED ARCHITECTURAL GROUP, INC 627 ROSE AVE. VENICE, CA 90291 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com



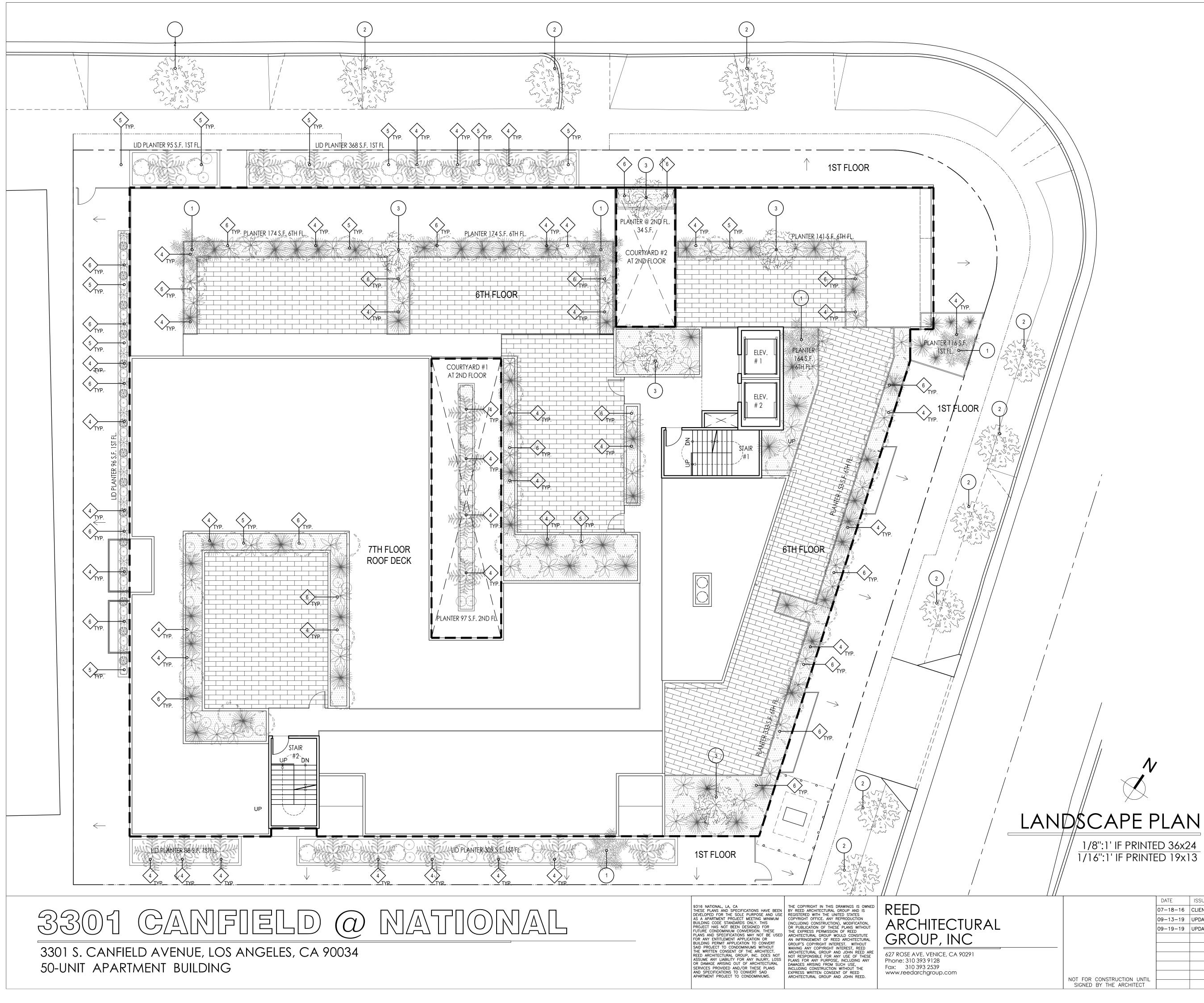




	DATE	ISSUE/REVISION	DATE	ISSUE/REVISION	DATE	ISSUE/REVISION	SITE PHOTOS
	07-18-16	CLIENT REVIEW					
	09-13-19	UPDATED PLANS					
	09-19-19	UPDATED PLANS					
							A6.3
UNTIL							
UNTIL							3301 CANFIELD AVENUE

NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

3301 CANFIELD AVENUE

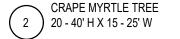


PROPOSED TREES:



CORDYLINE AUSTRALIS 'RED STAR'







PITTOSPORUM ANGUSTIFOLIUM (3) WEEPING PITTOSPORUM 20 - 30' H X 10 - 15' W

PROPOSED PLANTS:

1 RED GRASS TREE 20 - 30' H X 8 - 10' W



AGAVE ATTENUATA 'BOUTIN BLUE' BLUE FOX TAIL AGAVE 3 - 4' H X W





ADENANTHOS 'SILVER HAZE' 5 SILVER HAZE WOODLLYBUSH 4 - 6' H X W
DANIELLA REVOLUTA 'LITTLE REV' LITLE REV FLAX LILY 2 - 4' H X 1 - 2' W

TOTAL LANDSCAPED SITE AREA:	-LID PLANTERS AND F -COURTYARDS PLANT -OPEN SPACE TERRA - OPEN SPACE TERRAC	CES (6TH FL):	1,072 SF 131 SF 1,139 SF <u>508 SF</u> 2,850 SF
TREES REQUIRED - 1 TREE PER 500 S - 1 TREE PER 4 UNIT	GQ. FT: ⁻ S - PER 12.21.G.2 (A) (3)	2,850 SF / 500 SF = 50 UNITS / 4 =	6 TREES <u>13 TREES</u> 19 TREES
ON-SITE TREES PROVIDED:			19 TREES
1ST FLOOR: 11 TREES (10 TREES IN PA 2ND FLOOR: 1 TREE IN COURTYARD # 6TH FLOOR: 6 TREES 7TH FLOOR: 1 TREE		EYARD)	

POINTS REQUIRED TOTAL SITE AREA: 21,468 SQ. FT. POINTS REQUIRED PER GUIDELINES O TABLE I
POINTS ACHIEVED

5 POINTS MAIN FINISH ELEVATION OF STRUCTURE, AT AN ELEVATION ABOVE OR BELOW THE FINISH ELEVATION OF THE SIDEWALK, SUCH THAT A STRAIGHT LINE PERPENDICULAR TO A STRAIGHT STREET OR RADIALLY AT A CURVED STREET, LEADING DIRECTLY TO THE MAIN PEDESTRIAN ENTRANCE OF THE STRUCTURE, IS HANDICAP ACCESSIBLE 20 POINTS

LARGE TREE, PER TREE. 10 X 2 = 20

	5 POINTS	
USE OF CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO R) IN MAJORITY OF LANDSCAPED AREAS		
TOTAL POINTS ACHIEVED	30 POINTS	

WATER MANAGEMENT POINT CALCULATION (LAMC 12.41 BI GUIDELINES AA)

ISSUE/REVISION

DATE

POINTS REQUIRED TOTAL SITE AREA: 21,468 SQ. FT. POINTS REQUIRED PER GUIDELINES AA

POINTS ACHIEVED ALL PLANTS ON SITE THOSE THAT WILL, IN THE DESIGNED LOCATION, AND PROPERLY ESTABLISHED FOR 3 YEARS, REMAIN IN GOOD HEALTH ON NATURAL RAINFALL. (TECHNIQUE #7)

DATE

ISSUE/REVISION

07-18-16 CLIENT REVIEW 09-13-19 UPDATED PLANS 09-19-19 UPDATED PLANS

DATE

300 POINTS

20 POINTS

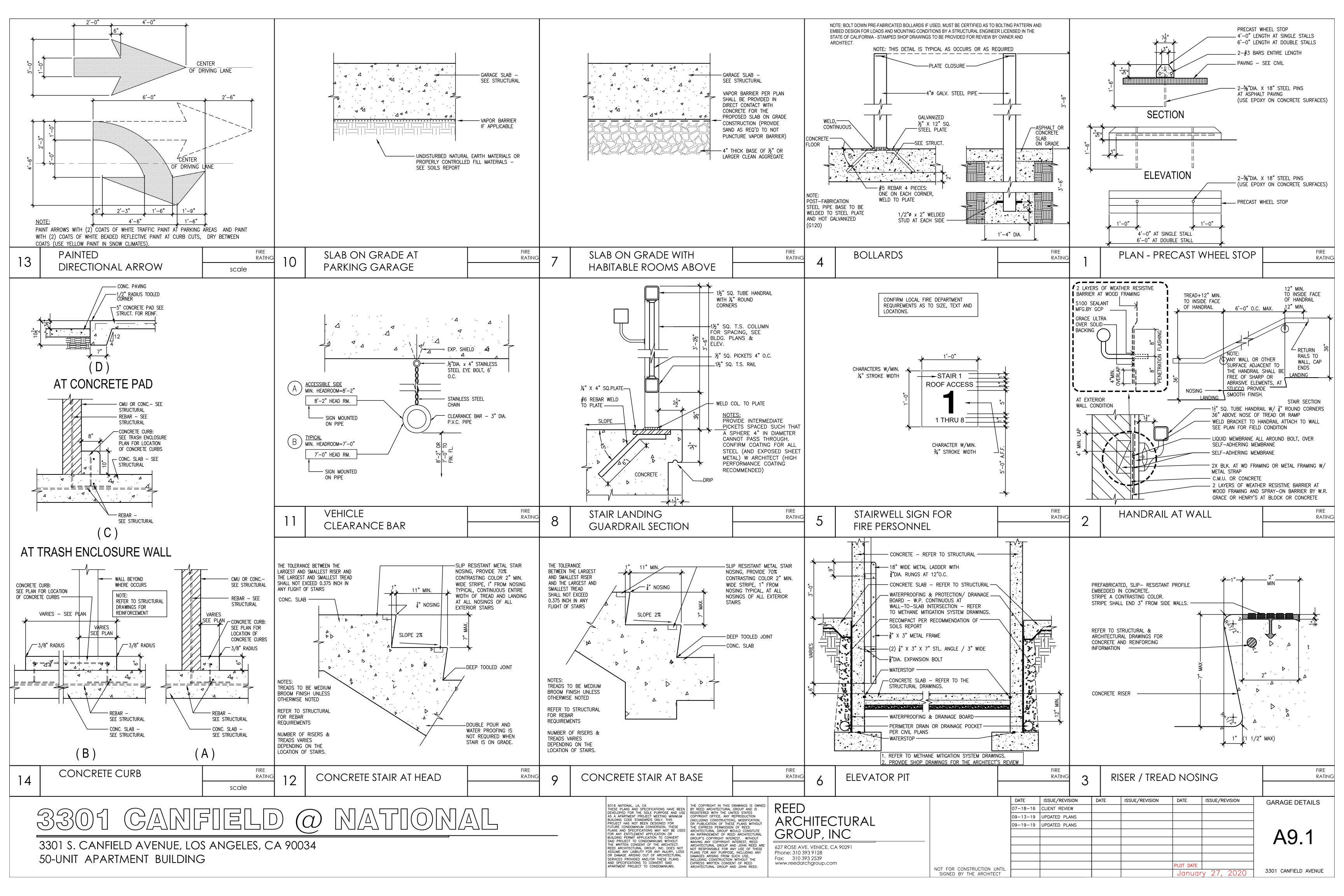
100% OF REQUIRED WATER MANAGEMENT POINTS

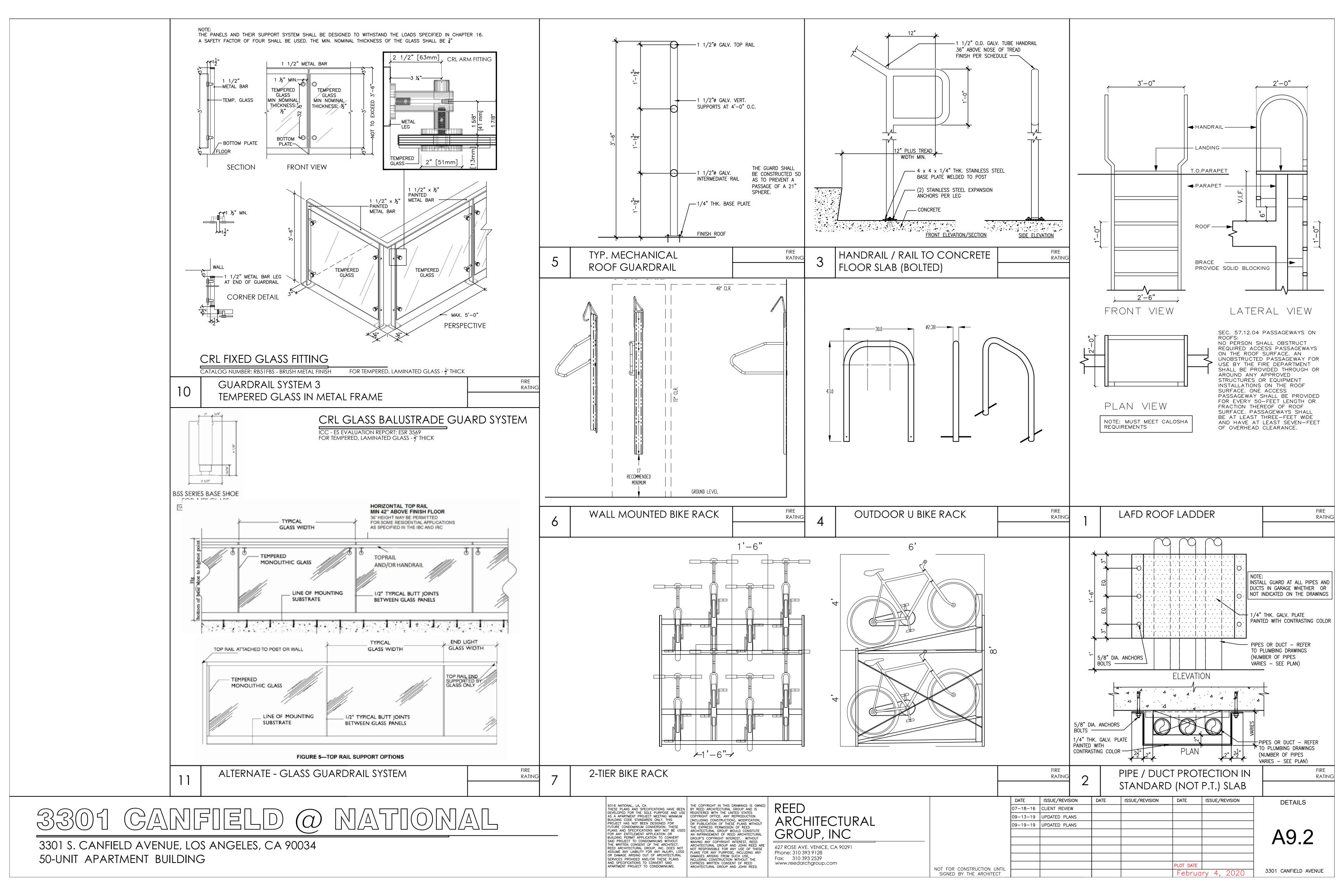
LANDSCAPE PLAN

F	7	7	1

PLOT DATE February 13, 2020

ISSUE/REVISION





TITLE INFORMATION (ORDER NO.: 00216886-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00216886-995-LBO-VE, DATED FEBRUARY 11, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

LEGAL DESCRIPTION (ORDER NO.: 00216886-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 127 OF TRACT 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA. AS PER MAP IN BOOK 18 PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

APN: 4311-024-013

TITLE EXCEPTIONS (ORDER NO.: 00216886-995-LBO-VE):

THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC
- $\langle 3 \rangle$ A EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES OVER THE REAR OF SAID LAND AS CONDEMNED BY FINAL DECREE OF CONDEMNATION ENTERED IN CASE NO. 590389, SUPERIOR COURT, A CERTIFIED COPY THEREOF BEING RECORDED

RECORDING NO.: BOOK 38409, PAGE 4, OFFICIAL RECORDS

- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- 5. DELETED.

RECORDS.

- 6. DELETED.
- PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY.

IN ORDER TO CLOSE THIS PENDING TRANSACTION, WE WILL NEED THE FOLLOWING INFORMATION:

- COMPLETION OF THE ATTACHED OWNER'S DECLARATION COMPLETED ESCROW OWNER INFORMATION SHEET
- A STATEMENT FROM ESCROW PROVIDING THE COMPLETE NAME OF THE ACCOUNT THAT PROCEEDS ARE GOING TO.

THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS AND/OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION.

COMMENTS

<u></u>	
DATE OF SURVEY	MARCH, 2019
BOUNDARY LINES	WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.
(#)	INDICATES EXCEPTION SHOWN HEREON.
SITE ADDRESS	9316 & 9324 NATIONAL BLVD., LOS ANGELES, CA 3301 & 3305 SOUTH CANFIELD AVE., LOS AGELES, CA
A.P.N'S	4311-024-013, 4311-024-015, 4311-024-030, 4311-024-031
BASIS OF BEARINGS	THE BEARING OF S 88° 46' W ALONG THE CENTERLINE OF NATIONAL BOULEVARD AS SHOWN ON TRACT NO. 625, BOOK 18, PAGE 125 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.
BENCH MARK	CITY OF LOS ANGELES BM # 13-27285: WIRE SPK S CURB NATIONAL BLVD; 4.4 FT E OF BC RET E OF BAGLEY AVE ELEVATION = 125.670 '; NAVD 1988; RECORDED 1985, ADJ. 2000
LAND AREA	22,462 SQ. FT. / 0.516 ACRES MORE OR LESS
FLOOD INSURANCE RATE MAP	THE PROPERTIES ARE ALL LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 06037C1595G, PANEL 1595 OF 2350, DATED DECEMBER 21, 2018. ZONE "X" IS DEFINED AS THE AREA OF MINIMAL FLOOD HAZARD.
UTILITIES	LOCATIONS OF UTILITIES SHOWN ON THIS MAP WERE OBTAINED FROM OBSERVED EVIDENCE DURING A FIELD SURVEY, THEY ARE FOR INFORMATION ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.
PUBLIC ACCESS	NATIONAL BOULEVARD AND CANFIELD AVENUE

THIS SURVEY (MAP) CONTAINS INFORMATION THAT IS PROPRIETARY TO DAVID EVANS AND ASSOCIATES, INC. ITS USE OR DISCLOSURE IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVID EVANS AND ASSOCIATES, INC. IS PROHIBITED.

THIS SURVEY (MAP) IS ALSO AN UNPUBLISHED WORK PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. IF THIS WORK BECOMES PUBLISHED, THE FOLLOWING NOTICE SHALL APPLY:

> Copyright © 2019 David Evans and Associates Inc. All rights reserved

B

TITLE INFORMATION (ORDER NO.: 00209653-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURAN NO.: 00209653-995-LBO-VE, DATED JANUARY 11, 2019, AMENDED: JANUARY 22, 2019, AMENDEME PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTR COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYO

LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS A STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 125 OF MAPS, IN THE OFFIC COUNTY RECORDER OF SAID COUNTY, LYING NORTHWESTERLY OF A LINE DRAWN PARALLEL SOUTHWESTERLY LINE OF SAID LOT AND THE NORTHEASTERLY PROLONGATION THEREOF FRO IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTERLY 61.50 FEET FROM THE SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID LOT.

EXCEPT ALL CRUDE OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDERED SUBSTANC OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SI SAID LAND, BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF SAID LAND AS CONVEYE MILDRED JAKES OSBURNE, AN UNMARRIED WOMAN IN DEED RECORDED JULY 29, 1980 AS INST 80-719597.

EXCEPT ALL RIGHT, TITLE AND INTEREST IN AND TO CRUDE OIL PETROLEUM, GAS, BREA, ASPH ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A FEET FROM THE SURFACE OF SAID LAND. BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFAC LAND AS GRANTED BY DEED RECORDED FEBRUARY 26, 1986 AS INSTRUMENT NO. 86-250442.

APN: 4311-024-015

TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):

- PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMEN COLLECTED WITH TAXES, ARE AS FOLLOWS:
 - CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-015 FISCAL YEAR: 2018-2019 1ST INSTALLMENT: \$1.755.31 PAID 2ND INSTALLMENT: \$1,755.30 OPEN EXEMPTION: \$0.00 LAND: \$189,764.00 IMPROVEMENTS: \$77,677.00 PERSONAL PROPERTY: \$0.00
- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF AN PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAME SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION O PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PL RECORDS.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERET(FORTH IN A DOCUMENT:

PURPOSE:	PUBLIC UTILITIES AND INCIDENTAL PURPOSES
RECORDING NO .:	BOOK 27302, PAGE 297, OFFICIAL RECORDS
AFFECTS:	WESTERLY 3 FEET OF SAID LAND

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW

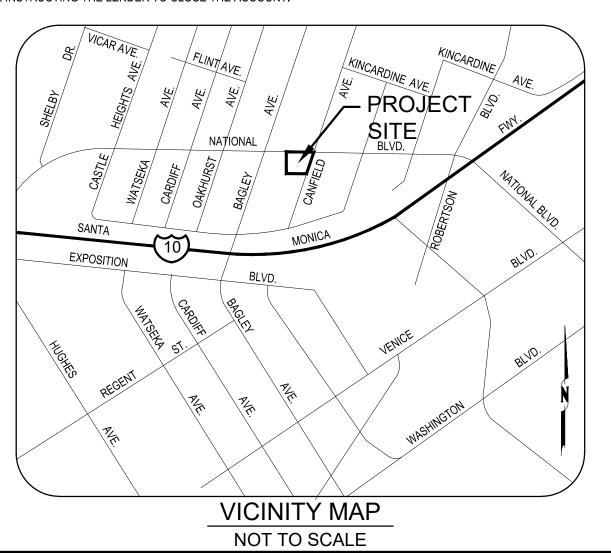
AMOUNT:	\$350,000.00
DATED:	JUNE 6, 2007
TRUSTOR/GRANTOR:	MARTIN LAX
TRUSTEE:	PRLAP INC
BENEFICIARY:	BANK OF AME
LOAN NO.:	682490166410
RECORDING DATE:	JULY 10, 2007
RECORDING NO:	1635709, OFF

ERICA 099 FICIAL RECORDS THE DEED OF TRUST SET FORTH ABOVE IS PURPORTED TO BE A "CREDIT LINE" DEED OF TRUST.

UNDER CALIFORNIA CIVIL CODE SECTION 2943.1 IT IS A REQUIREMENT THAT THE TRUSTOR/GRANTOR OF SAID DEED OF TRUST EITHER IMMEDIATELY PROVIDE THE BENEFICIARY WITH THE "BORROWER'S INSTRUCTION TO SUSPEND AND CLOSE EQUITY LINE OF CREDIT" OR PROVIDE A SATISFACTORY SUBORDINATION OF THIS DEED OF TRUST TO THE PROPOSED DEED OF TRUST TO BE RECORDED AT CLOSING.

IF THE ABOVE CREDIT LINE IS BEING PAID OFF, THIS COMPANY WILL REQUIRE THAT ESCROW OBTAIN WRITTEN CONFIRMATION FROM THE CURRENT BENEFICIARY THAT THE ACCOUNT HAS BEEN FROZEN PRIOR TO RECORDING. FAILURE TO DO SO WILL RESULT IN THIS COMPANY HOLDING FUNDS AT THE CLOSE OF ESCROW UNTIL SUCH CONFIRMATION IS OBTAINED FROM THE BENEFICIARY.

THIS MORTGAGE APPEARS TO BE AN EQUITY LINE MORTGAGE. A FULL SATISFACTION OF SAME MUST BE OBTAINED AND ALL CREDIT CARDS AND/OR THE BALANCE OF VERIFIED UNUSED ACCOUNT CHECKS MUST BE SENT TO THE LENDER TOGETHER WITH A 'CANCELLATION OF EQUITY LINE AFFIDAVIT' FROM THE MORTGAGE INSTRUCTING THE LENDER TO CLOSE THE ACCOUNT.



DESIGN SURVEY

	$C \square \square$	′ [⊥] D		
	TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):		E INFORMATION (ORDE	R NO.: 00209992-995-LBO-VE):
ANCE, ORDER MENT NO. 1 AS NTENT, YOR.	THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00209992-995-LBO-VE, DATED DECEMBER 18, 2019, AMENDED: JANUARY 4, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.	00201 NO R	14773-995-LBO-VE, DATED JA	I HEREON IS PER THE ALTA COMMIT NUARY 11, 2019, AS PROVIDED BY F T, COMPLETENESS OR ACCURACY C
	LEGAL DESCRIPTION (ORDER NO.: 00209992-995-LBO-VE):	LEG	AL DESCRIPTION (ORDE	ER NO.: 00209653-995-LBO-VE):
TY OF LOS	THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:			I BELOW IS SITUATED IN THE CITY O A, AND IS DESCRIBED AS FOLLOWS:
DS ANGELES, FICE OF THE EL WITH THE FROM A POINT	LOT 128 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	STAT COUN	E OF CALIFORNIA, AS PER N NTY RECORDER OF SAID CC	RACT NO. 625, IN THE CITY OF LOS A IAP RECORDED IN BOOK 18, PAGE 1: UNTY, LYING SOUTHEASTERLY OF A .OT, AND THE NORTHEASTERLY PRC
HE MOST	EXCEPT THE EASTERLY 31 FEET OF THE SOUTHERLY 61.5 FEET OF SAID LOT.			F SAID LOT, DISTANT NORTHWESTE DT TO THE EASTERLY LINE OF SAID I
NCES AND E SURFACE OF	APN: 4311-024-030		SOUTHERLY 61.5 FEET OF L	OT 128 OF SAID TRACT 625.
SYED TO NSTRUMENT NO.	TITLE EXCEPTIONS (ORDER NO.: 00209992-995-LBO-VE):	APN:	4311-024-031	
	 PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020 	<u>TITL</u>	E EXCEPTIONS (ORDEF	RNO.: 00209653-995-LBO-VE):
SPHALTUM AND A DEPTH OF 500 FACE OF SAID	2. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:	1.		HARE A LIEN NOT YET DUE AND PAY TO BE LEVIED FOR THE FISCAL YEA
	CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-030 FISCAL YEAR: 2018-2019 1ST INSTALLMENT: \$2,758.56 PAID	2.	COLLECTED WITH TAXES	
ASSESSMENTS	2ND INSTALLMENT: \$2,758.55 OPEN EXEMPTION: \$0.00 LAND: \$319,518.00		CODE AREA: TAX IDENTIFICATION NO.: 1ST INSTALLMENT:	\$1,220.38 PAID
MENTS	IMPROVEMENTS: \$121,909.00 PERSONAL PROPERTY: \$0.00		2ND INSTALLMENT: EXEMPTION:	\$1,220.37 OPEN \$0.00
VIENTS	3. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN	LAND): \$18 IMPROVEMENTS: PERSONAL PROPERTY:	7,468.00 \$1,464.00 \$0.00
	SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.	3.	PURSUANT TO THE PROV CHAPTER 3, ARTICLES 3 A	TAL OR ESCAPED ASSESSMENTS OF ISIONS OF CHAPTER 3.5 (COMMENCI ND 4, RESPECTIVELY, OF THE REVE A RESULT OF THE TRANSFER OF TI
	NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.			SULT OF CHANGES IN OWNERSHIP C
ANY, MADE DR PART 2,	4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.			NTALS (IF ANY) ARE NOT POSTED PF IABILITY FOR PAYMENT THEREOF.
DDE OF THE MED IN N OCCURRING	5. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, OF DEPENDED DESTRICT OF DEPENDENT OF DEPENDENT OF DESTRICTION	4.	WATER RIGHTS, CLAIMS (RECORDS.	DR TITLE TO WATER, WHETHER OR N
CLOSING, THIS	GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT	<u>(5.</u>)	FORTH IN A DOCUMENT: PURPOSE:	JRPOSE(S) SHOWN BELOW AND RIG PUBLIC UTILITIES
PUBLIC	RECORDING NO: BOOK 5108, PAGE 139, DEEDS SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF A FIRST MORTGAGE OR		RECORDING NO.: AFFECTS:	BOOK 26457, PAGE 266, OFFICIAL THE WESTERLY 5 FEET OF SAID
ETO AS SET	FIRST DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.		NO REPRESENTATION IS	MADE AS TO THE PRESENT OWNERS
	AND RECORDING NO.: BOOK 5505, PAGE 130, DEEDSA DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW,		THE RECORDED DOCUME	MENT IS PLOTTED HEREON PER TIT
	AMOUNT: \$328,500.00 DATED: APRIL 12, 2018 TRUSTOR/GRANTOR: ANDREAS MOLINA, A MARRIED MAN, AS HIS SOLE AND SEPARATE PROPERTY TRUSTEE: OLIVIA TODD	6.	HEREON FOR CONFIRMAT	TON. D COVENANT AND AGREEMENT
	BENEFICIARY: U.S. BANK NATIONAL ASSOCIATION LOAN NO.: NONE SHOWN			EDWARD SHAPIRO AND HERTA S

RECORDING DATE: APRIL 16, 2018 RECORDING NO: 2018-363444, OFFICIAL RECORDS

DESCRIPTION DATE ΒY NO. REVISIONS

IN FAVOR OF:

RECORDING NO .:

EXECUTED BY:

RECORDING DATE:

RECORDING NO .:

EXECUTED BY:

IN FAVOR OF:

RECORDING DATE:

RECORDING NO :

IN FAVOR OF:

CITY OF LOS ANGELES

CITY OF LOS ANGELES

SARMAN CHANNEL ISLAND LTD I

CITY OF LOS ANGELES OCTOBER 9, 1990

OCTOBER 9, 1990

UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

7. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT



TITLE EXCEPTIONS (CONTINUED): MITMENT FOR TITLE INSURANCE, ORDER NO.: 9. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT Y FIDELITY NATIONAL TITLE INSURANCE COMPANY. Y OF SAID REPORT IS ASSUMED BY THIS MAP OR EXECUTED BY: SARMAN CHANNEL ISLAND LTD I IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: OCTOBER 9, 1990 RECORDING NO .: 1990-1714755, OFFICIAL RECORDS Y OF LOS ANGELES, COUNTY OF LOS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. ANGELES, COUNTY OF LOS ANGELES. 125 OF MAPS. IN THE OFFICE OF THE THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE F A LINE DRAWN PARALLEL WITH THE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT PROLONGATION THEREOF, FROM A POINT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION. TERLY 61.50 FEET FROM THE MOST ID LOT, AND THE EASTERLY 31 FEET OF 10. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT EXECUTED BY: SARMAN CHANNEL ISLAND LTD I (CALIFORNIA PARTNERSHIP) CITY OF LOS ANGELES IN FAVOR OF: OCTOBER 12, 1990 RECORDING DATE: RECORDING NO .: 1990-1742585, OFFICIAL RECORDS PAYABLE, INCLUDING ANY ASSESSMENTS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN EAR 2019-2020 REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. TAXES AND ANY ASSESSMENTS THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION. 18-2019 11. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PURPOSE(S): PUBLIC STREET RECORDING DATE: OCTOBER 24, 1990 RECORDING NO .: 1990-1801610, OFFICIAL RECORDS THE NORTHERLY 3 FEET OF LOT 128 AFFECTS: SAID EASEMENT WAS ACCEPTED FOR PUBLIC USE BY A RESOLUTION: S OF PROPERTY TAXES, IF ANY, MADE ENCING WITH SECTION 75) OR PART 2, RECORDING DATE: OCTOBER 29, 1991 RECORDING NO.: 1991-1708866, OFFICIAL RECORDS EVENUE AND TAXATION CODE OF THE F TITLE TO THE VESTEE NAMED IN SURVEYOR'S NOTE: THIS ITEM WIDENED PORTIONS OF NATIONAL BOULEVARD AND CANFIELD P OR NEW CONSTRUCTION OCCURRING AVENUE, AND IS SHOWN BY THE RIGHT OF WAY WIDTH CHANGES HEREON. 12. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT D PRIOR TO THE DATE OF CLOSING, THIS EXECUTED BY: SARMAN CHANNEL ISLAND LTD. I JAMES E. MANN, GENERAL PARTNER IN FAVOR OF: CITY OF LOS ANGELES R NOT DISCLOSED BY THE PUBLIC RECORDING DATE: DECEMBER 11, 1991 RECORDING NO .: 1991-1947204, OFFICIAL RECORDS **RIGHTS INCIDENTAL THERETO AS SET** WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. CIAL RECORDS THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE D LAND OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION. ERSHIP OF SAID EASEMENT 13. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, TITLE REPORT DESCRIPTION, HOWEVER BLE TO SURVEYOR AS OF THE DATE AMOUNT: \$115,650.00 DATED: MARCH 23, 1995 TRUSTOR/GRANTOR: AARON LAX AND MYRA SHIRLEY LAX VERDUGO SERVICE CORPORATION, A CALIFORNIA CORPORATION TRUSTEE: EDWARD SHAPIRO AND HERTA SHAPIRO GLENDALE FEDERAL BANK, FEDERAL SAVINGS BANK BENEFICIARY: LOAN NO.: 7326287 BOOK 56037, PAGE 4, OFFICIAL RECORDS RECORDING DATE: MARCH 29, 1995 RECORDING NO: 1995-445465, OFFICIAL RECORDS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT EXECUTED BY: MYRA SHIRLEY LAX AND GLENDALE FEDERAL BANK, FEDERAL SAVINGS BANK JULY 8, 1998 RECORDING DATE: 1998-1145175, OFFICIAL RECORDS **RECORDING NO.:** SARMAN CHANNEL ISLAND LTD I 1990-1714752, OFFICIAL RECORDS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

1990-1714754, OFFICIAL RECORDS WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT



ADDINIOSISI D OT OTE 250	
SPRINGFIELD CT STE 350	
CLARITA, CA 91355	
84-7400	PROJECT NO:
	OAKM000

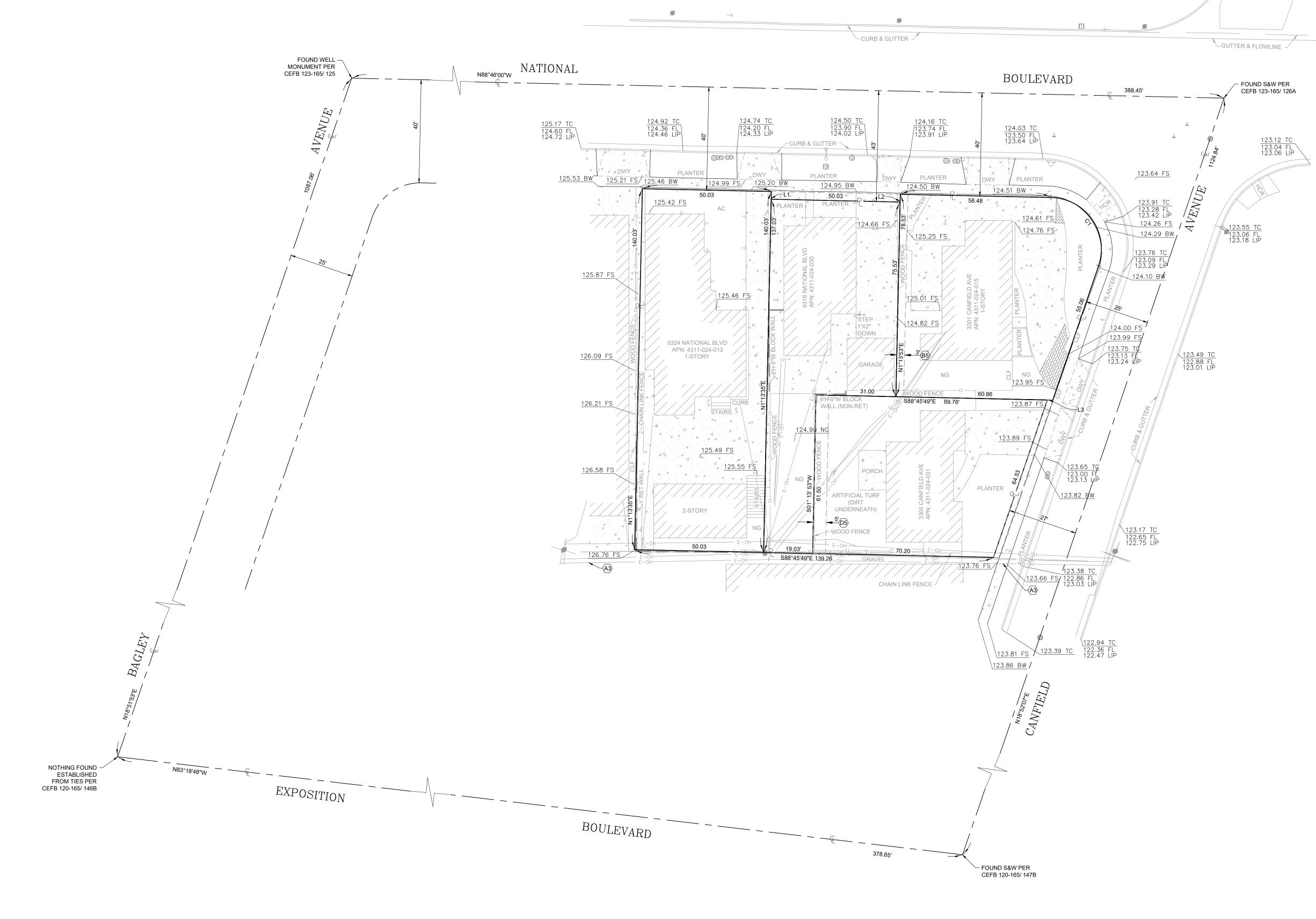
DAVID EVANS AND ASSOCIATES INC.

PREPARED FOR: 004009 RAWN BY; BAH CHECKED BY: RW

LOS ANGELES, CA **OAKMONT PROPERTIES** 640 S. SAN VINCENTE BLVD., STE 350 LOS ANGELES, CA 90048

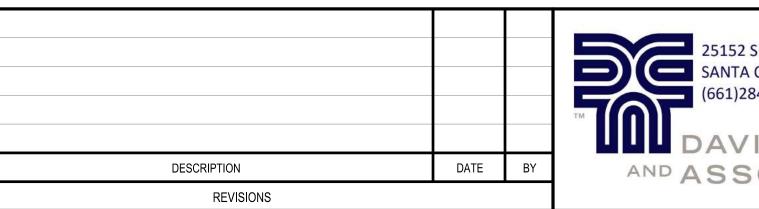
CANFIELD AVENUE & NATIONAL BOULEVARD

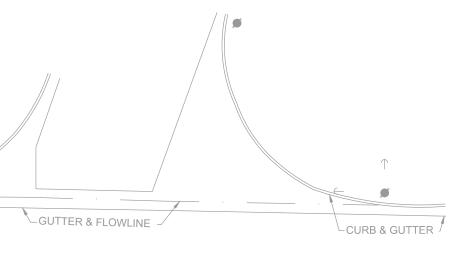
SCALE 1'=20" 04/05/2019 SHT NO .: 1 of 2



NO.

DESIGN SURVEY





			I	
20	10	0	20	40

SCALE: 1" = 20'

ABBREVI	ATIONS
AC	ASPHALT
BW	BACK OF WALK
CEFB	CITY ENGINEER'S FIELDBOOK
CL	CENTERLINE
CONC	CONCRETE
CLF	CHAIN LINK FENCE
DWY	DRIVE WAY
E/ ELEC	ELECTRICAL
FS	FINISHED SURFACE
PL	PROPERTY LINE
S&W	SPIKE & WASHER
тс	TOP OF CURB

SYMBOL LEGEND

SYMBOL DENOTES

E	ELECTRIC BOX
۲	ELECTRIC-UTILITY POLE

- ℃ FIRE HYDRANT
- GAS METER G
- GAS VALVE
- GUY WIRE
- (S)SEWER MANHOLE
- SIGN
- STREET LIGHT
- TRAFFIC SIGNAL BOX (T)
- WATER METER (W)
- WATER VALVE

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	3.00	S01° 13' 44"W
L2	3.00	N01° 13' 53"E
L3	2.10	N88° 45' 49"W

	CURVE	TABLE	
CURVE #	LENGTH	RADIUS	DELTA
C1	37.57	20.00	107°38'07"

	CAN	NFIELD AVEUNE & NATIONAL BOULEVA	١RD
52 SPRINGFIELD CT STE 350 TA CLARITA, CA 91355		LOS ANGELES, CA	
VID EVANS SOCIATES INC.	PROJECT NO: OAKM00004009 DRAWN BY; BAH CHECKED BY: RW	OAKMONT PROPERTIES 640 S. SAN VINCENTE BLVD., STE 350 LOS ANGELES, CA 90048	SCALE: 1"=20' DATE: 04/05/2019 SHT NO.: 2 OF 2





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

South Robertson **Neighborhoods Council**

PO Box 35836 Los Angeles, CA 90035

(310) 295-9920 P:

(310) 295-9906 E:

E: info@soronc.org

soronc.org



City of Los Angeles Certified Neighborhood Council

Motion to support 6-home Small Lot at 1951 S Preuss Rd To be filled in by Exec Committee

Agenda Item:

Date:

June 18, 2020

Proposed By: Land Use Committee

Include motion in No **Consent Agenda?**

Background

The project applicant and representative presented this proposed 6-home small lot subdivision to the Land Use Committee at their March 05, 2020 meeting. The applicant's entitlement request is for a tentative tract map to subdivide the existing property at 1951 S Preuss Rd into 6 smaller lots to build 6 separate homes per the City's small lot subdivision ordinance.ⁱ

The property is located south of Sawyer St, north of Guthrie Ave, and one street west of Robertson Blvd. The neighborhood is a mix of 2-story apartment buildings, smaller multi-unit buildings, duplexes, and single-family homes. The adjacent properties consist of a single-family dwelling the north and a duplex to the south. The property shares a rear alley with the R3 properties along Robertson Blvd. The proposed homes are 4 stories at 44 feet tall. Each home includes an attached 2-car garage. The front 5 homes' vehicular access is off of Preuss, while the rear home's garage access is off of the alley.

The applicant noticed residents within 500 feet of the property for the LUED meeting. One neighbor attended the meeting and inquired about the status of the current tenants of the buildings slated to be demolished.

Proposed Motion

Submit a letter in support of the project to City Planner Sergio Ibarra (sergio.ibarra@lacity.org) to be included in case file for the small lot subdivision project at 1951-1953 S Preuss Rd; VTT-82683-SL.

Considerations

Committee review: (highly recommended)	Votes For:	8	Against: 0
Arguments for:		Arguments ag	ainst:
Proposed project adds 4 homes housing supply. $(6 - 2 = 4)$	s to the	2 existing units	will be demolished.
The RD1.5 zone is a transitiona between the R3 zone on Robert the RD2 zone one street east.	•	The new home surrounding bu	s will be taller than the ildings.



0 0 6

ⁱ Supporting Documents/Drawings: https://www.dropbox.com/sh/1frwxxpdyt7zes5/AADE7M1ICImPlsUWvdg70PCFa?dl= 0





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Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

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E: info@soronc.org

soronc.org



City of Los Angeles Certified Neighborhood Council Sergio Ibarra Department of City Planning 200 N. Spring Street Los Angeles, CA 90012

19 June 2020

Re: Case Number VTT-82683-SL

Dear Mr. Ibarra:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed 6-home small lot subdivision project at 1951 S Preuss Rd.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The proposed 6 homes are appropriate per the density, with the RD1.5 zone acting as a transitional zone between the R3 zone on Robertson Blvd to the west and the RD2 zone one street east. Therefore, we support the request for a Tentative Tract Map. The addition of 6 single-family homes in Los Angeles is much needed.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein President, South Robertson Neighborhoods Council

Cc: Jordan Beroukhim, Office of Council Member Herb Wesson Krystal Návar, SORO NC Land Use Committee Chair

Developer Guidelines

Requested SORO NC Land Use Committee meeting date	Thursday, March 5, 2020
Project information	
Planning case number	VTT82683
Project address	1951-1953 S. PREUSS ROAD LOS ANGELES, 90034
Contact information	
Information for	Owner
Name	MIKE LAVAEI
Address	643 S, OLIVE ST., #1000 LOS ANGELES, CA, 90014
Phone number	(213) 612-0000
Email	mike@atlantic777.com
Representative of the	Owner
Representative name	HARVEY GOODMAN
Address	834 17TH ST., #5 SANTA MONICA, CA, 90403
Phone number	(310) 829-1037
Email	sheri@harveygoodman.com
Project background	

1. Description of what is being requested of this Committee that is not "by right" VTT-82683 proposed 6 lot small lot subdivision with ownership parking spaces provided on each individual lot

2. Description	of project
----------------	------------

a. Size of property	11272
b. Size of proposed building(s)	2050
Proposed project is	within allowable "by right" size
3. Proposed use of property	6 lot small lot subdivision Property is zoned RD1.5-1
4. Describe the community benefit from your proposed use of the property	Provides more housing units on the site and is consistent with all zoning requirements for small lot subdivisions
5. Parking spaces	
a. Currently on property	4
b. Required by code	4
c. Breakdown of the actual spaces	
Standard spaces	2
Compact spaces	2
Handicap spaces	0
6. Trash enclosure and loading dock	
a. Trash enclosure	Νο
b. Loading dock	Νο
Additional notes on trash and loading	trash enclosures will be in individual garages
7. Have you provided any additional amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community?	landscaping and open space as required by code.

8. Outreach

For discretionary approval, SORO requires, *prior* to this meeting, your notification of neighbors within a 500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

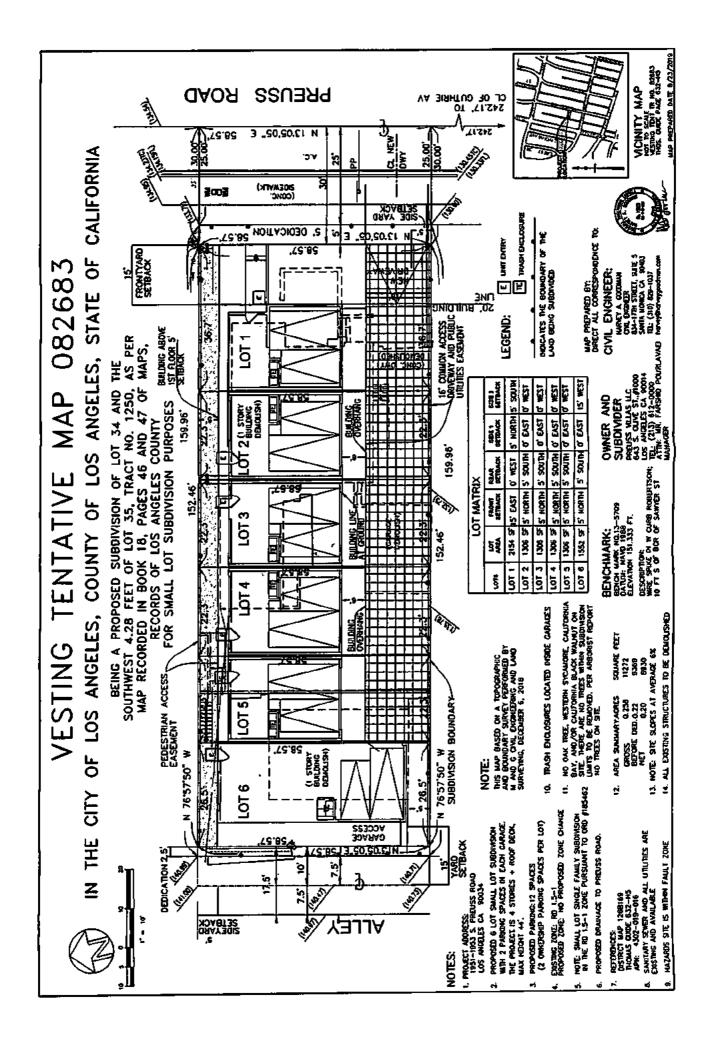
9. Name and ID of all environmental or planning documents prepared to support this project. Click the + sign to add more lines.

N a m e	ID	Link (if availab le)
E A	EAF- 2019-	2

F	5697-	
	EAF	

10. Additional comments

This proposed project is consistent with all zoning code requirements and requirements of the small lot subdivision. We are not asking for any variances.



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number	···	
Env. Case Number		
Application Type		
Case Filed With (Print Name)		Date Filed
Application includes letter rec	uesting:	
Waived hearing	Concurrent hearing Related Case Number	Hearing not be scheduted on a specific date (e.g. vacation hold)

Provide all information requested. Missing, incomplete or inconsistent information will cause delays. All terms in this document are applicable to the singular as well as the plural forms of such terms. Detailed filing instructions are found on form CP-7810

	•••••••••	
	Street Address* 1951-1953 S. Preuss Road	Unit/Space Number
	Legal Description ² (Lot, Block, Tract) Lot 34 & SW 4.28 feet	of Lot 35, Tract No. 1250, M.B. 18, Pgs. 46 & 47
	Assessor Parcel Number 4302-019-016	Total Lot Area 9369 sq. ft.
2.	Project Description	
	Present Use 2 unit residential	
	Proposed Use 6 lot small lot subdivision	
	Project Name (if applicable)	
	Describe in detail the characteristics, scope and/or operation of	
	VTT-82683 proposed 6 lot small lot subdivision with 2 owners	
		hip particing operate provided on electricit
	Additional information attached I YES INO	
	Additional information attached YES NO	
	Additional information attached I YES I NO Complete and check all that apply:	 Site is located within 500 feet of a freeway or railroad

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

		gs/structures gs/structures	public right New constru Accessory us Exterior reno 	ction: <u>16850</u> se (fence, sign, wirele	square feet		
	Demolition of existing building Relocation of existing building Interior tenant improvement Additions to existing buildings Grading Removal of any on-site tree Removal of any street tree	gs/structures gs/structures	New construction Accessory use Exterior renormalized Change of use	ction: <u>16850</u> se (fence, sign, wirele ovation or alteration			
	Relocation of existing building Interior tenant improvement Additions to existing buildings Grading Removal of any on-site tree Removal of any street tree	s/structures	Accessory us Exterior reno Change of us	se (fence, sign, wirele wation or alteration			
	Interior tenant improvement Additions to existing buildings Grading Removal of any on-site tree Removal of any street tree		 Exterior reno Change of us 	vation or alteration	ess, carport, etc.)		
	Additions to existing buildings Grading Removal of any on-site tree Removal of any street tree		Change of u				
0 1 1 1 1 1 1 1 1 1	Grading Removal of any on-site tree Removal of any street tree	i.	_ •	se <u>and/or</u> hours of op	Exterior renovation or alteration		
Ø	Removal of any on-site tree Removal of any street tree		Haul Route		eration		
Ø	Removal of any street tree						
Ha	·		Uses or struct	ctures in public right-c	of-way		
	ousing Component Informatio		Phased proje	ect			
Nu Mi: <u>Pu</u> Ha Is y If s	umber of Residential Units: umber of Affordable Units ⁴ umber of Market Rate Units ixed Use Projects, Amount of <u>N</u> ublic Right-of-Way Information ave you submitted the Planning your project required to dedication so, what is/are your dedication you have dedication requirement	Existing <u>2</u> – Existing <u>0</u> – Existing <u></u> <u>on-Residential</u> Floor <u>n</u> Case Referral Form te land to the public ri requirement(s)? <u>5' Pr</u>	to BOE? (required) ☑ ght-of-way? ☑ YES <u>euss</u> ft.	_ + Adding <u>0</u> _ + Adding YES □ NO □ NO	= Total <u>0</u> = Total		
	non(s) REQUESTED						
	vide the Los Angeles Municipa tion or the Specific Plan/Overla						
Doe	es the project include Multiple A	pproval Requests per	r LAMC 12.36?	YES 🗹 NO			
Aut	horizing Code Section <u>17.06</u>	, 12.22-C,27, Ordinar	nce No. 185462				
Cod	le Section from which relief i	s requested (If any):					
Acti	lon Requested, Narrative: <u>Co</u>	onstruct 6 lot small lot	<u>subdivision</u>				
Cod	horizing Code Section le Section from which relief is ion Requested, Narrative:	s requested (if any):					
Addi							

 ³ Number of units to be demolished and/or which have been demolished <u>within the last five (5) years</u>.
 ⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site?	⊠ NO
If YES, list all case number(s)	

If the <u>application/project</u> is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No.	Ordinance No.:	
Condition compliance review	Clarification of Q (Qualified) classification	
Modification of conditions Clarification of D (Development Limitations) classification		ssification
Revision of approved plans	Amendment to T (Tentative) classification	
Renewal of entitlement		
Plan Approval subsequent to Master C	onditional Use	
	alysis, is there intent to develop a larger project?	S Ø NO
Have you filed, or is there intent to file, a S	• • • • • • •	S 🗆 NO
-	other parts of the projects or the larger project below, whether or i	not currently
filed with the City:		·
VTT82683 proposed 6 lot small lot subdivis	son	
c. Citywide Urban Design Guidelines Che	ecklist	
d. Affordable Housing Referral Form		
e. Mello Form		
f. Unpermitted Dwelling Unit (UDU) Inter-	Agency Referral Form	
g. HPOZ Authorization Form		
h. Management Team Authorization		
i. Expedite Fee Agreement		
j. Department of Transportation (DOT) R		
	Case Referral Form (PCRF) 201900288	
••		
+	cupancy	
n. Hillside Referral Form		
	al Form (Storm water Mitigation)	
	ommunity Investment Department	
q. Are there any recorded Covenants, affi	davits or easements on this property?	y) EINO

5.

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant ⁶	name Preuss Villas LLC		· · · · · ·
Company/P	Firm <u>Attn: Mr. Faramarz Lavaei</u>		· · · · · · · · · · · · · · · · · · ·
Address:	643 S. Olive St.		Unit/Space Number 1000
City	Los Angeles	State <u>CA</u>	Zip Code: <u>90014</u>
Telephone	(213) 612-0000	E-mail:joseph(gatlantic777.com
Are you in e	escrow to purchase the subject property?	D YES	12 NO
•••	wner of Record II Same as applic fferent from applicant)		nt from applicant
Address			Unit/Space Number
City		State	Zip Code:
Telephone		E-mail:	
Address:			Unit/Space Number <u>5</u>
Address:	834 17th St.		Unit/Space Number <u>5</u>
City			Zip: <u>90403</u>
Telephone	(310) 829-1037	E-mail: <u>sheri@h</u>	arveygoodman.com
Name Mat	cify Architect, Engineer, CEQA Consultant		
Company/F	irm AUX Architecture	<u> </u>	
Address:	2404 Wilshire Blvd.,		
City	Los Angeles	State CA	Zip Code: <u>90057</u>
City		State CA	Zip Code: <u>90057</u>

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

A ROBERTY OWNER OF A ROBERTY OWNER

- 7. PROPERTY OWNER AFFIDAVIT. Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.
 - Ownership Disclosure. If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
 - Letter of Authorization (LOA). A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the tanguage in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
 - Grant Deed. Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond <u>exactly</u> with the ownership listed on the application.
 - Multiple Owners. If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
 - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
 - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
 - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
 - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Property Owner's signatures must be signed/notarized in the presence of a Notary Public. The City requires an original signature from the property owner with the "wet" notary stamp. A Notary Acknowledgement is available for your convenience on following page.

Signature Brief Many	Date	7/16/19
Print Name Preuse Villas, LLC; Fandul Pourlanni, Many		
Signature	Date	
Print Name		

ShacoEclowRomNontwored

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

county of Los Ange	Pe	
on 7/16/19	before me, MUNTAH NACHTAPPAN, NOT (Insert Name of Notary Public and Title)	mey Preuz
proved to me on the basis of satisfact instrument and acknowledged to me that	HD POURLANAET tory evidence to be the person(s) whose name(s) is/are subsc at he/she/they executed the same in his/her/their authorized cap strument the person(s), or the entity upon behalf on which the	acity(ies), and that

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my/hand and official seal. (Seal) Signat

MUTHIAH NACHIAPPAN COMM. # 2175823 NOTARY PUBIC-CALIFORNA U COWIT OF LOS ANGELES Y COWN. EXP. JAN. 13, 2021

APPLICAND A CARD A C

- 8. APPLICANT DECLARATION. A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
 - a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally,
 I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, alt judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized. <u>manag</u>er Date: <u>7/16/19</u> <u>d Pourlavaei</u> Manager Signature: Print Name:

FINDINGS FOR APPROVAL VTT-82683 PROPOSED 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

1Q. THE PROPOSED MAP IS CONSISTENT WITH THE APPLICABLE GENERAL AND SPECIFIC PLANS.

1A. THE SUBJECT PROPERTY IS ZONED RD1.5 AND IS LOCATED WITHIN THE WEST ADAMS – BALDWIN HILLS – LEIMERT COMMUNITY PLAN AREA. THE LAND USE ELEMENT OF THE CITY'S GENERAL PLAN, DESIGNATES THE SUBJECT PROPERTY FOR LOW MEDIUM II RESIDENTIAL LAND USES WITH THE CORRESPONDING ZONES OF RD2, RW2 AND RZ2.5. AS SUCH, THE COMMUNITY PLAN ALLOWS FOR THE PROPOSED SUBDIVISION AND USE OF THE SUBJECT PROPERTY.

CURRENTLY, THE SUBJECT PROPERTY IS DEVELOPED WITH 2 SINGLE FAMILY HOUSES. THE PROPOSED PROJECT INVOLVES A SMALL LOT SUBDIVISION TO AUTHORIZE THE SUBDIVISION OF THE EXISTING LOT INTO SIX SMALL LOTS IN CONJUNCTION WITH THE DEMOLITION OF THE EXISTING STRUCTURES ON SITE AND CONSTRUCTION OF SIX SINGLE -FAMILY DWELLINGS WITH TWO PARKING SPACES ON EACH PROPOSED SMALL LOT. THE LOT SIZES WILL RANGE FROM 1306 TO 2154 SQUARE FEET, WHICH EXCEEDS THE MINIMUM LOT SIZE OF 600 SQUARE FEET REQUIRED BY THE SMALL LOT SUBDIVISION ORDINANCE. ADDITIONALLY, THE LOT WIDTHS WILL BE AT LEAST 22.3 FEET WIDE, WHICH EXCEEDS THE MINIMUM LOT WIDTH OF 18 FEET BY THE SMALL LOT SUBDIVISION ORDINANCE. THE LOT COVERAGE OF EACH LOT IS APPROXIMATELY 60 PERCENT WHICH IS BELOW THE MAXIMUM 75% LOT COVERAGE ALLOWED BY THE SMALL LOT SUBDIVISION ORDINANCE. THE PROPOSED PROEJCT WILL BE CONSISTENT WITH THE DENSITY REQUIREMENTS OF THE RD1.5 ZONE. THEREFORE, AS CONDITIONED, THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN.

2Q. THE DESIGN AND IMPROVEMENT OF THE PROPOSED SUBDIVISON ARE CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

2A. THE BUREAU OF ENGINEERING WILL REVIEW THE PROPOSED PROJECT AND WILL SUBMIT CONDITIONS REQUIRING ANY NECESSARY DEDICATION OF PUBLIC SANITARY SEWER EASEMENTS AND CONSTRUCTION OF ANY OFF-SITE IMPROVEMENTS INCLUDING TREE REPLACEMENT REQUIREMENTS.

MOREOVER, THE PROPOSED PROJECT WILL RESULT IN A LOT SIZE THAT MEETS THE MINIMUM LOT SIZE REQUIRED IN THE RD1.5-1 ZONE AND LOT CUT PATTERN THAT WILL BE CONSISTENT WITH THE OTHER PROPERTIES IN THE NEIGHBORHOOD. THEREFORE, THE DESIGN AND IMPROVEMENT OF THE PROPOSED SUBDIVISON WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN.

FINDINGS FOR APPROVAL, CONTINUED VTT-82683 PROPOSED 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

3Q. THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED TYPE OF DEVELOPMENT.

3A. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A LANDSLIDE AREA OR LIQUEFACTON ZONE BUT IS LOCATED WITHIN A FAULT ZONE. A GEOTECHNICAL REPORT WAS SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY GRADING DIVISON ON MAY 28, 2019, IN WHICH THE REPORT ADDRESSES APPROPRIATE SEISMIC DESIGN STANDARDS. THE PROPOSED PROJECT IS SIMILAR IN SIZE AND SCOPE TO TWO OTHER SIX LOT SMALL LOT SUBDIVISION APPLICATIONS LOCATED ON THE SAME BLOCK, VTT-82365, 1959 S. PREUSS ROAD AND VTT-82264, 1973 S. PREUSS ROAD. WE ARE NOT REQUESTING ANY VARIANCES IN CONJUNCTION WITH THE APPLICATION FOR SMALL LOT SUBDIVISION.

4Q. THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

4A. THE SURROUNDING PROPERTIES ARE ZONED RD1.5-1, RD2-1, R3-1-CPIO, C2-1VL-CPIO AND R1V2-O, THE ADJACENT LAND USES INCLUDE A MIXTURE OF SINGLE FAMILY HOMES, MULTI-FAMILY HOMES AND SOME COMMERICAL DEVELOPMENTS ALONG ROBERTSON BOULEVARD. THE SUBJECT PROPERTY IS CURRENTLY DEVELOPED WITH TWO ONE-STORY SINGLE FAMILY HOUSES, WHICH WILL BE DEMOLISHED TO ALLOW FOR A SMALL LOT SUBDIVISION OF THE EXISTING LOT INTO SIX LOTS AND THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING ON EACH PROPOSED SMALL LOT. THE PROPOSED PROJECT WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE MUNICIPAL CODE AND SMALL LOT ORDINANCE.

5Q. THE DESIGN OF THE SUBDIVISION AND PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OF SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

5A. THE APPLICANT HAS SUBMITTED AN ENVIRONMENTAL ASSESSMENT FORM AS PART OF THE SUBDIVISION APPLICATION. THE CITY WILL BE RESPONSIBLE FOR PREPARING AN INITIAL STUDY TO DETERMINE THAT NO POTENTIAL ADVERSE IMPACTS ON FISH OR WILDLIFE RESOURCES AS FAR AS PLANT LIFE OR ANIMAL LIFE ARE CONCERNED. MEASURES WILL BE REQUIRED AS PART OF THE APPROVAL WHICH WILL MITIGATE IMPACTS TO A LESS THAN SIGNIFICANT LEVEL. FURTHERMORE, THE SURROUNDING AREA IS PRESENTLY DEVELOPED WITH RESIDENTIAL STRUCTURES AND DOES NOT PROVIDE A NATURAL HABITAT FOR EITHER FISH OR WILDLIFE. THE PROPOSED PROJECT IS SIMILAR IN SIZE AND SCOPE TO TWO OTHER SIX LOT SMALL LOT SUBDIVISION APPLICATIONS LOCATED ON THE SAME BLOCK, VTT-82365, 1959 S. PREUSS ROAD AND VTT-82264, 1973 S. PREUSS ROAD. WE ARE NOT REQUESTING ANY VARIANCES IN CONJUNCTION WITH THE APPLICATION FOR SMALL LOT SUBDIVISION.

FINDINGS FOR APPROVAL, CONTINUED VTT-82683 PROPOSED 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

6Q. THE DESIGN OF THE SUBDIVISION AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

6A. THERE APPEARS TO BE NO POTENTIAL HEALTH PROBLEMS CAUSED BY THE DESIGN OR IMPROVEMENT OF THE PROPOSED PROJECT. AN EXISTING SANITARY SEWER IS AVAILABLE IN PREISS ROAD ADJOINING THE SUBDIVISION. THE PROPOSED DEVELOPMENT WILL BE REQUIRED TO BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM, WHERE THE SEWAGE WILL BE DIRECTED TO THE LOS ANGELES HYPERION TREATMENT PLANT, WHICH HAS BEEN UPGRADED TO MEET STATEWIDE OCEAN DISCHARGE STANDARDS.

7Q. THE DESIGN OF THE SUBDIVISION AND THE PROPOSED IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS ACQUIRED BY THE PUBLIC AT LARGE FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

7A. NO SUCH EASEMENTS ARE KNOWN TO EXIST. NEEDED PUBLIC ACCESS FOR ROADS AND UTILITIES, IF REQUIRED, WILL BE ACQUIRED BY THE CITY PRIOR TO RECORDATION OF THE PROPOSED TRACT MAP.





RELATED CODE SECTION: Los Angeles Municipal Code Section 12.22 C.27(a)(2) authorizes the Director of Planning's review for compliance with the Commission's Small Lot Design Standards.

GENERAL INFORMATION

New Applications - This application and full set of architectural plans as listed below shall be filed concurrently with any small lot subdivision application request (*Vesting Tentative Tract or Preliminary Parcel Map*) and along with any applicable Geographic Project Planning Referral Form (CP-7812).

Modifications to Approved Projects (Deemed Complete After April 18, 2018) - Any subsequent modifications to architectural plans found not to be in substantial compliance with the originally approved Exhibit A shall be required to file a new application for Administrative Clearance and pay all applicable fees concurrently with a building permit application for a small lot project ("Project").

Determining a Project:

For the purposes of Small Lot Administrative Clearance application, the term "Project" includes the erection or construction, reconstruction, rehabilitation, relocation, addition to, or exterior alteration of any building or structure, which require the issuance of a demolition permit, grading permit, or building permit. Projects include the preservation of existing structures in a single lot and the subdivision of land for Small Lot purposes. A Project excludes work that consists solely of interior remodeling, interior rehabilitation or repair work that does not result in alterations to the façade or change in floor area. The following are examples of building permits that are generally exempt from administrative review:

- Re-roof with no alterations to the existing roof form, roof details, eave depth, eave details, or facades of the buildings
- In-ground swimming pools where permitted by the LAMC

Desuge Milles I.I.O. Alley, Mr. Economers Louise

- Maintenance, repair, and/or rehabilitation of existing foundations
 Maintenance, repair, and/or rehabilitation of existing window and door treatments
- Mechanical equipment

Materials Sheet

Exterior lighting

Roof-mounted solar modules

1. SUBMITTAL REQUIREMENTS

Size and Number of Copies: Provide one full size and five (5) 11°x17° color copies of architectural plans containing the following:

Site Plan

Roof Plan

- Contextual and Dimensioned Floor Plans
- Renderings
 - Landscape Ptan (See Technical Requirements applicable to all landscape plans of form CP-6730)

2. APPLICANT INFORMATION

Detailed Elevations

Applicant Name Prouss vinas LLC, Aun.		
Address 643 S. Olive		Unit/Space Number 1000
City Los Angeles	State CA	Zip <u>90014</u>
Telephone (213) 612-0000	E-mail receptionist@	Patlantic777.com

3. CASE INFORMATION

Administrative Clearance Case Number	VTT082683 Tract/Parcel Map Case Number	Additional Case Number (If applicable)
RD1.5-1	RD1.5-1	Low Medium II Residential
Existing Zone	Proposed Zone (If Applicable)	General Plan Land Use Designation
Residential	6 lot small lot subdivision	_
Existing Use	Proposed Use	

4. PROJECT SUMMARY

Project Address:	<u> 1951 - 1953 s</u>	S. Preuss Road,	Los Angeles CA 90034			
Community Plan Area:	Community Plan Area: West Adams - Baldwin Hills-Leimert					
Specific Plan, DRB, CD	O, POD, NOD,	CPIO or SN, inclu	uding subarea if applicable:			
Small Lot Subdivision Ty	pe (check all 1	that apply)				
New construction	uction Small Lot Subdivision		of Existing Dwelling Unit/s**		Renovation/Addition	
** If your project involve:	s the small lot s	subdivision of exis	sting dwelling units, please descri	ibe the propo	sed alterations.	
(Please note that any nonc conforms to LAMC Section		g, structure or impro	vernents may be maintains or repaired o	r structurally alte	ered provided it	
PROJECT DETAILS						
Proposed number of lots:		6	Proposed number of small lot	homes:	6	
Maximum building height:		44'-6"	Number of stories:		4+roof deck	
Roof deck(s) proposed:		22Yes 🗆 No	Maximum building height with	railing:	44'-6"	
Total number of parking spaces provided:		10	Number of guest parking spac (if applicable):	es provided	<u>n/a</u>	
Common open space provided:		CIYes 🗹 No	Size of common open space:		n/a	

The following section shall be completed by City Planning staff at the time of filing:

6. ACCEPTANCE FOR FILING

Project Type

5.

New Construction

Change of use from apartment unit to Small Lot Home

Modification to an existing Small Lot Home that constitutes a Project

O Not a Project

Planning Signature	Phone Number	
Print Name	Date	
Receipt Number	Fee Miscellaneous sign off - Director	

A. BUILDING DESIGN

1. Dwelling Orientation

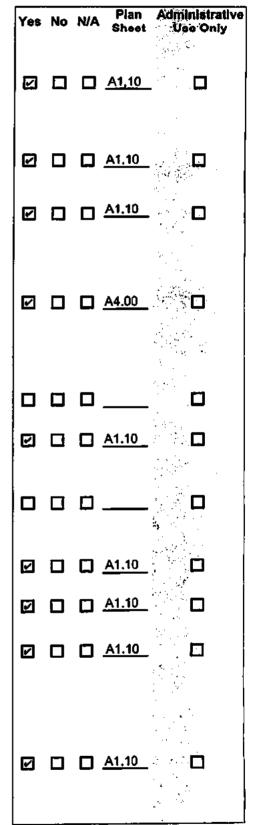
- a. Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways ("right-of-way") or private street shall orient the primary entryway ("front door") toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.
- b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.
- c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley or shall be connected to a pedestrian pathway that leads directly to a right-of-way.

2. Primary Entryways

- a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.
- b. All primary entryways shall incorporate <u>at least four of the following</u> elements:
 - i. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.
 - ii. The doorway shall be recessed at least 3 inches from the building façade.
 - iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.
 - iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.
 - v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.
 - vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.

3. Primary Entryways Between Small Lot Homes

a. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iil above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.



4. Façade Articulation

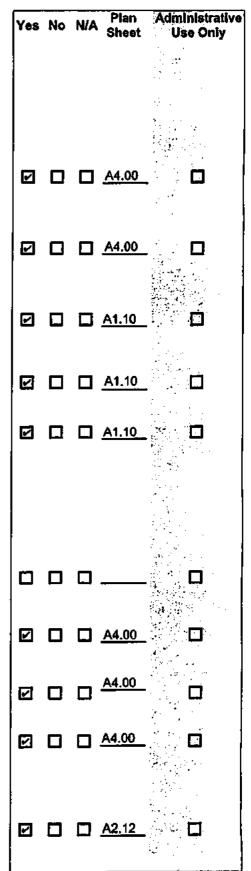
- a. Façades facing a right-of-way, the project perimeter, and all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate <u>all of the following</u> façade articulation techniques:
 - i. Change in exterior building materials to include at least two high-quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.
 - Porticos, awnings, terraces, balconies, eyebrows, or trellises of at least 6 inches in depth that provide variations in the building plane.
 - iii. Window treatments that are extruded or recessed from the building façade a minimum of 3 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.
 - iv. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the facade.
 - v. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.

5. Varied Roofline

- a. For any Small Lot Home façade fronting a right-of-way exceeding two stories in height, the roofline shall be articulated by incorporating two of the following:
 - i. A roof with a slope equal to or greater than 2 inches to 12 inches, including but not limited to a sloped or curved roofline at the top of the dwelling.
 - ii. A flat roof with a minimum of 2 feet vertical height difference for a minimum of 10 horizontal feet along the roofline of each building façade.
 - iii. A break in façade plane of a minimum of 6 inches in depth that is carried up to the roofline.
 - iv. Any form of roofline modulation such as a step back, an outdoor stairwell, or a corner balcony.

6. Roof Decks

a. All roof decks along the project perimeter and abutting residential uses shall be stepped back a minimum of 5 feet from the roof edge, so that they are oriented away from and screened to prevent direct views of abutting residential neighbors. Roof decks facing a right-of-way are not required to be stepped back.



7. Building Massing Variation

- a. Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.
- b. Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.
- c. Small Lot Homes shall be unique in design so that there is variety between Small Lot Homes within a subdivision. For a Small Lot Subdivision containing more than six Small Lot Homes in a single row, there shall be at least two variations in building design, such as changes in dwelling orientation, primary entryways, fenestration pattern, façade articulation, or varied roofline as prescribed in Subsections 1-5. For a Small Lot Subdivision of 20 or more Small Lot Homes, there shall be at least three variations in building design as stated above.

B. PEDESTRIAN CONNECTIVITY AND ACCESS

1. Pedestrian Pathways

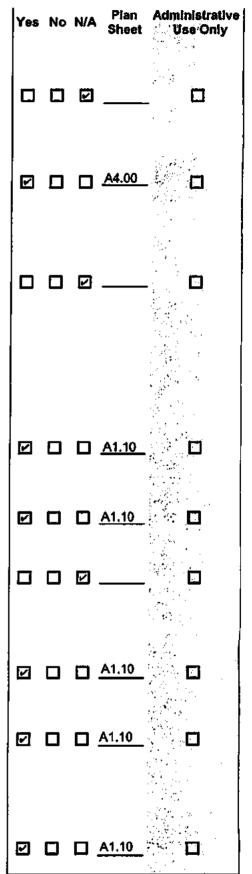
- a. Pedestrian pathways of a minimum width of 3 feet shall be provided from the right of-way to all primary entryways and common areas, such as common open space areas, guest parking, mailboxes, and centralized trash enclosures.
- b. A pedestrian pathway located within or parallel to a Common Access Driveway shall be constructed and/or treated with a change of materials, finishes, pattern, or paving that distinguishes the pathway from vehicular traffic.
- c. Small Lot Subdivisions of 20 or more Small Lot Homes shall provide pedestrian and bicycle access to surrounding neighborhood rights-of-way.

2. Fences/Walls

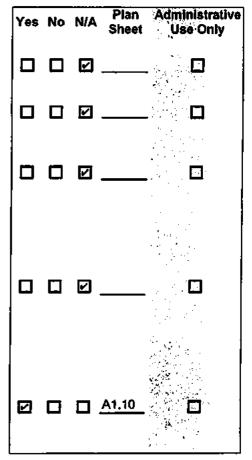
- a. Fences or walls abutting the street or common open space areas shall be decorative, including but not limited to latticework, ornamental fences, screen walls, hedges or dense shrubs or trees. Solid masonry walls along the right-of way are not permitted.
- b. Fences or walls abutting the right-of-way and within the yard shall provide a point of entry into each lot abutting the right-of-way.

C. LANDSCAPING

- 1. Landscaping, Common Open Space Areas and Amenities
 - a. All setback and open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, and common open space areas shall be attractively landscaped and maintained.



- b. Required Common Open Space Areas must:
 - i. Be open to the sky and have no structures that project into the common open space area, except as provided in Section 12.22 C.20 (b).
 - II. Be located at grade level, contiguous or connected, and readily accessible to all residents of the site.
 - iii. Have a minimum area of 300 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Driveways, parking spaces, or pedestrian pathways cannot be counted toward the open space requirement.
- c. The combination of required Common Open Space Areas shall be multifunctional and designed to accommodate a range of passive, active, or social uses, with enhancements such as landscaping, activity lawns, swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, decorative bike racks, and/or dog washing stations. Common open space areas may include enhanced side yards and rear yards that meet the minimum area and dimension requirement above.
- d. All yards of a subdivision abutting the right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patlos, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks.



D. MIXED USE SMALL LOTS

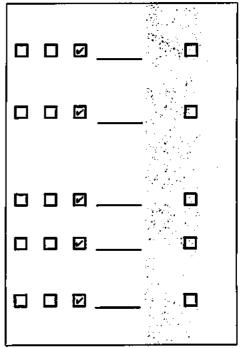
Small Lot Subdivisions may provide Small Lot Homes that contain commercial uses at the ground floor ("Mixed Use Small Lots must comply with all other applicable regulations governing the site with regards to parking, signage, access, and FAR limitations in the LAMC. The following Design Standards shall be required for any Mixed Use Small Lot Home in addition to the other Design Standards contained in this document.

1. Building Orientation and Entry

- a. Mixed Use Small Lot Homes shall be first located along the perimeter of the subdivision abutting the right-of-way.
- b. A Mixed Use Small Lot Home shall provide a separate ground floor entrance to the commercial use, or an identifiable lobby that serves both the residential and commercial uses. The commercial entrance shall be directly accessible from the right-of-way and open during the normal business hours posted by the business.

2. Building Design

- a. A Mixed Use Small Lot Home shall be designed with an identifiable ground floor commercial component.
- b. Store entrances shall be recessed, not flush, with the edge of the building facade to articulate the storefront and provide shelter for persons entering and exiting.
- c. The ground floor commercial use shall be visually separated from upper residential floors, with a façade treatment such as an awning, framing, setback, or overhang of at least 18 inches in depth, so as to distinguish the commercial base of the building.



e. Signage for the ground floor commercial use shall be located at or adjacent to the ground level, and be located no higher than 14 feet.

E. BUNGALOW COURTS AND EXISTING STRUCTURE SMALL LOTS

Existing bungalow courts and detached single, duplex, or triplex dwelling structures may be subdivided in accordance with the 2018 Small Lot Code Amendment. The conversion of an existing "Bungalow Court or Existing Structure" to a Small Lot Subdivision shall only be required to comply with the following Design Standards.

1. Common Access Driveway

of the L.A.M.C.

a. Existing Common Access Driveways, pedestrian pathways, and central common open space areas shall be maintained and not reduced in size.

2. Pedestrian Pathway

a. Pedestrian pathways of a minimum width of 3 feet shall be provided from the public rights-of-way to all primary entryways and common areas, such as centralized trash enclosures, quest parking, and open space easements. If narrower pathways exist, they may be maintained in the same footprint and area and shall not be further reduced in width.

3. Existing Structures

a. New dwelling construction or additions to a designated or identified historic structure shall be in conformance with the Secretary of the Interior's Standards for Rehabilitation.

4. New Dwellings

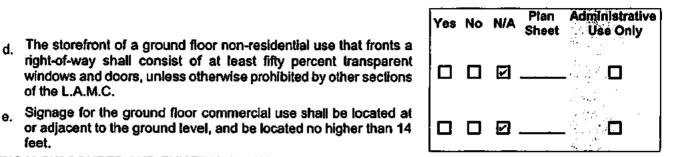
а. All new dwellings proposed in addition to a Bungalow Court or Existing Structure Small Lot project shall also meet the applicable design standards in sections A, B, and C of the Small Lot Design Standards, 5, Landscaping All open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, or amenity areas shall be attractively landscaped and maintained.

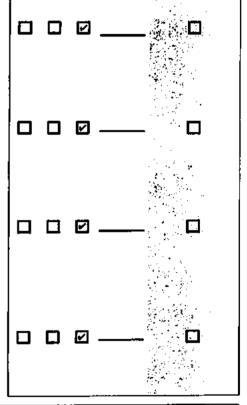
Additional Design Details

The following section shall be completed by Project Planning staff after the review and approval of submitted plans:

8. ADMINISTRATIVE CLEARANCE APPROVAL

Planning Signature	Phone Number
Print Name	Date





INSTRUCTIONS: Administrative Clearance – SLD

- 1. Submittal Applicants are required to submit a completed Administrative Clearance Application, including the project summary and checklist, at the time of Administrative Clearance filing.
- 2. Review Materials Review of the application by an assigned project planner will verify if the project meets the requirements of the Small Lot Design Standards.
- 3. Timing of Review The Administrative Clearance shall be completed prior to the scheduling of any required hearing for a proposed small lot subdivision map. In cases where a hearing has been waived, this review shall be completed prior to the issuance of the subdivision determination.
- 4. Relief The Administrative Clearance does not provide any relief mechanisms for project applicants. Applicants are required to demonstrate compliance with all applicable design standards.
- 5. Appeal Rights The Administrative Clearance process is non-appealable.

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- 6. Conditions of Approval As a condition of approval, all small lot subdivisions, including Vesting Tentative Tract Maps and Preliminary Parcel Maps, shall be required to conform to the plans approved during the Administrative Clearance review process. These plans shall be stamped Exhibit A and included in the related subdivision map case file.
- 7. Building Permit Clearance Following the entitlement approval of a small lot subdivision map, subsequent building permit applications for the new construction of said map's small lot homes shall be in substantial conformance with the most recently approved set of plans.
- 8. Other Applicable Approvals Applicants are strongly advised to consult with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.
- 9. Modifications to Projects Deemed Complete after April 18, 2018 if a project's architectural plans are modified subsequent to the initial approval of the project and determined by the Department of City Planning to no longer be in substantial compliance with Exhibit A, the applicant shall file a new application for Administrative Clearance and pay all applicable fees.
- 10. Exceptions The following projects are not required to file an Administrative Clearance pursuant to L.A.M.C. Section 12.22 C.27(c):
 - a. Any small lot subdivision entitlement application filed, accepted and deemed complete prior to April 18, 2018, as determined by the Department of City Planning.
 - b. Any project for which the City has approved a small lot subdivision discretionary land use entitlement as of April 18, 2018, but that has not yet submitted plans and appropriate fees to the Department of Building and Safety for plan check, as determined by the Department of City Planning.

City of Los Angeles Department of City Planning website: http://planning.lacity.org



REFERRAL FORMS

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- 19 - C9 -GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, must accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
- Community Design Overlays (CDO)
- Neighborhood Oriented District (NOD)
- Sign District (SN)
- Zone Change

- Design Review Board (DRB)
- Pedestrian Oriented District (POD)
- Community Plan Implementation Ordinance (CPIO)
- Public Benefit Alternative Compliance
- Zone Variance

NOTE: The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the date of the Project Planning Signature, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

PROJECT SUMMARY

- 1. Subject Property Address: 1951-1953 S. Preuss Road, Los Angeles CA 90034
- 2. Community Plan Area Name: West Adams-Baldwin Hills-Leimert
 - a. Specific Plan Name, DRB, CDO, POD, NOD, CPIO, or SN, including subarea if applicable: (if this is a Density bonus, Small Lot Subdivision or Zone Variance case, please write in the application type).

VTT-82683-SL proposed 6 lot small lot subdivision

3. Project Type (check all that apply)

New construction	CI Addition	C Renovation	🗇 Sign	
Change of Use	Grading	Density Bonus	•	
Other (describe)				<u> </u>
If Change of Use, what I Existing Use?		Proposed	Use?	
Description of proposed 6 lot small lot subdivision			82683 to permit construction of	
lie	ms 4-7 to be comp	leted by Department of (City Planning Staff Only	
AUTHORIZATION TO F				
Specific Plan/SN				
🗇 Project Permit			Adjustment	
O Minor (3 signs (or less OR change	of use)	C Exception	

- is UK change of use)
- O Standard (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment
- O Major (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.
- Modification

Amendment

Interpretation

Not a Project

Other

Design Review Board

O Preliminary Review

Final Review

CDO/POD/NOD

Discretionary Action	Sign-off only	
O Minor (3 signs or less OR change of use)		
O Standard (Remodel or renovation in which additions are no	Not a Project	
greater than 200 sq. ft. more than 3 signs, wireless equipment		
O Major (All other projects, e.g. new buildings, remodels that		
include an addition of more than 200 sq. ft.		

Community Plan implementation Overlay (CPIO)

Administrative Clearance (Multiple Approvals)	CPIO Adjustment (CPIOA)	CPIO Exception (CPIOE)
Potentially Historic Resource		

Affordable Housing

 Density Bonus Affordable Housing Referral Form O Off-menu incentives requested 	 Conditional Use >35% Public Benefit
Small Lot Subdivision	

٥	Consul	tation	compl	et	eđ
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Streetscape Plan

Consultation completed Not a Project or N/A under Streetscape Plan:

Environmental Assessment Form (EAF)

Other Entitlements needed

5. ENVIRONMENTAL CLEARANCE

Not Determined	
----------------	--

- Categorical Exemption
- Class 32 Categorical Exemption
- Existing ENV Case Number: _____
- ENV Addendum Case Number: ______

6. PUBLIC NOTICING

- C Standard (BTC to mail hearing notice)
- Special (At time of filing applicant must pay BTC to mail determination letters only)
 O Abutting owners
 O Abutting occupants
- 7. NOTES

/ 	
roject Planning Signature	Phone Number: 213-978-(348
in Narthe Kyle Winston	Date 8/22/19
ALE WIND OF I	8/20/1

APPLICATIONS: ENVIRONMENTAL ASSESSMENT FORM	
	LANNING STAFF USE ONLY
Environmental Case Number:	
Case Filed With (Print Name):	Date Filed:
EAF Accepted By (Print Name):	Date Accepted:
Project Address ¹ : <u>1951-1953 S. Preuss Road, Los Angeles</u> Assessor's Parcel Number: <u>4302-019-016</u> Major Cross Streets: Sawyer Street to the north and Guthri	
Community Plan Area: West Adams - Baldwin Hills - Leime	
APPLICANT (if not Property Owner) Name: Preuss Villas LLC Company: Attn: Mike Lavaei Address: 643 S. Olive St., Suite 1000 City: Los Angeles State: CA Zip Code:	PROPERTY OWNER Name: Same as Applicant Company: Address: City: State: Zip Code: E-Mail: Telephone No.: ENVIRONMENTAL REVIEW CONSULTANT Name: Company:
Company: Harvey Goodman Civil Engineering Address: 834 17th St., #5	Company: Address:
City: Santa Monica State: CA Zip Code: 90403	City: State: Zip Code:
E-Mail: sheri@harveygoodman.com	E-Mail:
Telephone No.: <u>(310) 829-1037</u>	Telephone No.:

¹ Project address must include all addresses on the subject site (as identified in ZIMAS; http://zimas.lacity.org)

OVERVIEW

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings, and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

1. PROJECT DESCRIPTION

A. Briefly describe the entire project and any related entitlements (e.g. Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.

	individual lot pursuant to ordinance no. 185462							
	Additional information or Expanded Initial Study attac	ched: [ES	Ø	NO		
в.	Will the project require certification, authorization, o	clearance -	or is:	suanc	e of a	permit	by any Quality	federal, si Manageri
в.	Will the project require certification, authorization, or county, or environmental control agency, such as Er District, Water Resources Board, Environmental Affa	nvironment	or is: Ial Pr	otecti	e of a on Age YES	permit ancy, Air	· Quality	federal, si Managen NO
в.	county, or environmental control agency, such as Er	nvironment	or is: tal Pr	otecti	on Age	permit ancy, Air	· Quality	Managen
В.	county, or environmental control agency, such as Er District, Water Resources Board, Environmental Affa	nvironment	or is: al Pr	otecti	on Age	permit ancy, Air	· Quality	Managen
в.	county, or environmental control agency, such as Er District, Water Resources Board, Environmental Affa	nvironment	or is: al Pr	otecti	on Age	permit ancy, Air	· Quality	Managen
	county, or environmental control agency, such as Er District, Water Resources Board, Environmental Affa	nvironment	or is: tal Pr	otecti	on Age	permit ancy, Air	· Quality	Managen
E)	county, or environmental control agency, such as Er District, Water Resources Board, Environmental Affa If YES, please specify:	nvironment	or is: tal Pr	otecti	on Age	permit ancy, Air	· Quality	Managen
E)	county, or environmental control agency, such as Er District, Water Resources Board, Environmental Affa If YES, please specify:	nvironment airs, etc.?	or is al Pr	otecti	on Age	əncy, Aiı	· Quality	Managen

B. Zoning/Land Use.

	Existing	Proposed
Zoning	RD1.5-1	RD1.5-1
Use of Land	residential	6 lot small lot subdivision
General Plan Designation	Low Medium II Residential	Low Medium II Residential

C. Structures.

1.	Does the property contain any vacant structure? If YES, describe and state how long it has been vacant:	C YES	⊠ NO	
2.	Will any structures be removed/demolished as a result o	f the project?	2 YES	
	If YES, provide the number: 2	_, type: <u>single</u>	family	
	, total square fo	otage:		· · · · · · · · · · · · · · · · · · ·
	and age: approx. 94 years old	of structures	to be removed	
	If residential dwellings (apartments, single-family, con- number of units: 2	- dominiums et	c.) are being re	moved indicate the

D. Trees.

Are there any trees on the property, <u>and/or</u> within the public right-of-way next to the property, that will be removed or impacted* as a result of the project? \Box YES \blacksquare NO

If YES complete the following:

Tree Status	Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted*
Non-Protected						
(8" trunk diameter	0	sec alla	ched	free	-	
and greater)		sec alta Report				
		- (
Protected	0	Oak Tree (excluding Scrub Oak)				
(4" trunk diameter and greater		Southern California Black Walnut				
l I		Western Sycamore				
		California Bay				

* Impacted means that grading or construction activity will be conducted within five (5) feet of, or underneath the tree's canopy.

Additional information attached: Z YES ON

If a protected tree (as defined in Section 17.02 of the LAMC) will be removed, replaced, relocated, or impacted, a Tree Report is required.

E. Slope. State the percent of property which is:

Less than 10% slope: _____10-15% slope: _____ over 15% slope: _____

If slopes over 10% exist, a Topographic Map will be required.

F.	Grading. Specify the total amount of dirt being moved:
	2 0-500 cubic yards Different More than 500 cubic yards
	If more than 500 cubic yards (indicate amount): cubic yards
Ģ.	Import/Export. Indicate the amount of dirt to be imported or exported:
	Imported: 500 cubic yards Exported: cubic yards
	Location of disposal site:
	Location of borrow site: to be determined
	Is the Project Sile located within a Bureau of Engineering (BOE) Special Grading Area? 🔲 YES 🖉 NO
	If YES, a Haul Route is required.
H.	Hazardous Materials and Substances. Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination?
	If YES, describe:
	If YES, a Phase I Environmental Site Assessment (ESA) is required.
I.	Historic, Cultural and/or Architecturally Significant Site or Structure. Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:
	National Register of Historic Places:
	California Register of Historic Resources:
	City of Los Angeles Cultural Historic Monument:
	Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ):
	Identified on SurveyLA:
	Identified in HistoricPlacesLA:
	Does the Project affect any structure 45 or more years old that does not have a local, state, or federal
	designation for cultural or historic preservation?

		and indicate	the sheet
number on your plans showing the condition: _	·		

3. PROPOSED DEVELOPMENT

In the sections below, describe the entire project, not just the area in need of the entitlement request. If the project involves more than one phase or substantial expansion or changes of existing uses, please document each portion separately, with the total or project details written below. Attach additional sheets as necessary to fully describe the project.

A. ALL PROJECTS

i .	Parking.
------------	----------

••					
	Vehicular Parking				
	Required: <u>12</u>	+ Guest: _()		
	Proposed: <u>12</u>				
	Bicycle Parking:				
	Required Long-Term: 0	Re	quired Short-Te	erm: <u>0</u>	
	Proposed Long-Term: 0	Pro	posed Short-T	erm: <u>0</u>	······
ij.	Height.				
	Number of stories (not including mezz	anine levels):	4 stories	Maximum heigh	t: <u>44"</u>
	Are Mezzanine levels proposed?	YES	Ø NO		
	If YES, indicate on which floor:				
		P			
	If YES, indicate the total square feet of		nine:	<u> </u>	
		of each mezzar t in excess of a ated within a Ti	60 feet may re ransit Priority A	quire a <mark>Shade</mark> /S rea (TPA) as de	Shadow Analysis. This
10.	If YES, indicate the total square feet of New construction resulting in a height does not apply to projects that are loca the Planning and Zoning tab in ZIMAS	of each mezzar t in excess of a ated within a Ti	60 feet may re ransit Priority A	quire a <mark>Shade</mark> /S rea (TPA) as de	Shadow Analysis. This
111.	If YES, indicate the total square feet of New construction resulting in a height does not apply to projects that are loca the Planning and Zoning tab in ZIMAS	of each mezzar t in excess of a aled within a Ti S for this inform	60 feet may re ransit Priority A nation <u>http://ZIM</u>	quire a Shade/S rea (TPA) as de MAS.lacity.org).	Shadow Analysis. This fined by ZI-2452 (check
	If YES, indicate the total square feet of New construction resulting in a height does not apply to projects that are local the Planning and Zoning tab in ZIMAS Project Size. What is the total floor area of the project	of each mezzar t in excess of a led within a Ti S for this inform ect? <u>16850</u>	60 feet may rea ransit Priority A nation <u>http://ZIM</u>	quire a Shade/S rea (TPA) as de <u>MAS.lacity.org</u>). gross sq	Shadow Analysis. This fined by ZI-2452 (check
	If YES, indicate the total square feet of New construction resulting in a height does not apply to projects that are local the Planning and Zoning tab in ZIMAS Project Size. What is the total floor area of the project Lot Coverage. Indicate the percent of	of each mezzar t in excess of a led within a Tr S for this inform ect? <u>16850</u> f the total proje	60 feet may rea ransit Priority A nation <u>http://ZIM</u> ect that is propo	quire a Shade/S rea (TPA) as de <u>MAS.lacity.org</u>). gross sq	Shadow Analysis. This fined by ZI-2452 (check
	If YES, indicate the total square feet of New construction resulting in a height does not apply to projects that are local the Planning and Zoning tab in ZIMAS Project Size. What is the total floor area of the project Lot Coverage. Indicate the percent of Building footprint:	of each mezzar t in excess of aled within a Ti S for this inform ect? <u>16850</u> f the total proje 55.6	60 feet may rea ransit Priority A nation <u>http://210</u> ect that is propo	quire a Shade/S rea (TPA) as de <u>MAS.lacity.org</u>). gross sq	Shadow Analysis. This fined by ZI-2452 (check
	If YES, indicate the total square feet of New construction resulting in a height does not apply to projects that are local the Planning and Zoning tab in ZIMAS Project Size. What is the total floor area of the project Lot Coverage. Indicate the percent of Building footprint:	of each mezzar t in excess of a led within a Tr S for this inform ect? <u>16850</u> f the total proje	60 feet may rea ransit Priority A nation <u>http://ZIM</u> ect that is propo % %	quire a Shade/S rea (TPA) as de <u>MAS.lacity.org</u>). gross sq	Shadow Analysis. This fined by ZI-2452 (check

B. RESIDENTIAL PROJECT

- i. Number of Dwelling Units. Single Family: _____6 515 , Apartment: _____, Condominium: _____
- ii. Recreational Facilities. List recreational facilities for project:

ill. Open Space.

Does the project involve new construction resulting in additional floor area and units?	🗹 Yes	
Does the project involve six or more residential units?	🗹 YES	

If YES to both, complete the following

Required	Proposed
NA	NA
NA	NA
NIA	N/A
NIA	NA
	N)A N/A

- v. Accessory Uses. Describe new accessory structures (detached garage, guest house, swimming pool, fence, stable, etc.) and/or additions: <u>N/A</u>

C. COMMERCIAL, INDUSTRIAL OR OTHER PROJECT

If the project is residential only check 2-N/A and continue to next section

i. Type of Use. _____

ii. Project Size. Does the project only involve the remodel or change of use of an existing interior space or leasehold?

If YES, indicate the total size of the interior space or leasehold: ______ square feet

iii. Hotel/Motel. Identify the number of guest rooms: ______guest rooms

iv.	Days of operation.		
	Hours of operation.	 	

۷.	Special Events.	Will there be special events not normally associated with a day-to-day oper	ration (e.g
	fund raisers, pay-f	for-view events, parent-teacher nights, athletic events, graduations)? 🛛 YES	
	If YES, describe e	events and how often they are proposed	

vi. Occupancy Limit. Total Fire Department occupancy limit:

- a. Number of fixed seats or beds _____
- b. Total number of patrons/students _____
- c. Number of employees per shift _____, number of shifts _____
- d. Size of largest assembly area ______square feet

v. Security. Describe security provisions for the project _____

4. SELECTED INFORMATION

A. Circulation. Identify by name all arterial road types (i.e. Boulevard I, II, Avenue I, II, III) and freeways within 1,000 feet of the proposed Project; give the approximate distances (check <u>http://navigatela.lacity.org</u> for this information). <u>Robertson Blvd., approx. 339' to the west of the subject site is classified as Modified Avenue II</u>

	······································			······································		
в.	Green building certification. If YES, check appropriate box:		be LEED-cer	tified or equivale	nt? 🖸 YES	Ø NO
		Silver	Gold	🗖 Platinum	Other	
C.	Fire sprinklers. Will the Proj	ect include fire s	prinklers?		s 🗆	NO

5. CLASS 32 URBAN INFILL CATEGORICAL EXEMPTION (CE) REQUEST

The Class 32 "Urban Infill" Categorical Exemption (Section 15332 of the State CEQA Guidelines), is available for development within urbanized areas. This class is not intended to be applied to projects that would result in any significant traffic, noise, air quality, or water quality impacts.

- Check this box if you are requesting a Class 32 Exemption, and:
 - You have read DCP's Specialized Instructions for the Class 32 Categorical Exemption (CP-7828) and,
 - You have submitted the written justifications identified in the Specialized Instructions, and any supporting documents and/or technical studies to support your position that the proposed Project is eligible for the Class 32 Exemption and the project does not fall under any of the Exceptions pursuant to CEQA Section 15300.2.

Note that requesting the Urban Infill CE does not guarantee that the request will be accepted. The City may require additional studies and information if necessary to process the CE. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.

APPLICANT/CONSULTANT'S AFFIDAVIT

OWNER MUST SIGN AND BE NOTARIZED,

IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

PROPERTY OWNER	CONSULTANT/AGENT	
I, (print name) Preuss Viller, UC; Farshiel Burlaring, (print name)_	·	
Signature By		

being duly swom, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

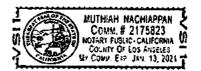
Space Below for Notary's Use

California All-Purpose Acknowledgement

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California					
County of	5 Mgells				
On	16119 before me,	MUMUM (Insert Nam	NACHTAPPAN, e of Notary Public and Tit	NDTARY_	<u>Puenc</u>
personally appeared	FARSHID sis of satisfactory evidence	POURLANK		······································	who vithin
instrument and acknowle	edged to me that he/she/they e(s) on the instrument the (executed the same	in his/her/their authorized	d capacity(ies), and	l that
I certify under PENALTY	OF PERJURY under the la	ws of the State of C	alifornia that the foregoin	g paragraph is true	and

correct. WITNESS my hand and official seal. (Seal)



Civil Code Section 1189

EAF WRITTEN JUSTIFICATION VTT82863 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

.

A. THE PROPOSED PROJECT IS CONSISTENT WITH THE APPLICABLE GENERAL DESIGNATION AND ALL APPLICABLE GENERAL PLAN POLICIES AS WELL AS WITH APPLICABLE ZONING DESIGNATION REGULATIONS.

A. THE SUBJECT PROPERTY IS ZONED RD1.5-1 AND IS LOCATED WITHIN THE WEST ADAMS – BALDWIN HILLS –LEIMERT COMMUNITY PLAN AREA. THE LAND USE ELEMENT OF THE CITY'S GENERAL PLAN DESIGNATES THE SUBJECT PROPERTY FOR LOW MEDIUM II RESIDENTIAL LAND USES WITH THE CORRESPONDING ZONES OF RD2, RW2 AND RZ2.5. AS SUCH, THE COMMUNITY PLAN ALLOWS FOR THE PROPOSED SUBDIVISION AND USE OF THE SUBJECT PROPERTY.

CURRENTLY, THE SUBJECT PROPERTY IS DEVELOPED WITH 2 SINGLE FAMILY HOUSES. THE PROPOSED PROJECT INVOLVES A SMALL LOT SUBDIVISION TO AUTHORIZE THE SUBDIVISION OF THE EXISTING LOT INTO SIX SMALL LOTS IN CONJUNCTION WITH THE DEMOLITION OF THE EXISTING STRUCTURES ON SITE AND CONSTRUCTION OF SIX SINGLE --FAMILY DWELLINGS WITH TWO PARKING SPACES ON EACH PROPOSED SMALL LOT. THE LOT SIZES WILL RANGE FROM 1306 TO 2154 SQUARE FEET, WHICH EXCEEDS THE MINIMUM LOT SIZE OF 600 SQUARE FEET REQUIRED BY THE SMALL LOT SUBDIVISION ORDINANCE. ADDITIONALLY, THE LOT WIDTHS WILL BE AT LEAST 22.3 FEET WIDE, WHICH EXCEEDS THE MINIMUM LOT WIDTH OF 18 FEET BY THE SMALL LOT SUBDIVISION ORDINANCE. THE LOT COVERAGE OF EACH LOT IS APPROXIMATELY 60 PERCENT WHICH IS BELOW THE MAXIMUM 75% LOT COVERAGE ALLOWED BY THE SMALL LOT SUBDIVISION ORDINANCE. THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE DENSITY REQUIREMENTS OF THE RD1.5 ZONE. THEREFORE, AS CONDITIONED, THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN AND ALL APPLICABLE GENERAL PLAN POLICIES AS WELL AS WITH APPLICABLE ZONING DESIGNATION REGULATIONS.

B. THE PROPOSED DEVELOPMENT OCCURS WITHIN CITY LIMITS ON PROJECT SITE OF NO MORE THAN FIVE ACRES SUBSTANTIALLY SURROUNDED BY URBAN USES.

B. THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE LIMITS OF THE CITY OF LOS ANGELES, WITH A TOTAL LOT AREA OF 0.20 ACRES AND IS SURROUNDED BY A MIXTURE OF MULTI-FAMILY AND SINGLE FAMILY RESIDENTIAL DEVELOPMENTS. EAF WRITTEN JUSTIFICATION VTT82863 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

C. THE PROJECT SITE HAS NO VALUE AS HABITAT FOR ENDANGERED, RARE OR THREATENED SPECIES.

C. THE PROJECT SITE IS LOCATED IN THE CENTER OF THE CITY AND CONTAINS EXISTING SINGLE FAMILY HOUSES. WE ARE NOT AWARE OF ANY RARE, THREATENED OR ENDANGERED SPECIES UTILIZING THE AREA AS A HABITAT. THE APPLICANT HAS SUBMITTED AN ENVIRONMENTAL ASSESSMENT FORM AS PART OF THE SUBDIVISION APPLICATION. THE CITY WILL BE RESPONSIBLE FOR PREPARING AN INITIAL STUDY TO DETERMINE THAT NO POTENTIAL ADVERSE IMPACTS ON FISH OR WILDLIFE RESOURCES AS FAR AS PLANT LIFE OR ANIMAL LIFE ARE CONCERNED. MEASURES WILL BE REQUIRED AS PART OF THE APPROVAL WHICH WILL MITIGATE IMPACTS TO A LESS THAN SIGNIFICANT LEVEL. FURTHERMORE, THE SURROUNDING AREA IS PRESENTLY DEVELOPED WITH RESIDENTIAL STRUCTURES AND DOES NOT PROVIDE A NATURAL HABITAT FOR EITHER FISH OR WILDLIFE. THE PROPOSED PROJECT IS SIMILAR IN SIZE AND SCOPE TO TWO OTHER APPLICATIONS FOR SMALL OT SUBDIVISONS, VTT-82264-SL, ENV-2018-3570, LOCATED AT 1973 S. PREUSS ROAD, PROPOSED SIX LOT SMALL LOT SUBDIVISION AND VTT-82365-SL, ENV-2018-6182-CE, LOCATED AT 1957-1959 S. PREUSS ROAD, PROPOSED SIX LOT SMALL LOT SUBDIVISON.

D. APPROVAL OF THE PROJECT WOULD NOT RESULT IN ANY SIGNIFICANT EFFECTS RELATING TO TRAFFIC, NOISE, AIR QUALITY, OR WATER QUALITY.

D. APPROVAL OF THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT EFFECTS RELATING TO TRAFFIC, NOISE, AIR QUALITY, OR WATER QUALITY. ANY IMPACTS WILL MITIGATE IMPACTS TO A LESS THAN SIGNIFICANT LEVEL.

E. THE SITE CAN BE ADEQUATELY SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES.

E. THE SITE CAN BE SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES INASMUCH AS THE PROPERTY IS CURRENTLY DEVELOPED WITH SINGLE FAMILY HOUSES AND ALL UTILITES ARE EXISTING.

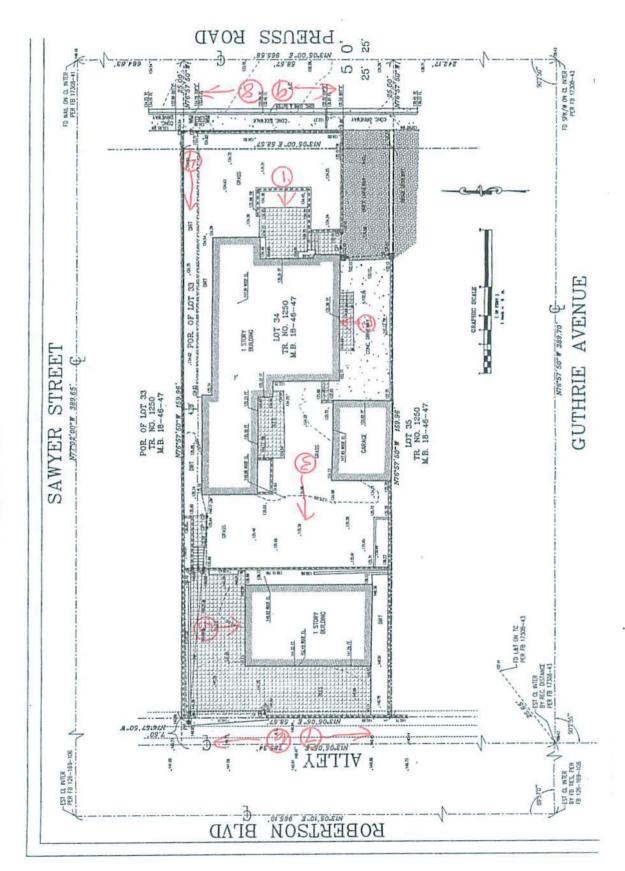
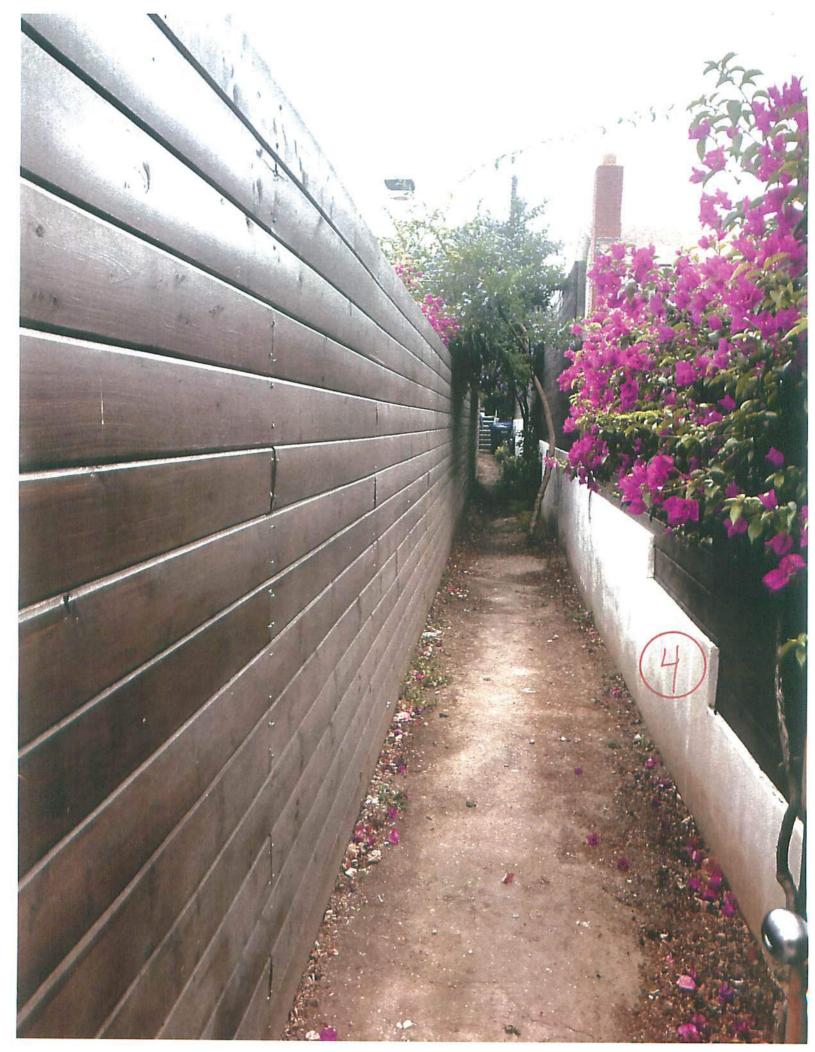


PHOTO KEY MAP VTT 82683, 1951 -1953 S. Preuss Road, Los Angeles CA 90034

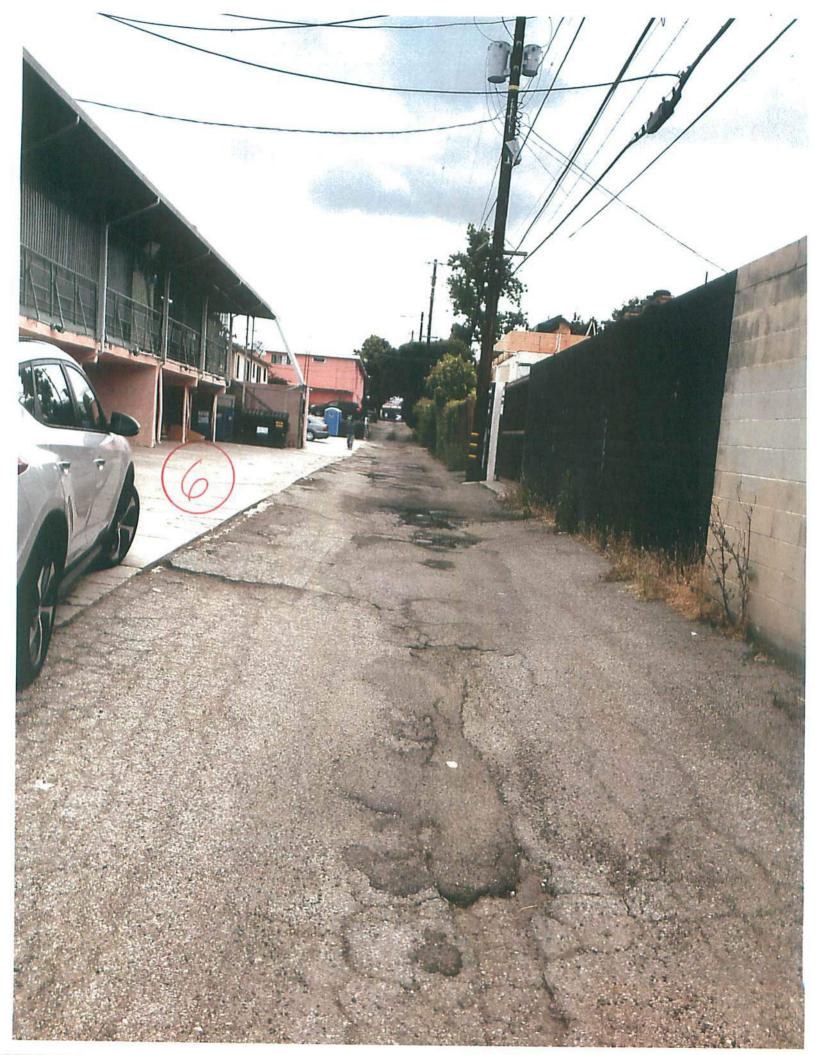


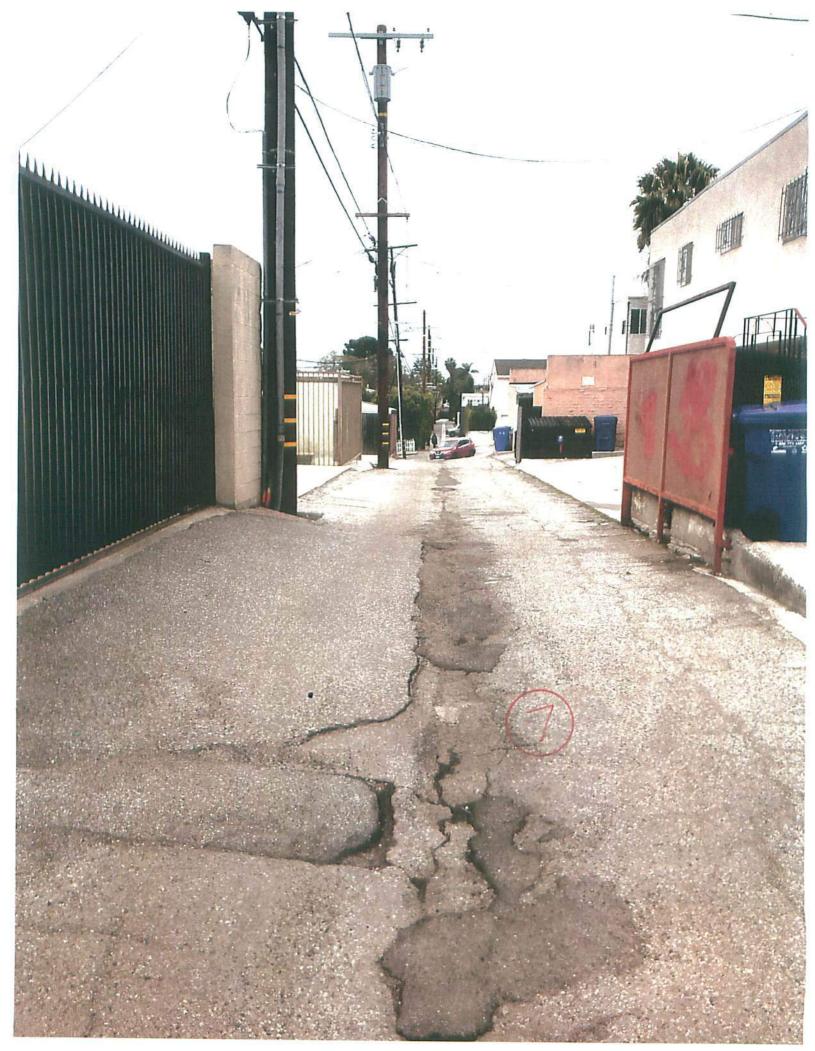


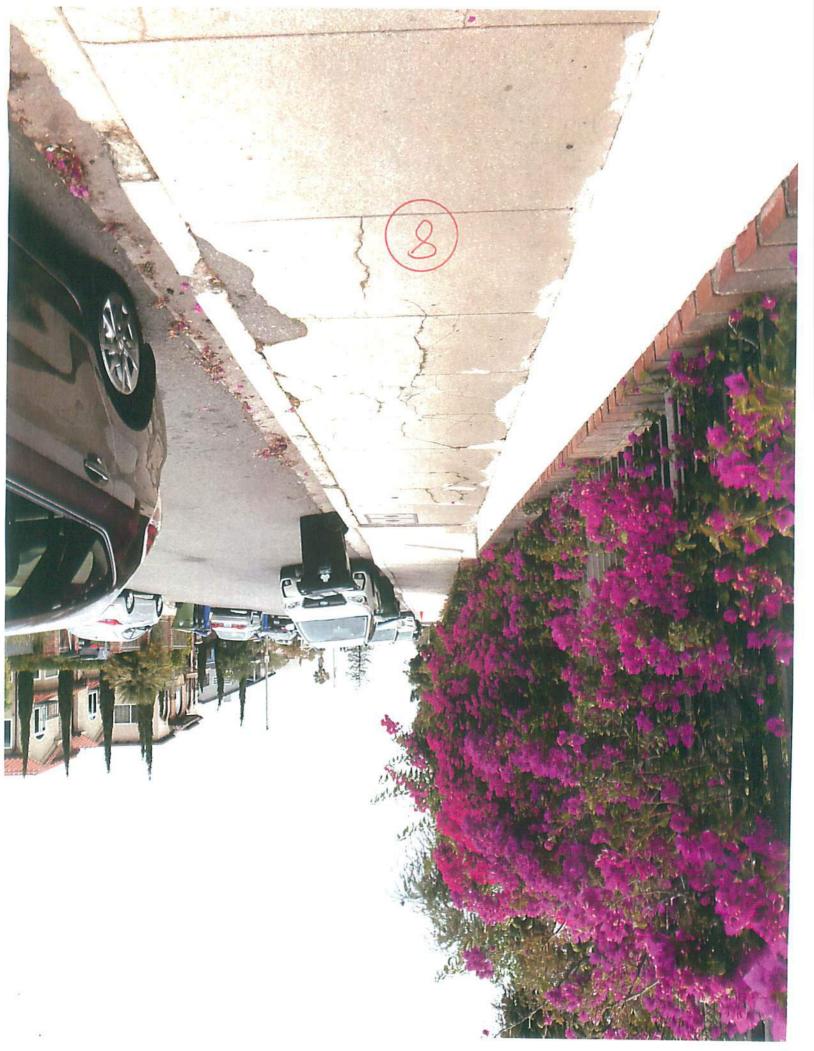














NOTICE OF PUBLIC HEARING SOUTH OF ROBERTSON NEIGHBORHOOD COUNCIL LUED COMMITTEE MEETING

PROJECT SITE: 1951 - 1953 S. PREUSS ROAD, LOS ANGELES CA 90034

- CASE NO.: VTT-82683 ENV- 2019-5697-EAF ADM-2019-5696-SLD
- DATE: MARCH 5, 2020
- TIME: 7:00PM
- PLACE: SIMON WIESENTHALCENTER 1399 S. ROXBURY DR. LOS ANGELES CA 90035 (NORTHWEST CORNER OF PICO BLVD)
- CONTACT: HARVEY GOODMAN CIVIL ENGINEER (310)829-1037

PROPOSED PROJECT:

DEMOLITION OF EXISTING STRUCTURES CONSTRUCTION 4 STORY, 6 LOT SMALL LOT SUBDIVISION WITH OWNERSHIP PARKING SPACES PROVIDED ON INDIVIDUAL LOTS

YOU ARE INVITED TO ATTEND THIS MEETING



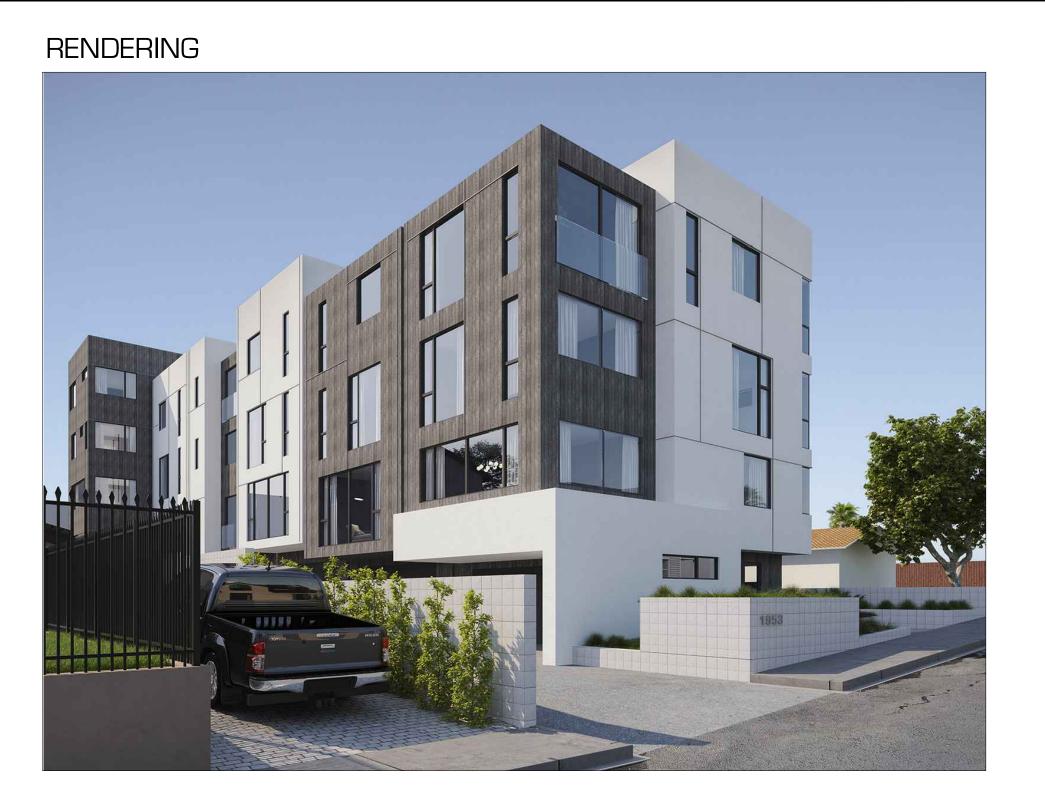
VESTING TENTATIVE TRACT 82683 FOR SMALL LOT SUBDIVISION PURPOSES

0.82 AC.

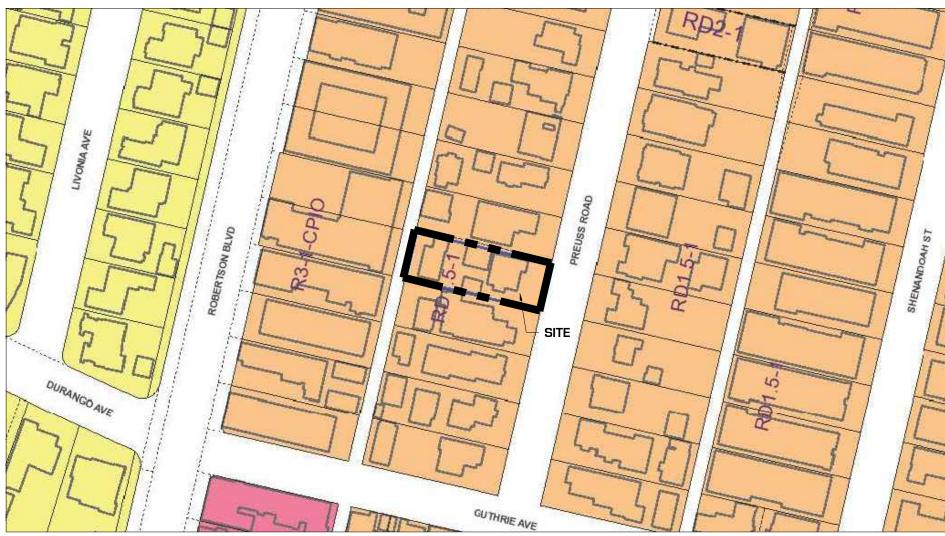
LEGAL ! LOT 34 & S'LY 4.28' OF LOT 35, TRACT NO. 1250 M.B. 18-46/47

CASE NO. DATE APRIL 16, 2019 D.M. 126 8 169 SCALE (*+100' USES FIELD

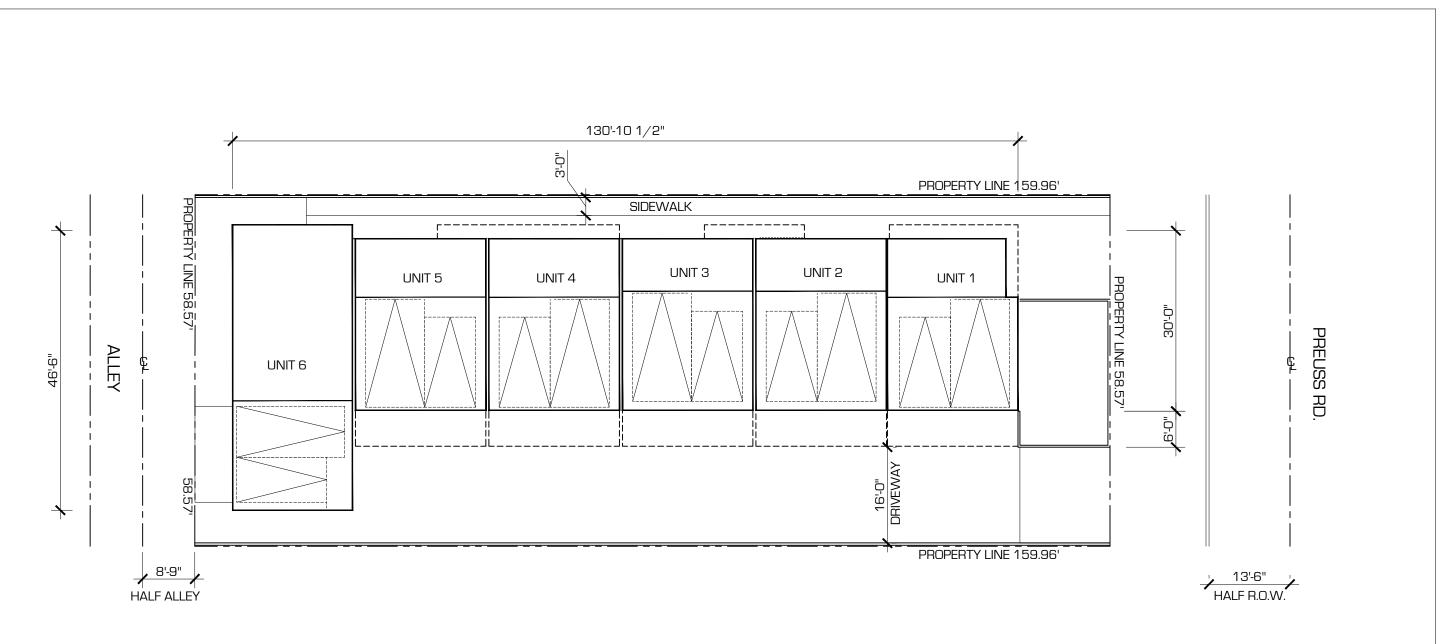
T.B. PAGE 632 6RID H+5 C.D. 10 C.T. 2696.02 P.A. 104 WAD REPRESENTATIVE: HARVEY GOODMAN, C.E. 834 17 TH ST. Nº 5 SANTA MONICA, CA 90403 JEROME BUCKMELTER ASSOC, INC. 23534 AETNA ST. WOODLAND HILLS, CA 91307 (810) 340-8386



VICINITY MAP



PLOT PLAN



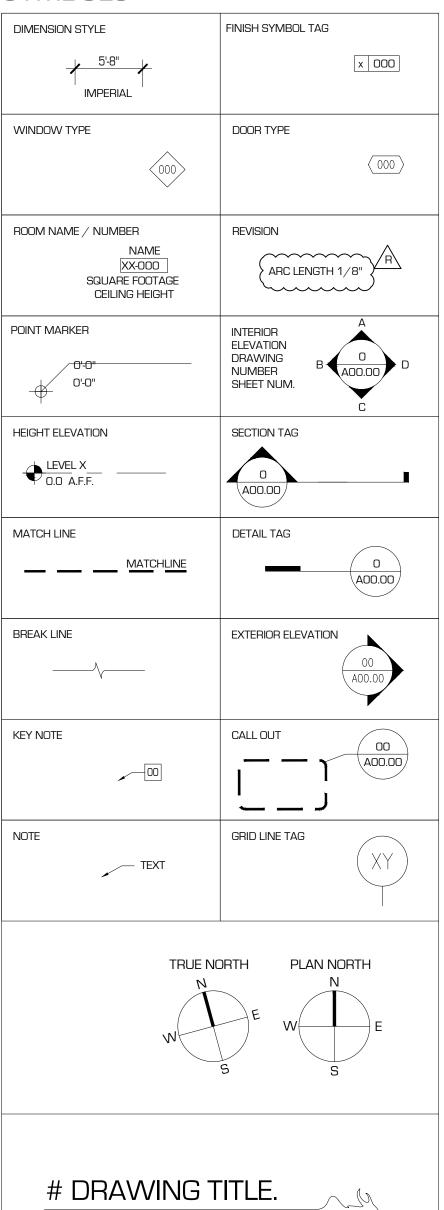
POINT MARKER HEIGHT ELEVATION MATCH LINE _ _ BREAK LINE

KEY NOTE

NOTE

SCALE: 0"=1'-0"





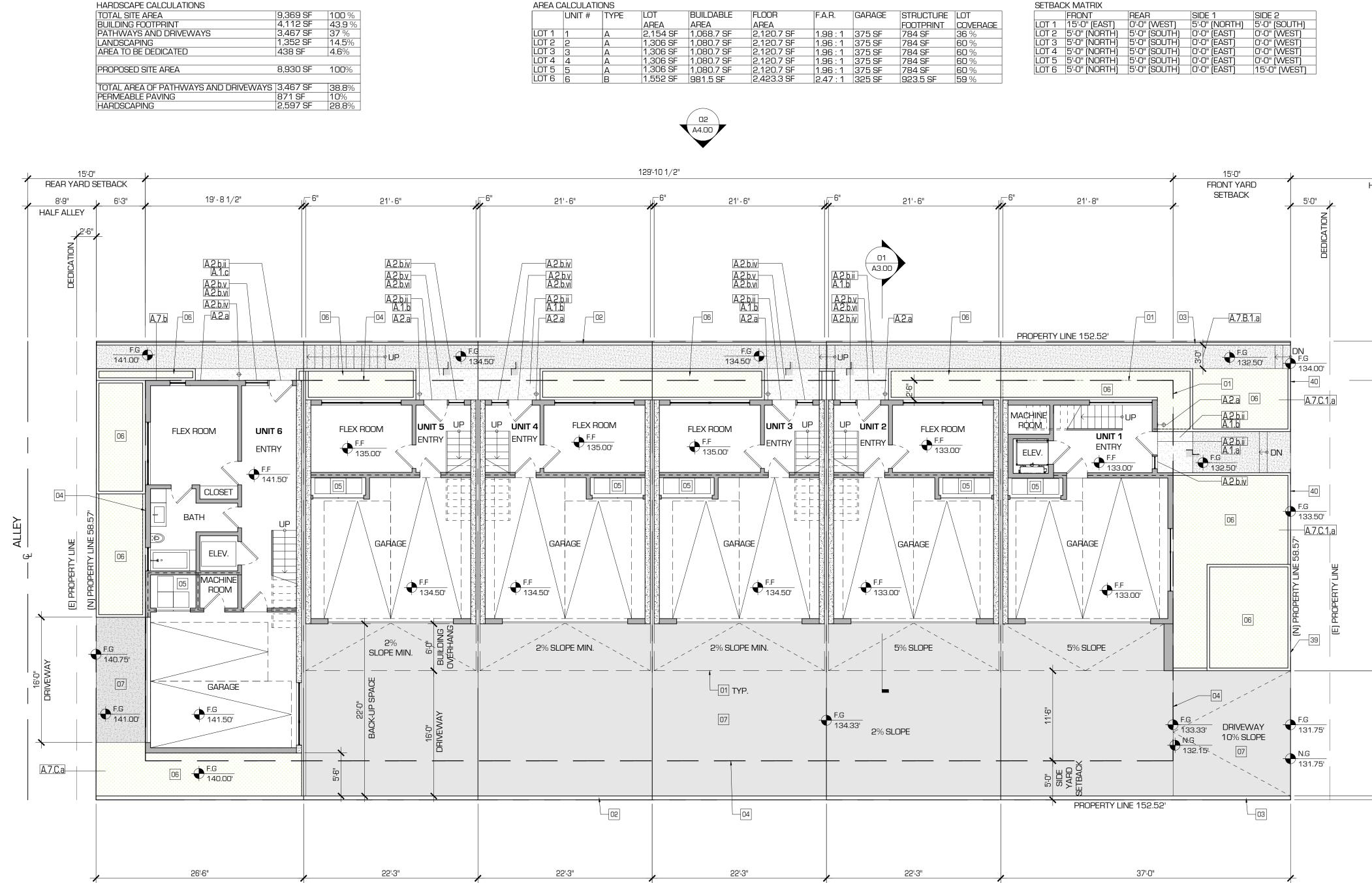
RAWIN	G LEGEND	ISSUE AND DATE		PROJECT INFORMATION	AUXOFFICE
		JBMITTAL		SCOPE OF WORK: CONSTRUCTION OF A 6-UNIT SMALL LOT SUBDIVISION	2404 WILSHIRE BLVD. STE. 12D LOS ANGELES, CA 90057 TEL: 1.213.568.3578 ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19
		ANNING SI			PROJECT ADDRESS
		06.15 PL		PROJECT ADDRESS: 1953 S. PREUSS ROAD	1953 PREUSS ROAD LOS ANGELES, CA 90036
SHE	EET TITLE	50191		LOS ANGELES, CA 90034	
	CHITECTURAL VER SHEET			ASSESSOR PARCEL NUMBER: 4302 019 016 TRACT: TR 1250	PROJECT OWNER
	RVEY			LOT: 34 AND ARB 2 OF LOT 35 BLOCK: NONE	
	NERAL NOTES			MAP REF: M B 18-46/47	CIVIL ENGINEER
	EEN BUILDING FORMS			GROSS SITE AREA: 9,369 SF	HARVEY GOODMAN
	RTIFICATIONS			GROSS BUILDING AREA: 16,850 SF	
	RTIFICATIONS			NET FLOOR AREA:13,065 SFBUILDING HEIGHT:44'-0"(45'-0" MAX PER LAMC)	
0.20 AC	CESSIBILITY NOTES			NUMBER OF STORIES : 4 + ROOF DECK	
	E PLAN / FIRST FLOOR F RESS DIAGRAMS	PLAN		BUILDING AREA PER ZONING CODE: UNIT 1: 2,065 SF	
	E DETAILS			UNIT 2: 2,050 SF UNIT 3: 2,050 SF	
	COND & THIRD FLOOR PL			UNIT 4: 2,050 SF	
	JRTH FLOOR & ROOF PL/ CTIONS			UNIT 5: 2,050 SF UNIT 6: 2,800 SF	
4.00 ELE	EVATIONS			TOTAL: 13,065 SF BUILDING AREA PER BUILDING CODE:	
	EVATIONS LARGED PLANS AND ELE	₩₩₩ ₩.		UNIT 1: 2,275 SF (SFD) 370 SF (GARAGE)	
9.00 EX1	TERIOR DETAILS			UNIT 2: 2,265 SF 370 SF (GARAGE) UNIT 3: 2,265 SF 370 SF (GARAGE)	
	ERIOR DETAILS			UNIT 4: 2,265 SF 370 SF (GARAGE) UNIT 5: 2,265 SF 370 SF (GARAGE)	
	NDOW SCHEDULE			UNIT 6: 2,915 SF 325 SF (GARAGE)	
	OR DETAILS			TOTAL: 14,250 SF 2,175 SF (GARAGE) AREA OF R3 OCCUPANCY (RESIDENTIAL): 14,250 SF	
11.20 WII	NDOWS DETAILS			AREA OF U OCCUPANCY (GARAGE): 2,175 SF	
				BUILDING CODES2017 LA BUILDING CODE (LABC)2017 LA RESIDENTIAL CODE (LARC)	
				2017 LA MECHANICAL CODE (LAMC)	
				2017 LA PLUMBING CODE (LAPC) 2017 LA ELECTRICAL CODE (LAEC)	
				2017 LA GREEN BUILDING CODE (LAGBC)	
				2016 ENERGY STANDARDS	
				ZONING CODESLOS ANGELES MUNICIPAL CODEJURISDICTIONCITY OF LOS ANGELES	
				COUNTY OF LOS ANGELES STATE OF CALIFORNIA	
					NO. ISSUE YR.MO.DAY
				ZONING CODE SUMMARY:	
				PARCEL ZONING RD1.5-1	
				GENERAL PLAN DESIGNATIONLOW MEDIUM II RESIDENTIALLAND USERESIDENTIAL	
				BUILDABLE AREA 6,539 SF (LOT AREA MINUS REQ'D SETBACKS)	
				ALLOWABLE FAR3:1 FAR (LAMC SEC 12.21.1)ALLOWABLE FLOOR AREA19,617 SF (3:1 FAR)	
				PROPOSED FLOOR AREA 13,085 SF	
				PROPOSED FAR 2:1 FAR	
				ALLOWABLE LOT DENSITY1 UNIT PER 1,500 SFALLOWABLE # OF UNITS6	
				ALLOWABLE LOT COVERAGE 75% (PER SMALL LOT ORDINANCE)	
				LOT AREA AFTER DEDICATION8,929.7 SFBUILDING FOOTPRINT4,900 SF	
				PROPOSED LOT COVERAGE 55%	
NII ARE	A SUMMARY (PER ZONING AF	REAJ	PARKING REQUIRED 12 (2 PARKING PER SFD)	
JIT 1 RST FLOOR	215 SF	UNIT 4 FIRST FLOOR	200 SF	PARKING PROVIDED 12	
COND FLOOR		SECOND FLOOR	640 SF	BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL)	
IRD FLOOR	605 SF	THIRD FLOOR	605 SF	U (GARAGE)	
urth floof IIT Total	R 605 SF 2,065 SF	FOURTH FLOOR	605 SF 2,050 SF	OCCUPANCY GROUP R-3: 14,650 SF AND AREA U: 2,175 SF	
				AND AREA U: 2,175 SF TYPE OF CONSTRUCTION TYPE I-B (PARKING LEVEL - 1 STORY)	PROJECT INFO
	1	UNIT 5		TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2	
ST FLOOR	200 SF R 640 SF	FIRST FLOOR SECOND FLOOR	200 SF 640 SF		
IRD FLOOR	605 SF	THIRD FLOOR	605 SF	MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2)	
			605 SF	TOTAL AREA PROPOSED 16,850 SF	PROJECT
IIT TOTAL	2,050 SF	UNIT TOTAL	2,050 SF	MAX. ALLOWABLE HEIGHT60'-0" ABOVE GRADE PLANE (TABLE 504.3)TOTAL HEIGHT PROPOSED44'-0" ABOVE GRADE PLANE	1953 PREUSS RD
IIT 3	I	UNIT 6		MAX. ALLOWABLE STORIES4 STORIES (TYPE V-B CONSTRUCTION)	
ST FLOOR	200 SF	FIRST FLOOR	525 SF		DRAWING
COND FLOOI IRD FLOOR	R 640 SF 605 SF	SECOND FLOOR THIRD FLOOR	785 SF 745 SF	FIRE SPRINKLERS:	
URTH FLOOR		FOURTH FLOOR	745 SF	(N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.	
	2,050 SF		2,800 SF	SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	

Bela II II. Bela III.							AUXOFFICE
•••••••••••••••••••••••••	RAW	/ING LEGEND	ISSUE AND DA	ATE	PROJECT INFOF	RMATION	
			MITTAL			JNIT SMALL LOT SUBDIVISION	LOS ANGELES, CA 90057 TEL: 1.213.568.3578 ARCHITECT: BRIAN WICKERSHAM
			NING SUB				
Image: This is an intervent of the structure of the			2 PLANN				1953 PREUSS ROAD
			19.06			1	LOS ANGELES, CA 90036
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Control of the second sec						VIBER: 4302 019 016	PROJECT OWNER
Number						OT 35 BLOCK: NONE	
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000 0.0000 0.0000 0.0000 <t< td=""><td>40.11</td><td>GREEN BUILDING FORMS</td><td></td><td></td><td></td><td></td><td></td></t<>	40.11	GREEN BUILDING FORMS					
Image: Section of the sectio							HARVEY GUUDIMAN
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111 EVENUS Construction Construction <t< td=""><td></td><td></td><td></td><td></td><td>NUMBER OF STORIES : 4</td><td>4 + ROOF DECK</td><td></td></t<>					NUMBER OF STORIES : 4	4 + ROOF DECK	
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Kar Lander Hutber Lander Hutber					UNIT 3:	2,050 SF	
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CICUDD FLOOR 640 SF SECOND FLOOR 640 SF FOURTH FLOOR 605 SF THIRD FLOOR 605 SF FOURTH FLOOR 605 SF COULD FLOOR 600 SF SECOND FLOOR 600 SF SECOND FLOOR 600 SF SECOND FLOOR 600 SF FOURTH FLOOR 605 SF COULD FLOOR 745 SF COULD FLOOR 745 SF SPRINKLER SYSTEM FER SPRINKLER SYSTEM FER SPRINKLER <td>RST FLC</td> <td>OR 215 SF</td> <td>FIRST FLOOR</td> <td>200 SF</td> <td></td> <td></td> <td></td>	RST FLC	OR 215 SF	FIRST FLOOR	200 SF			
IHD FLOOR 605 SF THIRD FLOOR 605 SF COURT H FLOOR COCUPANCY GROUP R3: 14,650 SF COURT H FLOOR GOS SF MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) MAX. ALLOWABLE HEIGHT GO: O'' ABOVE GRADE PLANE (TABLE 504.3) MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) MAX. ALLOWABLE AREA U L (SEC. 506.2.3 / TABLE 506.2) </td <td>ECOND F</td> <td></td> <td></td> <td>640 SF</td> <td></td> <td></td> <td></td>	ECOND F			640 SF			
NIT TOTAL 2,050 SF UNIT TOTAL 2,050 SF NIT 2 UNIT 5 NIT 2 UNIT 5 SET FLOOR 200 SF FRST FLOOR 200 SF GLOD R LOOR 640 SF SECOND FLOOR 640 SF JURT H FLOOR 605 SF THIRD FLOOR 605 SF NIT 3 UNIT 6 MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) NIT 3 UNIT 6 MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) NIT 3 UNIT 6 MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) NIT 3 UNIT 6 MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED 16,850 SF MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED 16,850 SF MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED 44'0" ABOVE GRADE PLANE (TABLE 504.3) 1953 PREUSS RD NIT 3 UNIT 6 SECOND FLOOR 725 SF NUR HOR 605 SF FIRES FLOOR 725 SF NUR HOR 605 SF FOURTH FLOOR 745 SF NUR 4.00 SF SECOND FLOOR							
NIT 2 UNIT 5 NIT 2 UNIT 5 ST FLOOR 200 SF G40 SF SECOND FLOOR G40 SF SECOND FLOOR G55 SF THIRD FLOOR G55 SF THIRD FLOOR G55 SF FOURTH FLOOR G55 SF FOURTH FLOOR G55 SF FOURTH FLOOR G55 SF FOURTH FLOOR G55 SF UNIT TOTAL 2,050 SF FIRST FLOOR SEC COND FLOOR 640 SF SEC COND FLOOR 640 SF MIX 3 UNIT 6 MIX 4LLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) PROJECT INFO 1953 PREUSS RD MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) PROJECT INFO 1953 PREUSS RD MIT 5 FIRE SPRINKLERS: <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>							
NIT 2 UNIT 5 RST FLOOR 200 SF FIRST FLOOR 200 SF GCOND FLOOR 640 SF SECOND FLOOR 640 SF MIRD FLOOR 605 SF THIRD FLOOR 605 SF MOURTH FLOOR 605 SF FOURTH FLOOR 605 SF VIT TOTAL 2,050 SF FIRST FLOOR 525 SF COND FLOOR 640 SF SECOND FLOOR 525 SF MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) 1953 PREUSS RD MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) 1953 PREUSS RD MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) 1953 PREUSS RD MIRD FLOOR 640 SF SECOND FLOOR 745 SF MURT H FLOOR 605 SF FOURTH FLOOR 745 SF MURT H FLOOR		AL 2,065		2,000 55			
RST FLOOR 200 SF FIRST FLOOR 200 SF GCOND FLOOR 640 SF SECOND FLOOR 640 SF HIRD FLOOR 605 SF THIRD FLOOR 605 SF JURTH FLOOR 605 SF FOURTH FLOOR 605 SF NIT TOTAL 2,050 SF UNIT TOTAL 2,050 SF NIT 3 UNIT 6 TOTAL AREA PROPOSED 16,850 SF MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED 16,850 SF NIT 3 UNIT 6 MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED 16,850 SF ST FLOOR 2,050 SF UNIT TOTAL 2,050 SF MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) 1953 PREUSS RD ST FLOOR 200 SF FIRST FLOOR 525 SF MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) 1953 PREUSS RD MIRD FLOOR 640 SF SECOND FLOOR 745 SF FIRE SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER NIT TOTAL NIT TOTAL 2,050 SF UNIT TOTAL 2,800 SF SUB-CONTRACTOR SUB-CO					TYPE OF CONSTRUCTIO		FROJECTINFO
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INIT HELOOR 605 SF FOURTH FLOOR 605 SF NIT TOTAL 2,050 SF UNIT TOTAL 2,050 SF Init TOTAL AREA PROPOSED 16,850 SF MAX. ALLOWABLE HEIGHT 60'.0" ABOVE GRADE PLANE (TABLE 504.3) 190/ect 190/ect NIT 3 UNIT 6 MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) DRAWING Description 195/2 SP							
Intraction BODS SF POOR TH FLOOR S25 SF POOR TH FLOOR Att LOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) POOR TH FLOOR POOR TH FLOOR POOR TH FLOOR POOR TH FLOOR Att LOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION) POOR TH FLOOR POOR TH FLOOR <td></td> <td></td> <td></td> <td></td> <td>MAX. ALLOWABLE ARE</td> <td>A UL (SEC. 506.2.3 / TABLE 506.2)</td> <td></td>					MAX. ALLOWABLE ARE	A UL (SEC. 506.2.3 / TABLE 506.2)	
Image: Normal and the second state of the second state							
NIT 3 UNIT 6 RST FLOOR 200 SF FIRST FLOOR 525 SF COND FLOOR 640 SF SECOND FLOOR 785 SF HIRD FLOOR 605 SF THIRD FLOOR 745 SF DURTH FLOOR 605 SF FOURTH FLOOR 745 SF NIT TOTAL 2,050 SF UNIT TOTAL 2,800 SF	NIT TOT	AL 2,050	SF UNIT TOTAL	2,050 SF			1953 PREUSS RD
AND ON CONTRACTOR Service ARST FLOOR 200 SF FIRST FLOOR 525 SF COND FLOOR 640 SF SECOND FLOOR 785 SF HIRD FLOOR 605 SF THIRD FLOOR 745 SF DURTH FLOOR 605 SF FOURTH FLOOR 745 SF NIT TOTAL 2,050 SF UNIT TOTAL 2,800 SF							
COND FLOOR640 SFSECOND FLOOR785 SFHIRD FLOOR605 SFTHIRD FLOOR745 SFDURTH FLOOR605 SFFOURTH FLOOR745 SFNIT TOTAL2,050 SFUNIT TOTAL2,800 SF					IVIAX. ALLUWABLE STOP		DRAWING
HIRD FLOOR605 SFTHIRD FLOOR745 SFURTH FLOOR605 SFFOURTH FLOOR745 SFNIT TOTAL2,950 SFUNIT TOTAL2,800 SF							
INTERversionStateINTERversionFOURTH FLOOR745 SFINT TOTAL2,050 SFUNIT TOTAL2,050 SFUNIT TOTAL2,800 SF					FIRE SPRINKI FRS [.]		
NIT TOTAL 2,050 SF UNIT TOTAL 2,800 SF SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER SUB-CONTRACTOR SUB-CONTRACTOR					(N) NFPA 13R SPRINKLE		
						JER SEPARATE PERMIT BY FIRE SPRINKLER	

HARDSCAPE CALCULATIONS		
TOTAL SITE AREA	9,369 SF	100 %
BUILDING FOOTPRINT	4,112 SF	43.9 %
PATHWAYS AND DRIVEWAYS	3,467 SF	37 %
LANDSCAPING	1,352 SF	14.5%
AREA TO BE DEDICATED	438 SF	4.6%
PROPOSED SITE AREA	8,930 SF	100%
TOTAL AREA OF PATHWAYS AND DRIVEWAYS	3,467 SF	38.8%
PERMEABLE PAVING	871 SF	10%
		no o 0/

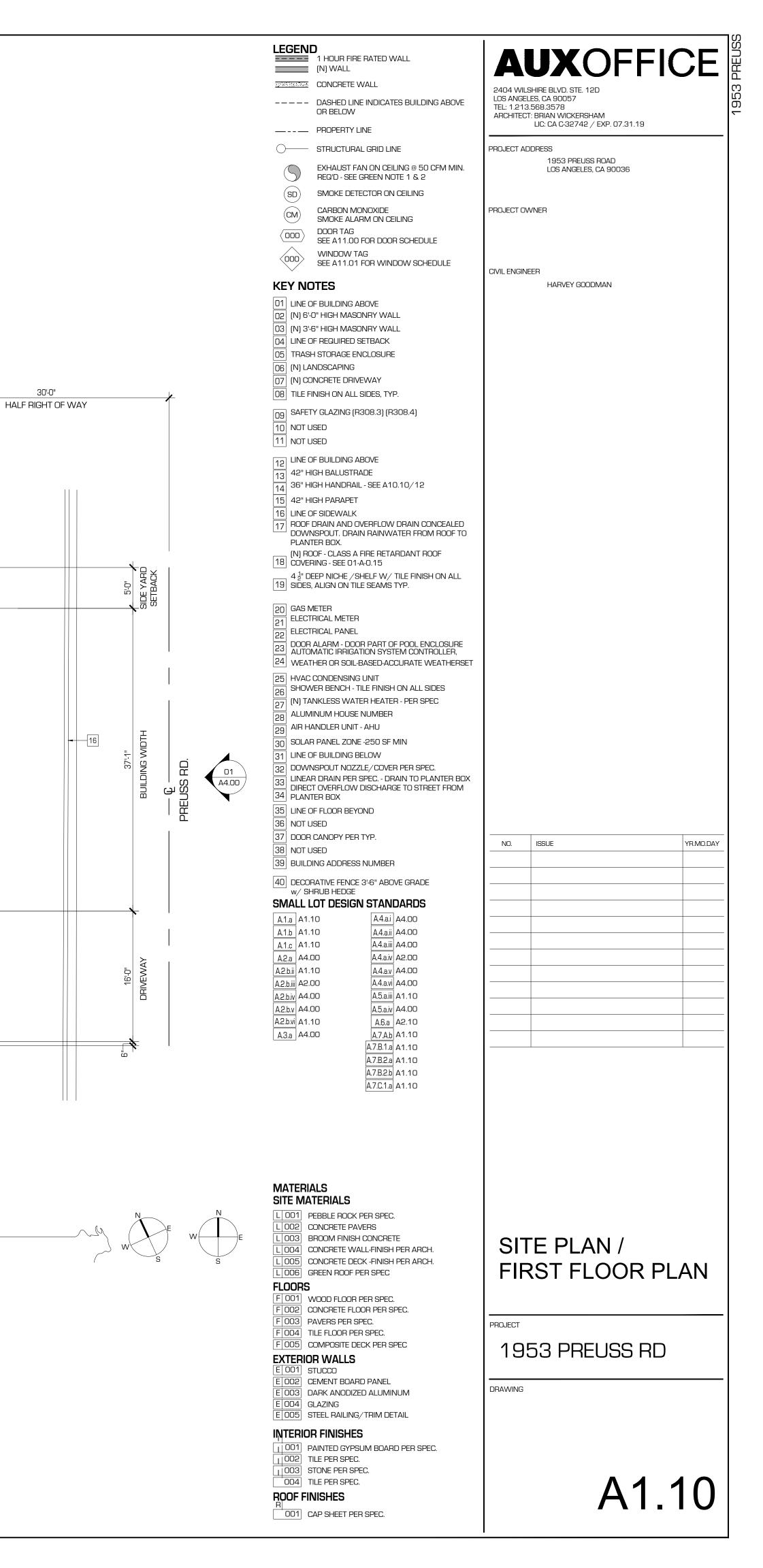
(01) (A4.10)

AREA CA	ALCULATIO	NS
	UNIT #	TYPE
LOT 1	1	А
LOT 2	2	А
LOT 3	3	А
LOT 4	4	А
LOT 5	5	А
LOT 6	6	В





01 SITE PLAN SCALE: 1/8"=1'-0"



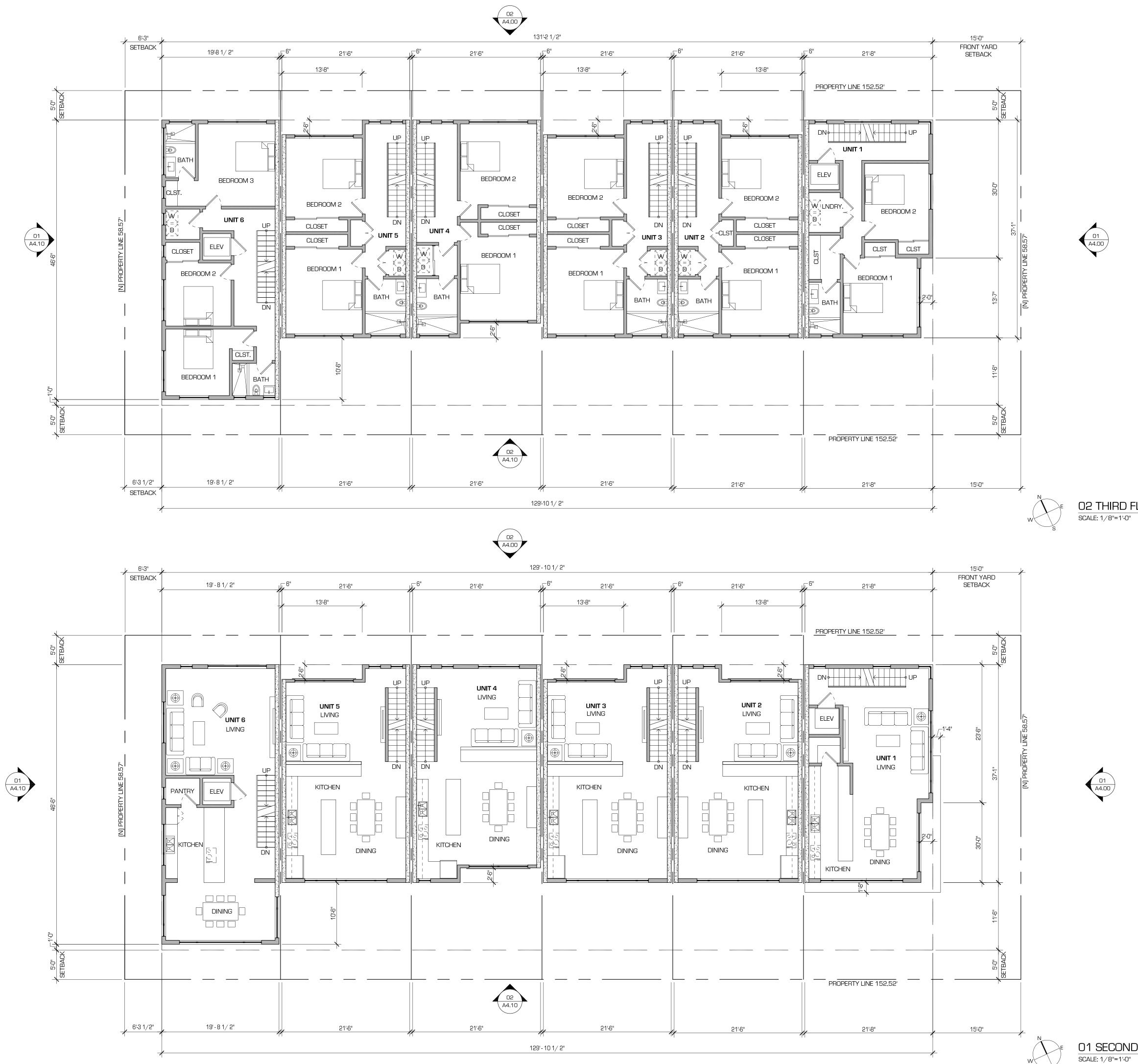
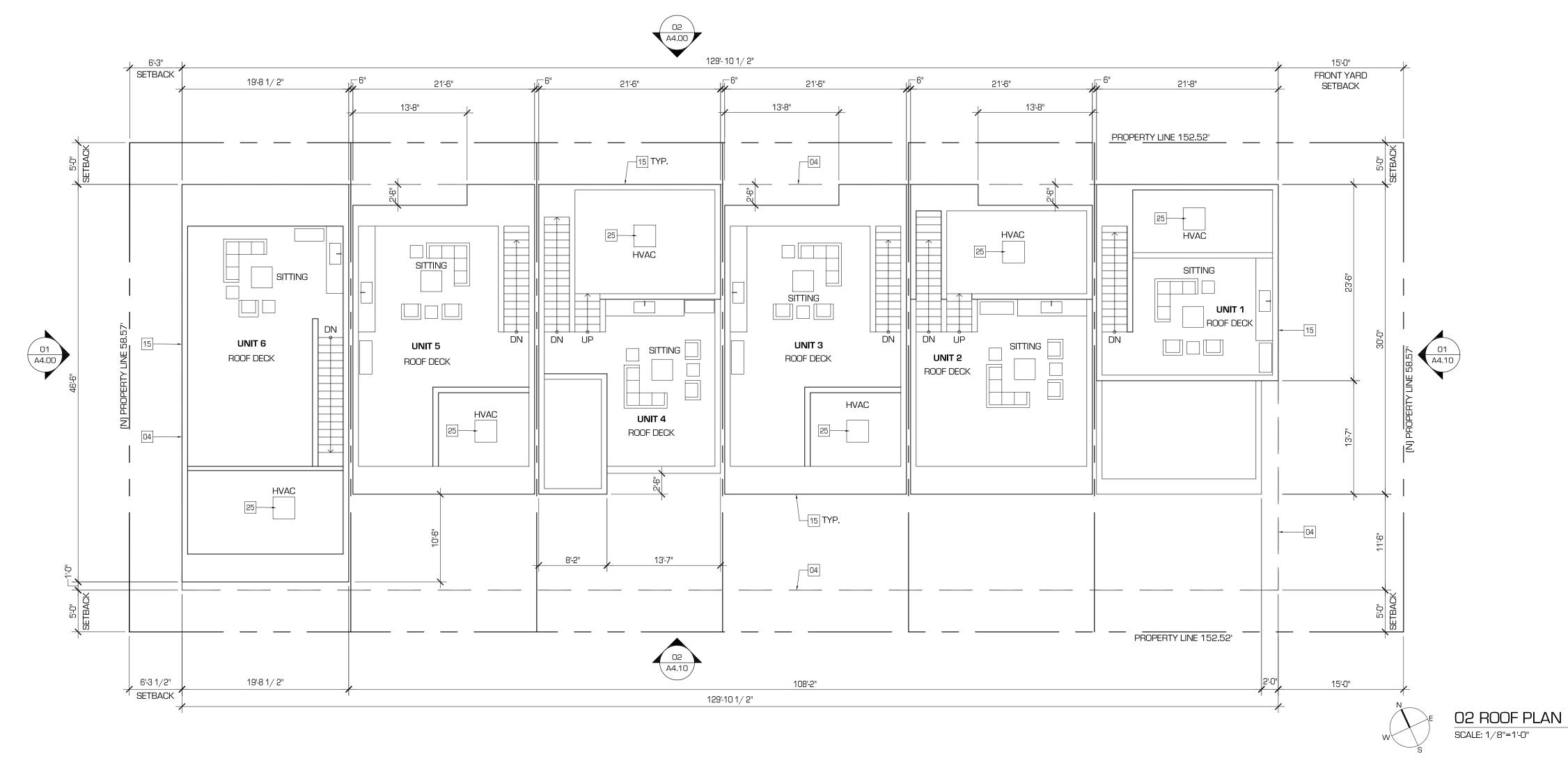
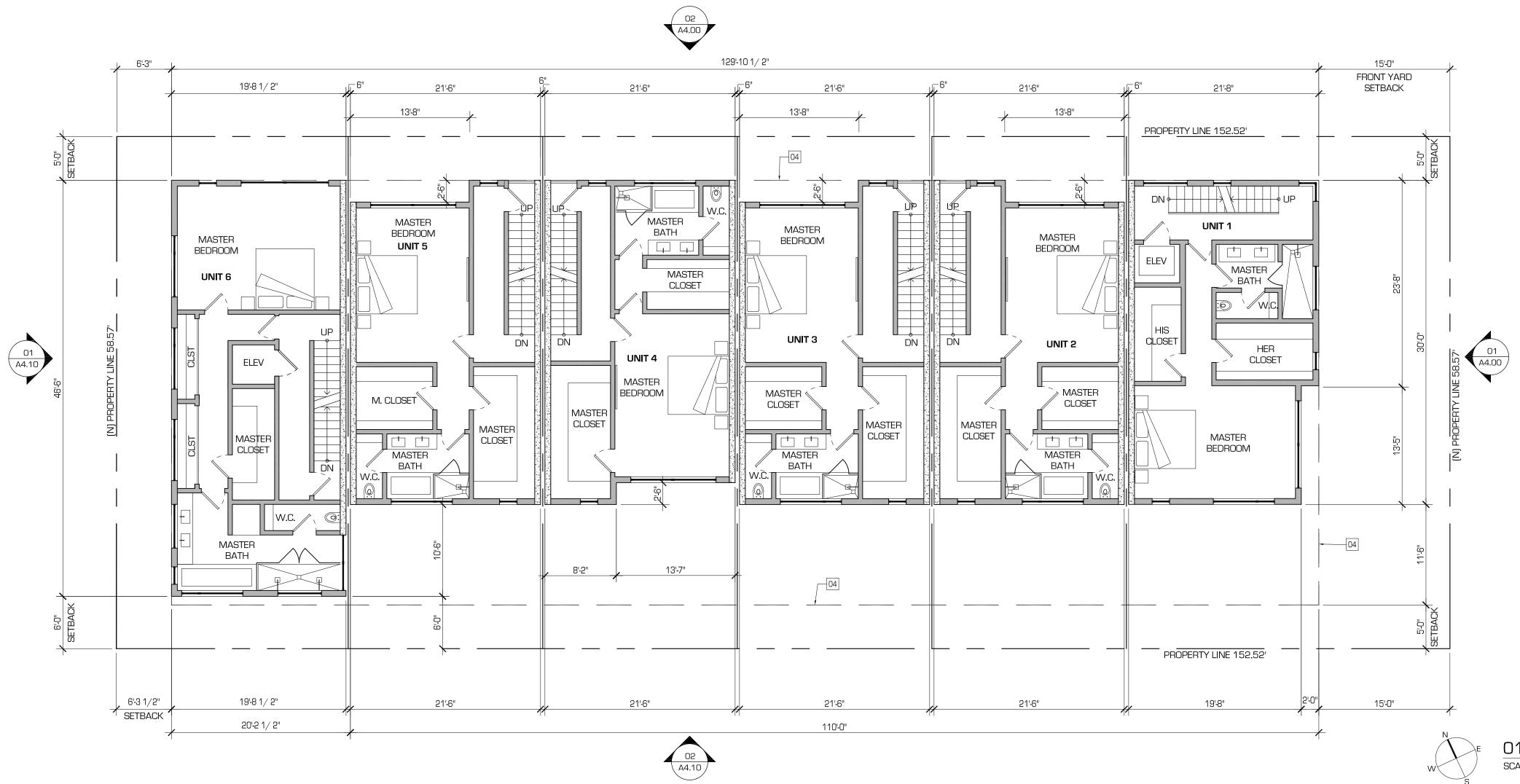


	Image: Description of the state of the	2404 WILSHIRE BLVD. STE. 12D LOS ANGELES, CA 90057 TEL: 1,213,568,3578
	OR BELOW OR BELOW PROPERTY LINE STRUCTURAL GRID LINE EXHAUST FAN ON CEILING © 50 CFM MIN.	ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19 PROJECT ADDRESS 1953 PREUSS ROAD LOS ANGELES, CA 90036
	REQ'D - SEE GREEN NOTE 1 & 2 SD SMOKE DETECTOR ON CEILING CM CARBON MONOXIDE SMOKE ALARM ON CEILING OOO DOOR TAG SEE A11.00 FOR DOOR SCHEDULE OOO WINDOW TAG	PROJECT OWNER
FLOOR PLAN	SEE A11.01 FOR WINDOW SCHEDULE VEEY NOTES 11 LINE OF BUILDING ABOVE 12 LINE OF BUILDING ABOVE 13 LINE OF REQUIRED SETBACK 14 LINE OF REQUIRED SETBACK 15 TRASH STORAGE ENCLOSURE 16 INI LANDSCAPING 17 (N) CONCRETE DRIVEWAY 18 SAFETY GLAZING (R30B.3) (R30B.4) 19 NOT USED 11 NOT USED 12 LINE OF BUILDING ABOVE 13 42° HIGH HANDRAL - SEE A10.10/12 14 35° HIGH HANDRAL - SEE A10.10/12 15 42° HIGH PARAPET 16 LINE OF SIDEWALK 17 POOD PANN DO WERPLOW DRAIN CONCEALED DOWNSPOUT. DRAIN RAINWATER FROM RDOF TO PLANTER BOX. 18 COOF DRAIN AND OVERPLOW DRAIN CONCEALED DOWNSPOUT. DRAIN RAINWATER FROM RDOF TO PLANTER BOX. 19 SIDES, ALIGN ON TILE SEAMS TYP. 20 GAS METER 21 ELECTRICAL PANEL 22 DOOR ALARM - DOOR PART OF POOL ENCLOSURE 24 WEATHER OR SOLL BASED ACCURATE WEATHERSET 25	INIL ENGINEER HARVEY GOODMAN
	MATERIALS SITE MATERIALSL001PEBBLE ROCK PER SPEC.L002CONCRETE PAVERSL003BROOM FINISH CONCRETEL004CONCRETE VVALL-FINISH PER ARCH.L005CONCRETE DECK -FINISH PER ARCH.L006GREEN ROOF PER SPECFLOORSF001VVOOD FLOOR PER SPEC.F002CONCRETE FLOOR PER SPEC.F003PAVERS PER SPEC.F004TILE FLOOR PER SPEC.F005COMPOSITE DECK PER SPEC.F005COMPOSITE DECK PER SPEC.F005STUCCOE001STUCCOE002CEMENT BOARD PANEL	SECOND & THIRD FLOOR PLANS
D FLOOR PLAN	E 002 CEMENT BOARD PAREL E 003 DARK ANODIZED ALUMINUM E 004 GLAZING E 005 STEEL RAILING/TRIM DETAIL INTERIOR FINISHES 1 001 PAINTED GYPSUM BOARD PER SPEC. 1 002 TILE PER SPEC. 004 TILE PER SPEC. 001 CAP SHEET PER SPEC.	DRAWING A2.11

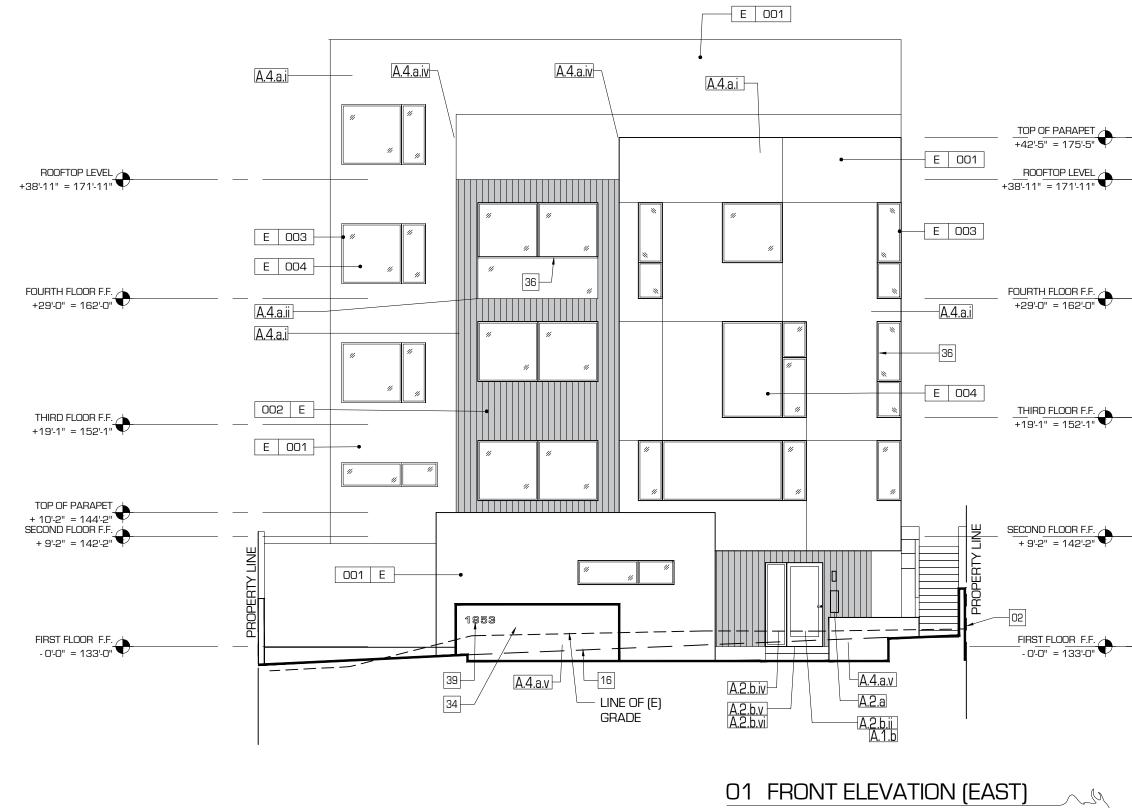




01 FOURTH FLOOF SCALE: 1/8"=1'-0"

LEGEND 1 HOUR FIRE RATED WAI (N) WALL	AUXOFFICE
	2404 WILSHIRE BLVD. STE. 12D
	ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19
	PROJECT ADDRESS
EXHAUST FAN ON CEILIN REQ'D - SEE GREEN NOTE	
CM CARBON MONOXIDE SMOKE ALARM ON CEILII	PROJECT OWNER
SEE A11.00 FOR DOOR S	
SEE A11.01 FOR WINDO	CIVIL ENGINEER
Image: Content of Conten	HARVEY GOODMAN
02 (N) 6'-0" HIGH MASONRY WALL 03 (N) 3'-6" HIGH MASONRY WALL	
04 LINE OF REQUIRED SETBACK 05 TRASH STORAGE ENCLOSURE	
06 (N) LANDSCAPING 07 (N) CONCRETE DRIVEWAY	
08 TILE FINISH ON ALL SIDES, TYP.	
09 SAFETY GLAZING (R308.3) (R30 10 NOT USED	4)
11 NOT USED	
	/10
1436" HIGH HANDRAIL - SEE A10.11542" HIGH PARAPET4242" HIGH PARAPET	-
16 LINE OF SIDEWALK 17 ROOF DRAIN AND OVERFLOW DI DOWNSPOUT. DRAIN RAINWATE	
PLANTER BOX. (N) ROOF - CLASS A FIRE RETARE	
18) COVERING - SEE 01-A-0.15 4 ½" DEEP NICHE / SHELF W/ TIL 19) SIDES, ALIGN ON TILE SEAMS TY	FINISH ON ALL
20 GAS METER	
21 ELECTRICAL METER 22 ELECTRICAL PANEL	
23 DOOR ALARM - DOOR PART OF F AUTOMATIC IRRIGATION SYSTEM	CONTROLLER,
26SHOWER BENCH - TILE FINISH OF27(N) TANKLESS WATER HEATER -	
28ALUMINUM HOUSE NUMBER29AIR HANDLER UNIT - AHU	
30 SOLAR PANEL ZONE -250 SF MIR 31 LINE OF BUILDING BELOW	
32 DOWNSPOUT NOZZLE/COVER F 33 LINEAR DRAIN PER SPEC DRAII DIRECT OVERFLOW DISCHARGE	O PLANTER BOX
34 PLANTER BOX 35 LINE OF FLOOR BEYOND	
36 NOT USED 37 DOOR CANOPY PER TYP.	
38 NOT USED 39 BUILDING ADDRESS NUMBER	NO. ISSUE YR.MO.DAY
40 DECORATIVE FENCE 3'-6" ABOVE	ADE
W/ SHRUB HEDGE SMALL LOT DESIGN STANDA	
A.1.a A1.10 A.4.ai A4.ai A.1.b A1.10 A.4.aii A4.aii	0
A.1.c A1.10 A.4.a.iii A4 A.2.a A4.00 A.4.a.iv A4	o
A.2.bii A1.10 A.4.a.v A A.2.biii A2.00 A.4.a.vi A	0
A.2.b.iv A4.00 A.5.a.iii A A.2.b.v A4.00 A.5.a.iv A	o
A.2.b.vi A1.10 A.6.a A.6.a A.3.a A4.00 A.7.A.b A.7.A.b	o
A.7.B.1.a A A.7.B.2.a A	0
<u>A.7.B.2.b</u> A [∕] A.7.C.1.a	
MATERIALS SITE MATERIALS	
L 001 PEBBLE ROCK PER SPEC. L 002 CONCRETE PAVERS	
L 003 BROOM FINISH CONCRETE L 004 CONCRETE WALL-FINISH PE	ARCH. FOURTH & FIFTH
L 005 CONCRETE DECK -FINISH PE L 006 GREEN ROOF PER SPEC	
FLOORS	
FOO2CONCRETE FLOOR PER SPECFOO3PAVERS PER SPEC.	PROJECT
F 004 TILE FLOOR PER SPEC. F 005 COMPOSITE DECK PER SPEC	1953 PREUSS RD
EXTERIOR WALLS E 001 STUCCO	
E 002 CEMENT BOARD PANEL E 003 DARK ANODIZED ALUMINU E 004 GLAZING	DRAWING
E 005 STEEL RAILING/TRIM DETA	
INTERIOR FINISHES	R SPEC.
INTERIOR FINISHES	
INTERIOR FINISHES	A SPEC. A 2.12





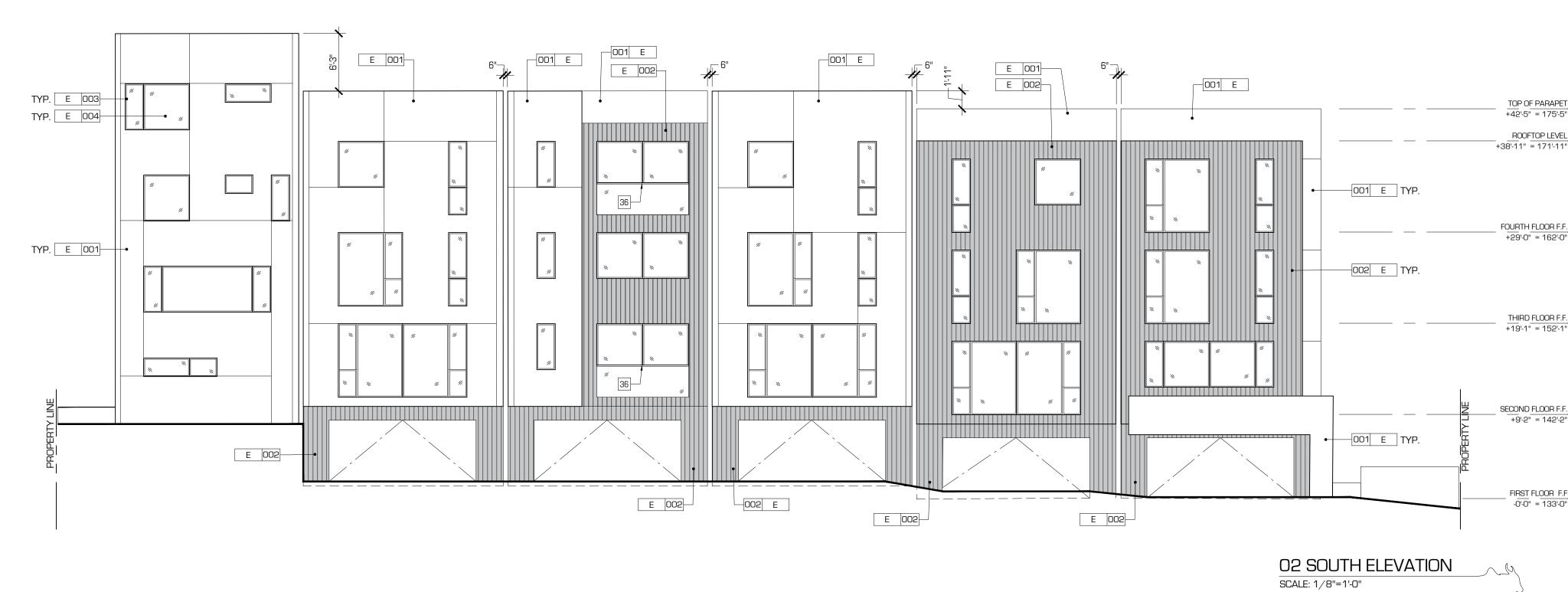
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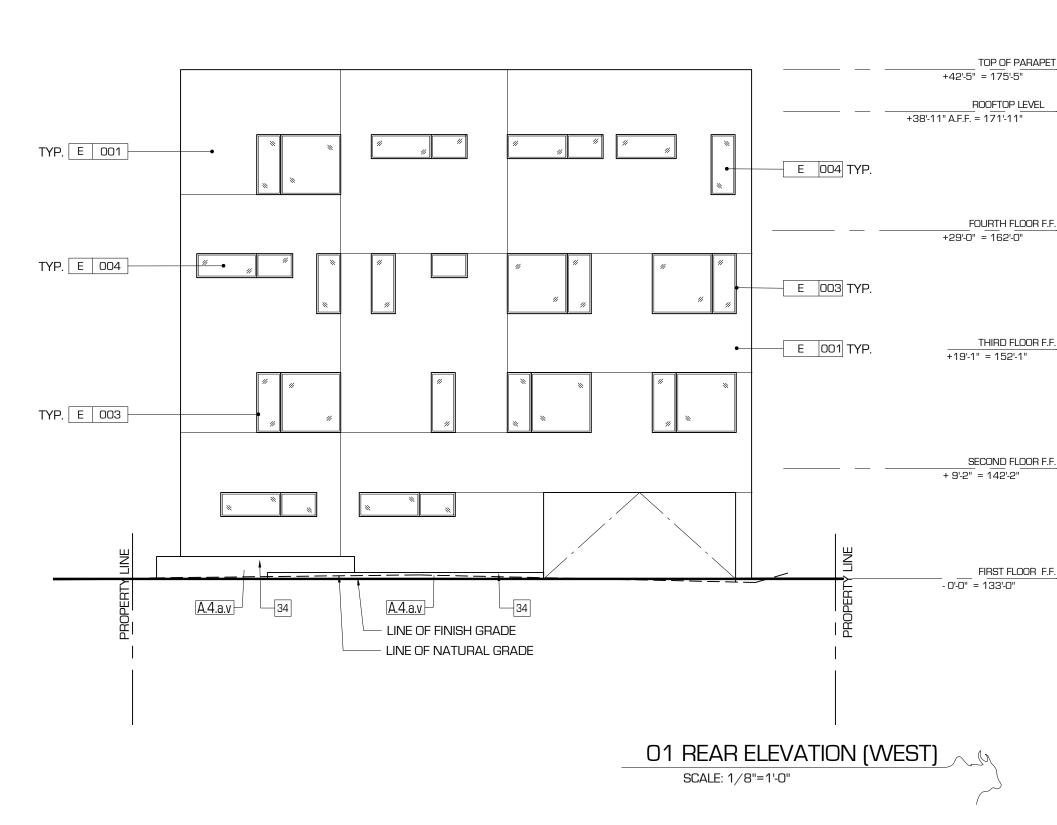
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LEGEND 1 HOUR FIRE RATED WALL (N) WALL (N) WALL CONCRETE WALL CONCRETE WALL DASHED LINE INDICATES BUILDING ABOVE OR BELOW DROPERTY LINE	2404 WILSHIRE BLVD. STE. 12D LOS ANGELES, CA 90057 TEL: 1.213.568.3578 ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19
 STRUCTURAL GRID LINE EXHAUST FAN ON CEILING © 50 CFM MIN. REG'D - SEE GREEN NOTE 1 & 2 SD SMOKE DETECTOR ON CEILING CM CARBON MONOXIDE SMOKE ALARM ON CEILING DOOR TAG SEE A11.00 FOR DOOR SCHEDULE WINDOW TAG SEE A11.00 FOR DOOR SCHEDULE 	PROJECT ADDRESS 1953 PREUSS ROAD LOS ANGELES, CA 90036 PROJECT OWNER
SEE A11.01 FOR WINDOW SCHEDULE VINC 1 LINE OF BUILDING ABOVE 12 IVIN 9 OF HIGH MASONRY WALL 13 IVIN 30° HIGH MASONRY WALL 14 LINE OF REQUIRED SETBACK 15 TRASH STORAGE ENCLOSUPE 16 IVI CANCRETE DRIVEWAY 17 IVI CONCRETE DRIVEWAY 18 SAFETY GLAZING (R308.3) [R308.4] 11 NOT USED 12 LINE OF BUILDING ABOVE 13 AP' HIGH HANDRAL - SEE A10.10/12 14 42° HIGH HANDRAL - SEE A10.10/12 15 42° HIGH HANDRAL - SEE A10.10/12 16 LINE OF SIDEWALK 17 FOOD BRAIN AND OVERFLOW DRAIN CONCEALED DOWNSPOUT. DRAIN RAINWATER FROM ROOF TO PLANTER BOX. 18 COVERING SEE 01.40.15 19 SIDES, ALIGN ON TILE SEAMS TYP. 20 GAS METER 21 ELECTRICAL MATER 22 COOR ALARM- DOOR PART OF POOL ENCLOSUFF 24 WEATHER OR SOIL-BASED-ACCURATE WEATHERSET 23 DHAC CONDENSINUMIT 24 WEATHER OR SOIL-BASED-ACCURATE WEATHE	ND ISSUE YRMD DAY ND ISSUE YRMD DAY I I I I I
MATERIALS SITE MATERIALS L 001 PEBBLE ROCK PER SPEC. L 002 CONCRETE PAVERS L 003 BROOM FINISH CONCRETE L 004 CONCRETE VALL-FINISH PER ARCH. L 005 CONCRETE DECK -FINISH PER ARCH. L 006 GREEN ROOF PER SPEC. F 001 WOOD FLOOR PER SPEC. F 002 CONCRETE FLOOR PER SPEC. F 003 PAVERS PER SPEC. F 004 TILE FLOOR PER SPEC. F 005 COMPOSITE DECK PER SPEC. F 005 COMPOSITE DECK PER SPEC. F 005 CEMENT BOARD PANEL E 002 CEMENT BOARD PANEL E 003 DARK ANODIZED ALUMINUM E 004 GLAZING E 005 STEEL RAILING/ TRIM DETAIL I 001 PAINTED GYPSUM BOARD PER SPEC. I 001 PAINTED GYPSUM BOARD PER SPEC. I 001 PAINTED GYPSUM BOARD PER SPEC. I 002 TILE PER SPEC.	EXTERIOR ELEVATIONS PRUJECT 1953 PREUSS RD DRAWING





	LEGEND 1 HOUR FIRE RATED WALL (N) WALL	
	CONCRETE WALL ONSHED LINE INDICATES BUILDING ABOVE OR BELOW PROPERTY LINE	2404 WILSHIRE BLVD. STE. 12D LOS ANGELES, CA 90057 TEL: 1.213.568.3578 ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19
	 STRUCTURAL GRID LINE STRUCTURAL GRID LINE EXHAUST FAN ON CEILING 50 CFM MIN. REG'D - SEE GREEN NOTE 1 & 2 SD SMOKE DETECTOR ON CEILING CM CARBON MONOXIDE SMOKE ALARM ON CEILING DOOR TAG SEE A11.00 FOR DOOR SCHEDULE 	PROJECT ADDRESS 1953 PREUSS ROAD LOS ANGELES, CA 90036 PROJECT OWNER
	WINDOW TAG SEE A11.01 FOR WINDOW SCHEDULE	CIVIL ENGINEER
	KEY NOTES9LINE OF BUILDING ABOVE9(N) 3-6" HIGH MASONRY WALL9(N) 3-6" HIGH MASONRY WALL9(N) 3-6" HIGH MASONRY WALL9LINE OF REQUIRED STEACK9TRASH STORAGE ENCLOSURE9(N) LANDSCAPING9TILE FINSH ON ALL SIDES, TYP.9SAFETY GLAZING (R30B.3) (R30B.4)10NOT USEO11NOT USEO12LINE OF BUILDING ABOVE1336" HIGH HANDRALL SEE A10.10/121436" HIGH HANDRALL SEE A10.10/121542" HIGH PARAFET16LINE OF BUILDING ABOVE17ROOF DRAIN AND OVERFLOW DRAIN CONCEALED DOWNSPOUT. DRAIN RAINWATER FROM ROOF TO PLATTER BOX.18INPOOF - CLASS A FIRE RETARDANT ROOF19SIDES, ALIGN ON TILE SEAMS TYP.20GAS METER21ELECTRICAL METER22ELECTRICAL METER23AUTOMATC IRRIGATION SYSTEM CONTROLLER.24WEATHER OR SOLLBASED ACCURATE WEATHEREET25HOWER BENCH - TILE FINISH ON ALL SIDES26CAS METER27(N) TANKLESS WATER HEATER - PER SPEC28ALUMINUM HOUSE NUMBER29DOWNSPOUT NOZZLE/COVER PER SPEC.29ANG MANLE ZONE 250 SF MIN31LINE OF BUILDING BELOW32DOOR CANOPY PER TYP.33DECORATIVE FROE SPEC.34NOT USED35DOOR CANOPY PER TYP.36NOT USED37DOOR CANOPY PER TYP.	ND. IBSUE YRIMODAY III
E	MATERIALS SITE MATERIALS1001PEBBLE ROCK PER SPEC.1002CONCRETE PAVERS1003BROOM FINISH CONCRETE1004CONCRETE VALL-FINISH PER ARCH.1005CONCRETE DECK -FINISH PER ARCH.1006GREEN ROOF PER SPEC.1007WOOD FLOOR PER SPEC.1007CONCRETE FLOOR PER SPEC.1008RAVERS PER SPEC.1009COMPOSITE DECK PER SPEC.1001STUCC01DARK ANODIZED ALUMINUM10021CEMENT BOARD PANEL10031DARK ANODIZED ALUMINUM10011PAINTED GYPSUM BOARD PER SPEC.10011PAINTED GYPSUM BOARD PER SPEC.10031TLE PER SPEC.10041TLE PER SPEC.10011CAP SHEET PER SPEC.<	EXTERIOR ELEVATIONS PROJECT 1953 PREUSS RD DRAWING

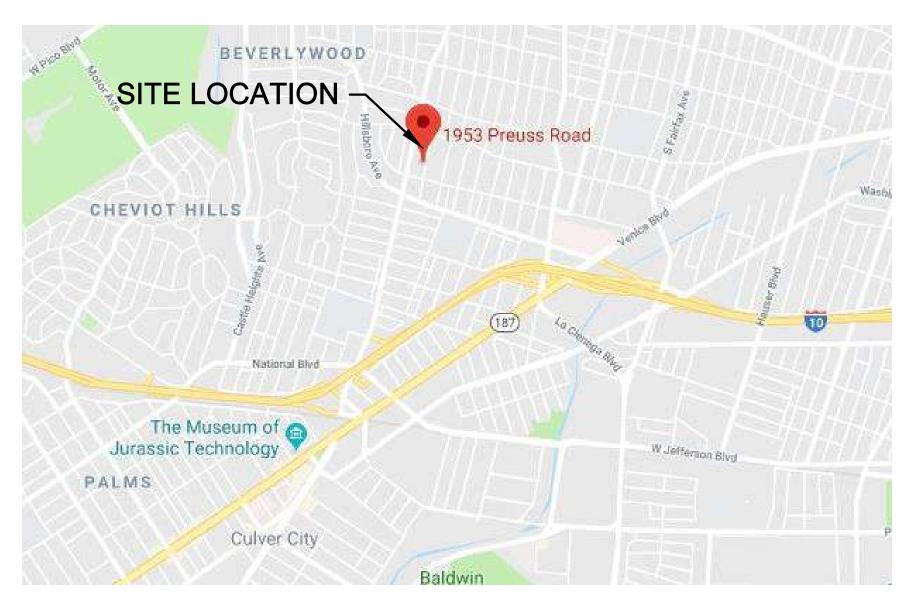
1953 PREUSS ROAD 1953 PREUSS RD. LOS ANGELES, CA 90034

LANDSCAPE ARCHITECT

SAVAGE LAND DESIGN 2651 E. CHAPMAN AVE. SUITE 110 **FULLERTON CA 92831**

CONTACT: MICHAEL SAVAGE

714-878-0335 SAVAGELANDDESIGN@ATT.NET



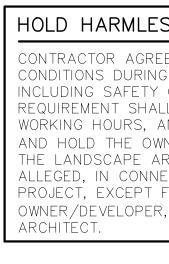
	LANDSCAPE POINT SYSTEM		
GENERAL NOTES	SQUARE FOOTAGE OF SITE 9,141 SF POINTS REQUIRED 15 POINTS		
. ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.	FEATURES/TECHNIQUES		
2. ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.	PERMEABLE PAVERS 5		
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE	PROVISION TO TREES SHADING EAST AND 2 WEST SIDES OF BUILDING		
RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.	USE CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO IN A MAJORITY OF LANDSCAPE AREAS) 5		
4. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY	BONUS POINTS: FREE FLOWERING STREET TREES 5		
BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.	TOTAL POINTS PROVIDED 17		
5. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 FEET AND FOR SHORING AND UNDERPINNING.	WATER MANAGEMENT POINT SYSTEMSQUARE FOOTAGE OF SITEPOINTS REQUIRED200 POINTS		
5. A LICENSED SURVEYOR SHALL PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND ON A WEEKLY BASIS THEREAFTER. WHERE	POINTS PROVIDEDSUB SURFACE IRRIGATION SYSTEM W/ FLOW CONTROLDRIP IRRIGATION WITH FLOW CONTROLAUTOMATIC IRRIGATION CONTROLLER5		
DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.	PLANTS: (A) 60 ALDE STRIATA 120 61 SENECID SERPENS 122 19 CISTUS SALVIFOLIUS 38		
7. IN LIEU OF SPECIAL INSPECTION BY THE DEPUTY BUILDING INSPECTOR, THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONSAND DURING REMOVAL OF SHORING.			
B. THE CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL O DAYS PRIOR TO STARTING THE SHORING AND EXCAVATION WORK	TOTAL POINTS PROVIDED 365 POTENTIAL LANDSCAPE AREA = 9141 SQ FT - (BUILDINGS) 4194 SQ FT LANDSCAPE PROVIDED = 4,947 SQ FT		

VICINITY MAP

SHEET	INDFX

CS-1	COVERSHEET	1 OF	Ĝ
LI-1	IRRIGATION CALCULATIONS	2 OF	Ĝ
LI-2	IRRIGATION HYDROZONE	3 OF	Ŝ
LI-3	IRRIGATION PLAN	4 OF	Ĝ
LI-4	IRRIGATION DETAILS	5 OF	Ŝ
LI-5	IRRIGATION DETAILS	6 OF	Ŝ
LP-1	PLANTING LAYOUT PLAN	7 OF	Ŝ
LP-2	PLANTING DETAILS	8 OF	Ŝ
LP-3	SOIL REPORT	9 OF	Ŝ

TOTAL LANDSCAPE AREA: 4,947 SF





CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE Under ground Service Alert 8' 16 4′ of Southern California CALL TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG SCALE: 1/8"=1'-0" NORTH

HOLD HARMLESS AND INDEMNIFICATION CLAUSE



GENERAL IRRIGATION NOTES

1. ALL CITY AND STATE LAWS, RULES AND REGULATION GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES, AND PAVING, ETC.

3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

5. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE MAIN LINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORESEEN BELOW GRADE CONDITIONS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

6. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO EACH CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION OT THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY

7. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS. GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

8. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.

9. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE USE OF RAIN-BIRD PRESSURE COMPENSATING SCREENS "PCS", SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH REMOTE CONTROL VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

10. 120 VAC POWER SOURCE FOR THE CONTROLLER SHALL BE PROVIDED UNDER THE ELECTRICAL SECTION OF THE SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND SHALL MAKE THE FINAL CONNECTION FORM THE ELECTRICAL SOURCE TO THE CONTROLLER.

11. ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING. IN ADDITION TO THE CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.

12. ALL LATERAL LINE PIPING UNDER PAVING WITHOUT A SLEEVE SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.

13. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS NO SUBSTITUTIONS OF SMALLER PIPE SHALL BE PERMITTED BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.

14. FINAL LOCATION OF THE AUTOMATIC CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

15. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS 1-INCH ABOVE FINISH GRADE.

16. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEADS ARE FLUSH WITH ADJACENT SIDEWALK OR CURB.

17. AFTER RECEIVING NOTIFICATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE, THE IRRIGATION CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS 1/4-INCH ABOVE FINISH GRADE.

18. ALL EQUIPMENT INSTALLED IN VALVE BOXES SHALL BE INSTALLED PER DETAIL DRAWINGS WITHOUT CUTTING SIDE WALLS OF THE VALVE BOX. CUT VALVE BOXES WILL BE REPLACED WITH NEW VALVE BOXES AS INSPECTED BY THE OWNERS AUTHORIZED REPRESENTATIVE AT THE CONTRACTOR'S OWN EXPENSE.

19. ALL LEAD WIRES SHALL BE #14 GAUGE AND BLACK IN COLOR. ALL COMMON WIRES SHALL BE #14 GUAGE AND WHITE IN COLOR. TWO (2) EXTRA WIRES SHALL BE PROVIDED FOR EACH GROUP OF FIVE (5) VALVES AND LOOPED IN A NEARBY VALVE BOX WITH A 2' MIMIMUM COIL.

20. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

21. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING FOR PIPE.

22. THE CONTRACTOR SHALL ALLOW FOR AN ASSORTMENT OF VARIABLE ADJUSTABLE NOZZLES (VAN) TO BE INSTALLED IN AREAS WHERE STANDARD PATTERN NOZZLES ARE NOT APPLICABLE.

23. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.

24. "HEAT BRAND" THE TOPS OF THE VALVE BOX LIDS WITH THE APPROPRIATE IDENTIFICATION. REFER TO THE IRRIGATION SPECIFICATIONS.

WATER CONSERVATION STATEMENT

THE SYSTEM IS DESIGNED TO ACHIEIVE CONSERVATION AND EFFICIENCY IN WATER USE BY PROVIDING ANTI-DRAIN DEVICES TO PREVENT LOW HEAD DRAINAGE, RAIN SENSOR / INTERRUPT SWITCH THAT PREVENTS THE SYSTEM FROM ACTIVATING DURING RAIN EVENTS, PRESSURE COMPENSATING DEVICES AND LOW VOLUME HEADS TO REDUCE WATER CONSUMPTION.

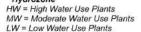
HOLD HARMLESS AND INDEMNIFICATION CLAUSE CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, NCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND HE LANDSCAPE ARCHÍTECT HARMLESS FROM ANY AND ALL LIABILITY REAL OF ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF TH OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE CHITECT

Appendix B - Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package. Please complete all sections (A and B) of the worksheet.

SECTION A. HYDROZONE INFORMATION TABLE square footage of landscape area per hydrozone.

Hydrozone*	Zone or Valve	Irrigation Method**
A- TREES	A3	BUBBLERS
B- IRRIGATED	A2	DRIP
B- IRRIGATED LANDSCAPE C- IRRIGATED LANDSCAPE	A1	DRIP
D- VINES	A4	BUBBLERS
-		
-		
	Total	



PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE **DOCUMENTATION PACKAGE** "I/we certify that based upon periodic site observations, the work has been substantially completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and

Signature*	Date					
Name (print)	Telephone No. 714-878-0335					
MICHAEL SAVAGE	Fax No.					
Title PRESIDENT	Email Address SAVAGELANDDESIGN@ATT.NET					
License No. or Certification No. RLA 439	97					
Company SAVAGE LAND DESIGN	Street Address 2651 E. CHAPMAN AVE, STE 110					
City FULLERTON	CALIFORNIA Zip Code 22831					

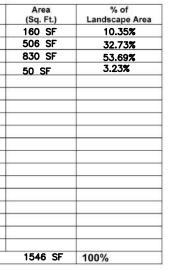
PART 3. IRRIGATION SCHEDULING

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

PART 6. SOIL MANAGEMENT REPORT Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.5. Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.5.

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the





	WATER E	FFICIEN	IT LAND	SCAPE W	/ORKSH	EET				
This worksheet is filled out by t	the project applic	ant and it i	s a require	d element o	f the Lands	cape Docum	entation P	ackage.		
	Reference E	vapotran	spiration ((Fto)	50.1	LOS ANGELE	\$			
	Nererence 1	apotran	spiration		50.1	LOS MILOLLE				
	Hydrozone #/Planting Description a	Plant Factor (PF)	Irrigation Method ^b	Irrigation efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sqft)		Estimated Total Water Use (ETWU) ^d		
	Regular Lan	dscape A	reas							
TREES	A	0.3	BUBBLER	0.81	0.37	160	59.25926	1840.7		
IRRIGATED LANDSCAPE	В	0.3	DRIP	0.81	0.37	830	307.4074	9548.7		
IRRIGATED LANDSCAPE	С	0.5	DRIP	0.81	0.62	506	312.3457	9702.1		
VINES	D	0.5	BUBBLER	0.81	0.62	50	30.8642	958.7		
				TOTAL	1.975309	1546	709.8765	22050.1852		
					ET	WU TOTAL		22050.1852		
	M	AXIMUM	ALLOWED	WATER AL	LOWANC	E (MAWA) ^e		26412.0		
⁰ I.J.J. Dooring Dooring			^b Irrigation	Mathad	c Invientation	- Fficiency	d CTTAULUA	nnual Gallons		
 ^a Hydrozone #/Planting Descrip Eg. 1.) front lawn 2.) low water use plantings 3.) medium water use planting 	ntion		overhead s		0.75 for sp 0.81 for di	CIRCLE CONTRACTOR CONTRACTOR	Required) Eto x 0.62 where 0.62 converts ac		per yea	
^e MAWA (Annual Gallons Allow where 0.62 is a conversion factor										
square foot per year, LA is the t for residential areas and 0.45 fo	total landscape ar	ea in squa		177 A 11			LA	GELES(Eto)(.062 G) 55 x 21780)=	!)(.55 x	
ETAF Calculations										
Regular Landscape Areas										
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Total ETAF x Area Total Area		1546				must be bel	ow for nor	-residential ar	eas.	
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Total Area		2 				must be bel	ow for nor	-residential ar	eas.	

IRRIGA	TION S		ING DA	ТА											
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													1		
SYSTEM I	DATA REF	ERENCE IN	FORMAT	ION:											
		E OF APPLI							-	15	IN /W	FFK	(PEAK)		
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	a fear of a fear of the second part of the second sec	A second se		6 DAYS OF	JULY):						IN./D				
RRIGATIO	N SYSTEM	EFFICIENC	Y RATING (IE) - DRIPLI	NE/ BI	JBBLER		0.81	(81	%)					
		- DRIPLIN			<i></i>			0.6							
		ANT FACT						0.3							
SHRUB WA	ATER USE P	LANT FACT	OR:					0.3							
SHRUB WA	ATER USE P	LANT FACT	OR:					0.5							
EVAPOTR	ANSPIRA	TION ADJ	USTMENT	FACTOR											
LANDSCA	PE COEFFIC	IENT - LOV	V TREE DRI	PLINE (PLA	NT WA	TER US	E/ IE (.3/.8	1))		Ĩ	-	0.37			
LANDSCAR	PE COEFFIC	IENT - LOV	V SHRUB D	RIPLINE (PL	ANTV	VATER U	JSE/ IE (.3/	.81))				0.37			
LANDSCA	PE COEFFIC	IENT - MO	DERATE SH	IRUB DRIPL	INE (PI	LANT W	ATER USE/	IE (.5/.81))			0.62			
ADJUSTED	- LOW/MO	DERATE T	REE DRIPLI	NE PEAK (J	ULY) W	/EEK Etc	0.07					0.52	IN./WK.		
ADJUSTED	- LOW SHE	RUB DRIPLI	NE PEAK (J	ULY) WEEK	Eto:		0.07					0.52	IN./WK.		
ADJUSTED	- MODERA	TE SHRUB	DRIPLINE	PEAK (JULY)	WEEK	Eto:	0.12					0.87	IN./WK.		
AS A GEI	NERAL RUL	E, WITER I	RIGATION	I TIMES ARE	APPR	OXIMA.	TELY 30% O	F PEAK SUI	MMER	SCHEDU	JLE. SP	RING	AND		
ETo REPLA	CEMENT V	ALUES										_			
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MONTHLY	PERCENTA	GE (OF PE	AK JULY)							11		í.			
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					5	and the second	10000000		të						

Total Area

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

Appendix C - Sample Certificate of Completion

CERTIFICATE OF COMPLETION This certificate is filled out by the project applicant upon completion of the landscape project

(A+C)

Date							
Project Name 1953 Preuss Rd							
Name of Project Applicant	Telephone No.						
	Fax No.						
Title	Email Address						
Company	Street Address						
City	State	Zip Code					
City LOS ANGELES State Zip Code							
CALIFORNIA 90034 Property Owner or his/her desig	jnee:						
Name	Telephone No. 714-878-0335						
		0000					
MICHAEL SAVAGE	Fax No.						
MICHAEL SAVAGE	Fax No.	ANDDESIGN@ATT.NET					
	Fax No. Email Address Street Address						

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature

Please answer the questions below:

Date the Landscape Documentation Package was submitted to the local agency Date the Landscape Documentation Package was approved by the local agency

Date that a copy of the Water Efficient Landscape Worksheet (including the Water Budget Calculation) was submitted to the local water purveyor____

Date

IRRIGATION MAINTENANCE SCHEDULE:

1. LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING REPLENISHING MULCH; FERTILIZING; PRUNING; AND WEEDING IN ALL LANDSCAPE AREAS.

2. WHENEVER POSSIBLE, REPAIR OF THE IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENT SPECIFICATION.

IRRIGATION AUDIT SCHEDULE:

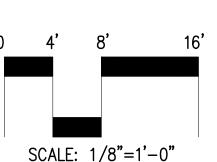
1. AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE STATE OF CALIFORNIA LANDSCAPE AUDITOR HANDBOOK.

2. AUDITS SHALL BE CONDUCTED BY A STATE CERTIFIED LANDSCAPE IRRIGATION AUDITOR AT LEAST ONCE EVERY FIVE YEARS AND SUBMITTED TO THE LOCAL WATER PURVEYOR.

SOIL SPECIFICATION / ANALYSIS SAMPLE:

1. PROVIDE SOIL SPECIFICATIONS IF IMPORT SOIL OR PROVIDE SOIL ANALYSIS IF USING ON SITE SOIL. THE SOIL INFORMATION MUST INCLUDE: SOIL TEXTURE (% OF ORGANIC MATTER), INFILTRATION RATE (OR ESTIMATED RANGE), PH & TOTAL SOLUBLE SALTS, INDICATE IF MULCH, SOIL AMENDMENTS OR OTHER MATERIAL WILL BE USED OR REQUIRED.

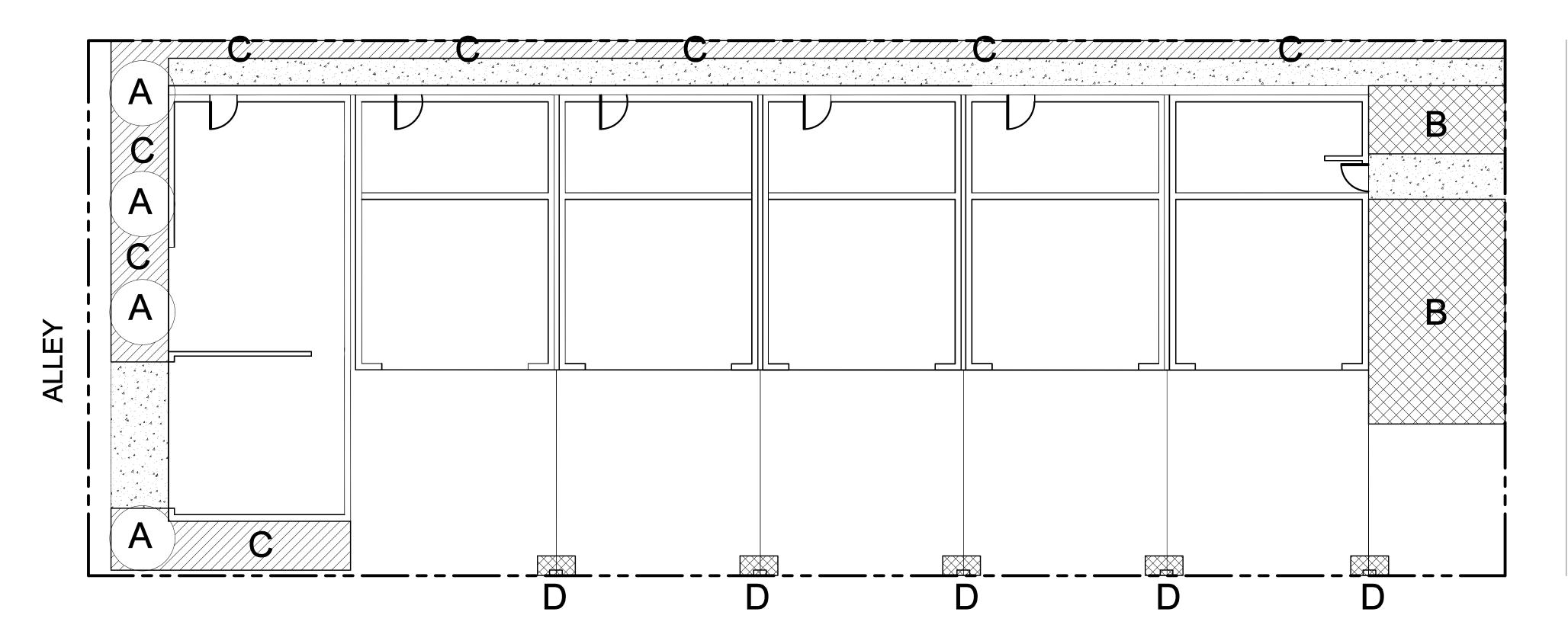




SAVAGE LAND DESIGN LANDSCAPE ARCHITECTURE • LAND PLANNING • DESIGN 2651 E. CHAPMAN AVE, SUITE 110, FULLERTON CA P: 714-878-0335 Email: savagelanddesign@att.net က Ο Ο σ S M C Z \Box က S S **の** Ш \mathbf{n} Ω \mathcal{O} S σ $\overline{}$ Revision/Issue IRRIGATION CALCULATIONS 6-07-19 2 of 9

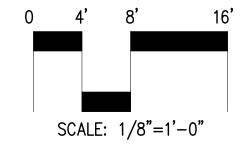
ŀ	IYDR
A- TREES	
B-IRRIGATED	D LAN
C-IRRIGATED	DLAN
D - VINES	
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BASED ON WATER OF LANDSCAPE SP PUBLISHED BY THE DEPARTMENT OF V

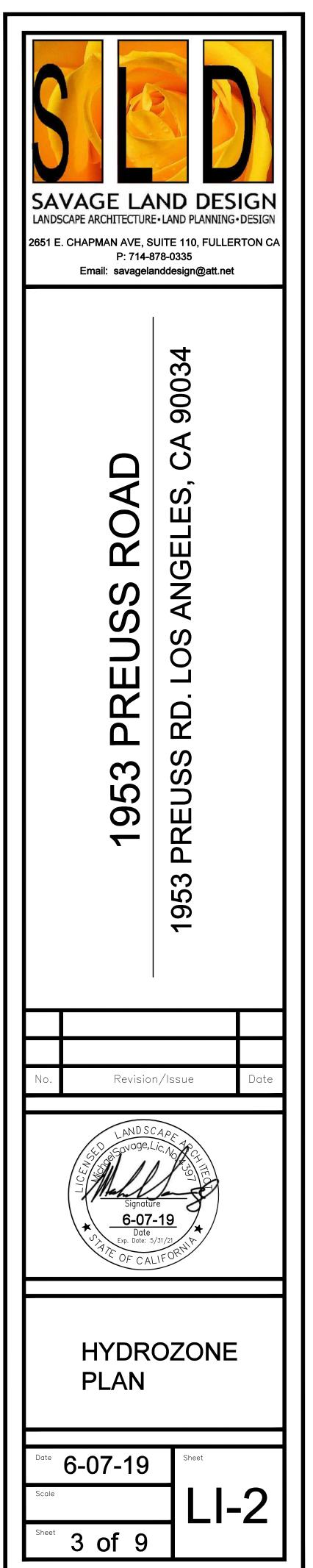


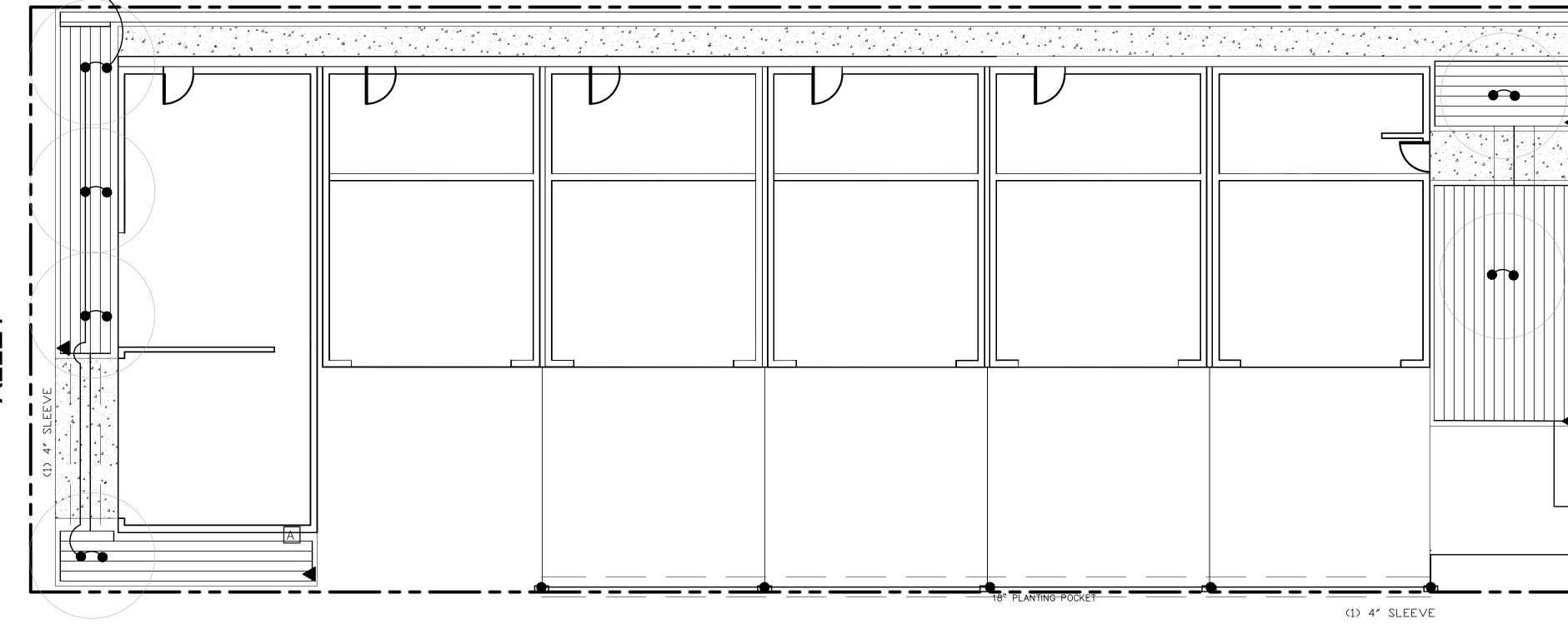
PROZONE	UNIT A AREA (SF)	% OF TOTAL LANDSCAPE AREA	WATER USE CLASSIFICATION	HYDROZONE BASIS	EXPOSURE	HYDROZONE DESCRIPTION	IRRIGATION METHOD	IRRIGATION DEVICE MANUFACTURER	ZONE PRESSURE (PSI)	ZONE FLOW (GPM)	PRECIP. RATE	VALVE NUMBER	NUMBER AN TYPE OF OUTLET
	160	10.35%	L	PL	PART SUN/SHADE	TREES	В	HUNTER	30	4	2.41	A3	4 TREES
ANDSCAPE (DRIP)	506	32.73%	L	PL	PART SUN/SHADE	SHRUBS	D	HUNTER	30	5.2	0.99	A2	511 LF
ANDSCAPE (DRIP)	830	53.69%	М	PL	PART SUN/SHADE	SHRUBS	D	HUNTER	30	7.1	0.82	A1	695 LF
	50	3.23%	М	PL	PART SUN/SHADE	VINES	D	HUNTER	30	2.5	4.82	A4	5 VINES
		100.00%											
	1546												
ASSIFICATION							HYDROZONE BAS	IS		IRRIGATIO	ON METHO	D	
	TURF						PL	PLANT TYPE		D		DRIP	
	HIGH						IR	IRRIGATION METH	OD	R		SMALL ROTOR	
	MEDIUM						SU	SUN EXPOSURE		В		BUBBLER	
	LOW						SL	SLOPE		SP	2	SPRAY	
	OTHER						0	OTHER		0		OTHER	
TER USE CLASSIFICATI	ON												
SPECIES (WUCOLS)													
THE STATE OF CALIFO	RNIA												
OF WATER RESOURCES	S												

PREUSS ROAD



NORTH







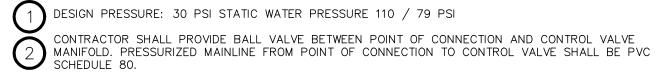
IRRIGATION LEGEND

SYMBOL:	MANUFACTURER:	MODEL NUMBER;	DESCRIPTION:	RAD.:	P.S.I.:	G.P.M.:
•	RAINBIRD	1806-PA80-1402	POP-UP BUBBLER	2'	25	.50
•	HUNTER	PGV 101G	1" GLOBE VALVE W/ FLOW	CONTRO)L	
\oplus	HUNTER	ICZ-101	1" ICV GLOBE VALVE W/ 1" HY10	0 FILTER SY	STEM	
А	HUNTER	CONTROLLER ASSEMBI	Y. REFER TO IRRIGATION	NOTES FO	OR INFO	RMATION
M	NIBCO	Т—113—К	ISOLATION GATE VALVE			
•	FLUSH VALVE ASS	EMBLY – SEE DETAILS				
	- HUNTER	PLD-06-18	ON SURFACE DRIPLINE -	INLET PR	ESSURE	30 PSI
===	APPROVED	PVC SCH 40	IRRIGATION SLEEVE (SEE N	IOTES FO	R SIZE)	
	- APPROVED	PVC CLASS 200	LATERAL LINE PIPE			
	APPROVED	PVC SCH 40	MAIN LINE PIPE (SIZE PER	PLAN)		
DW	5/8" DOMESTIC	WATER METER FOR L	ANDSCAPE USE ONLY			
	FEBCO	825YA 1" REDUC	ED PRESSURE BACKFLOW A	SSEMBLY	IN LOC	KING ENCLOSURE

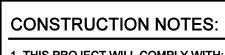
NOTE: LAY OUT ROWS SO THAT EMITTERS ARE TRIANGLE SPACED

CONTROLLER VALVE CALL-OUT
GALLONS PER MINUTE
CONTROLLER STATION NUMBER
CONTROL VALVE SIZE





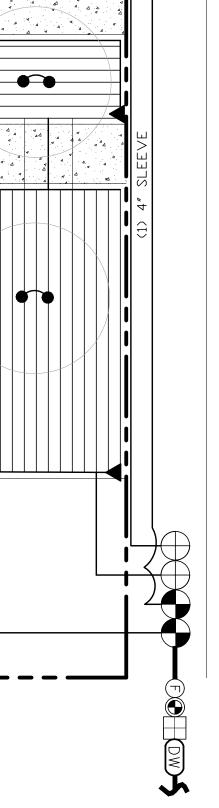
CONTRACTOR SHALL PROVIDE (1)HUNTER PRO-C OUTDOOR CONTROLLER CONTRACTOR SHALL PROVIDE (1) SOLAR-SYNC-SEN RAIN SENSOR. INSTALL PER MANUFACTURE'S INSTRUCTIONS. CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICES TO CONTROLLER.



2. THE HOUSE STREET NUMBER WILL BE VISABLE FROM THE STREET.

SYSTEMS.

1. THIS PROJECT WILL COMPLY WITH: 2017 CBC, CPC, AND 2017 CEC AND 2018 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES. 3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GERNERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN



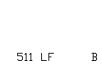


3/4″

A - 4

3/4″

AD

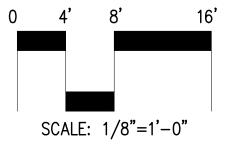


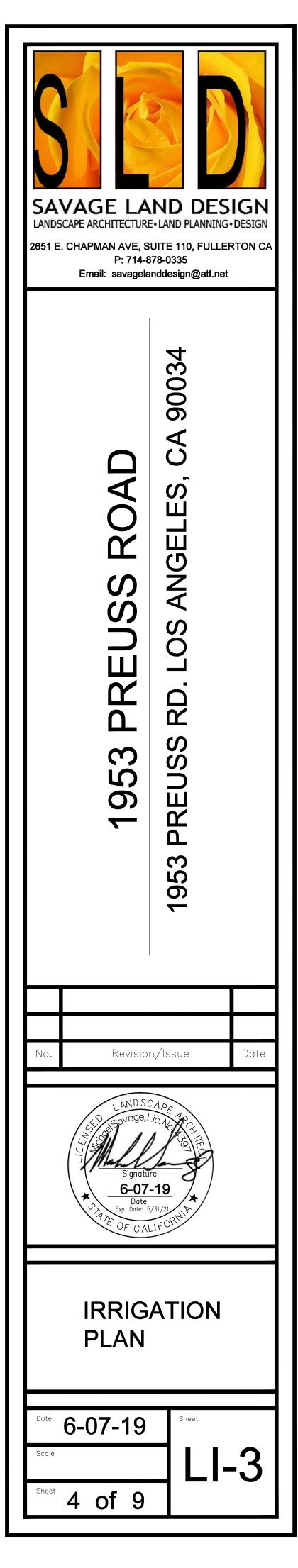
4 TREES A

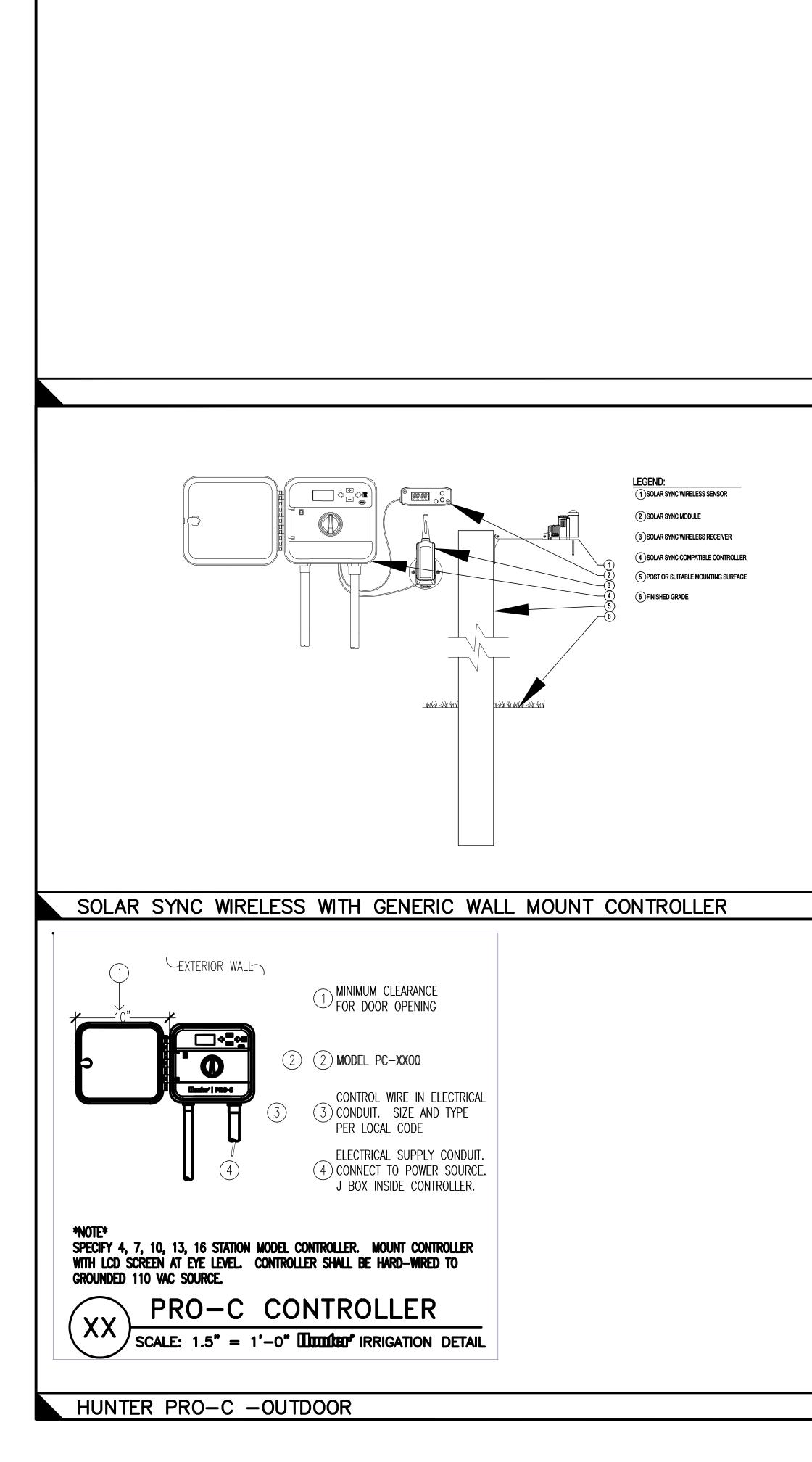
695 LF C

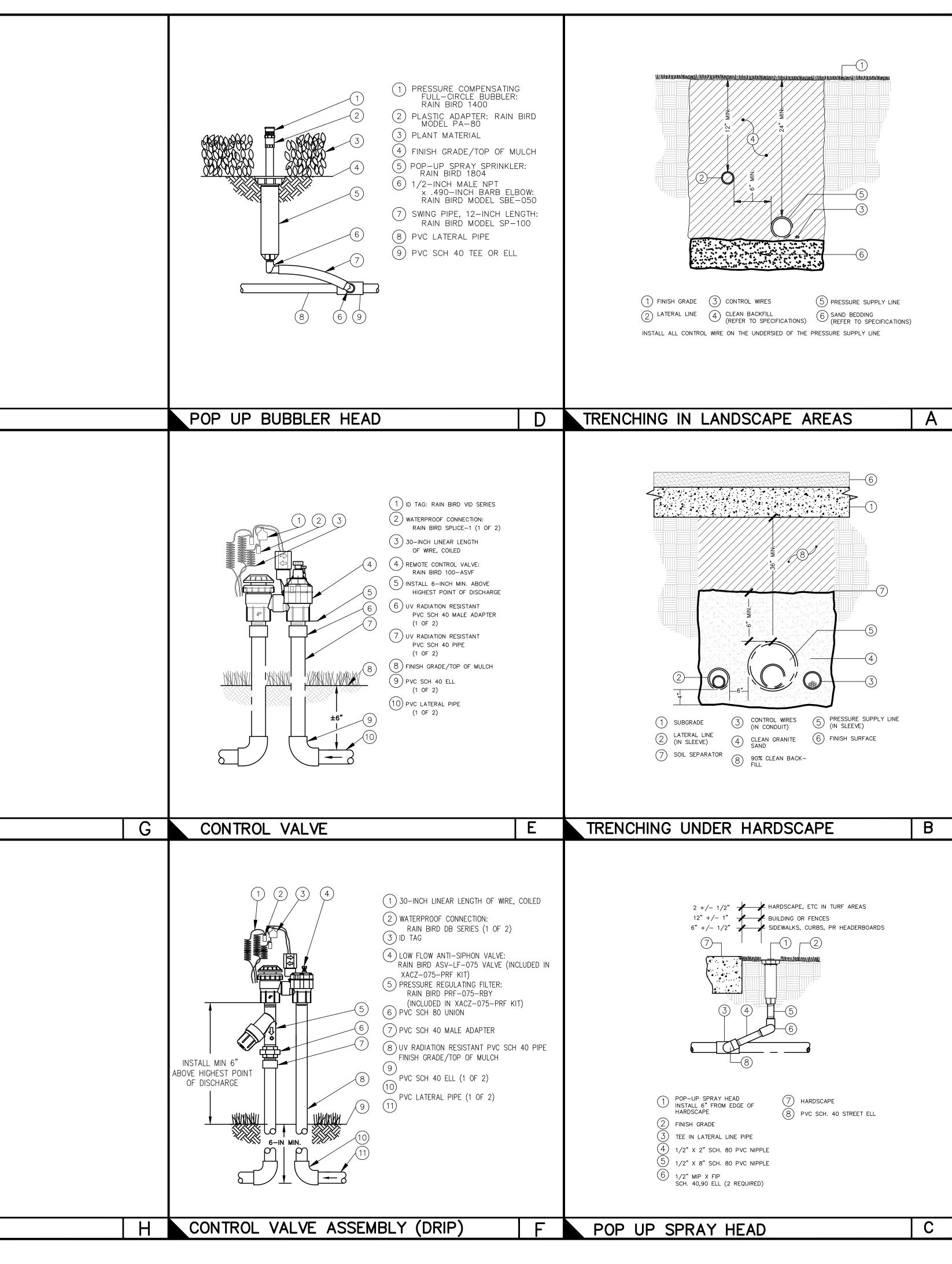
5 VINES D



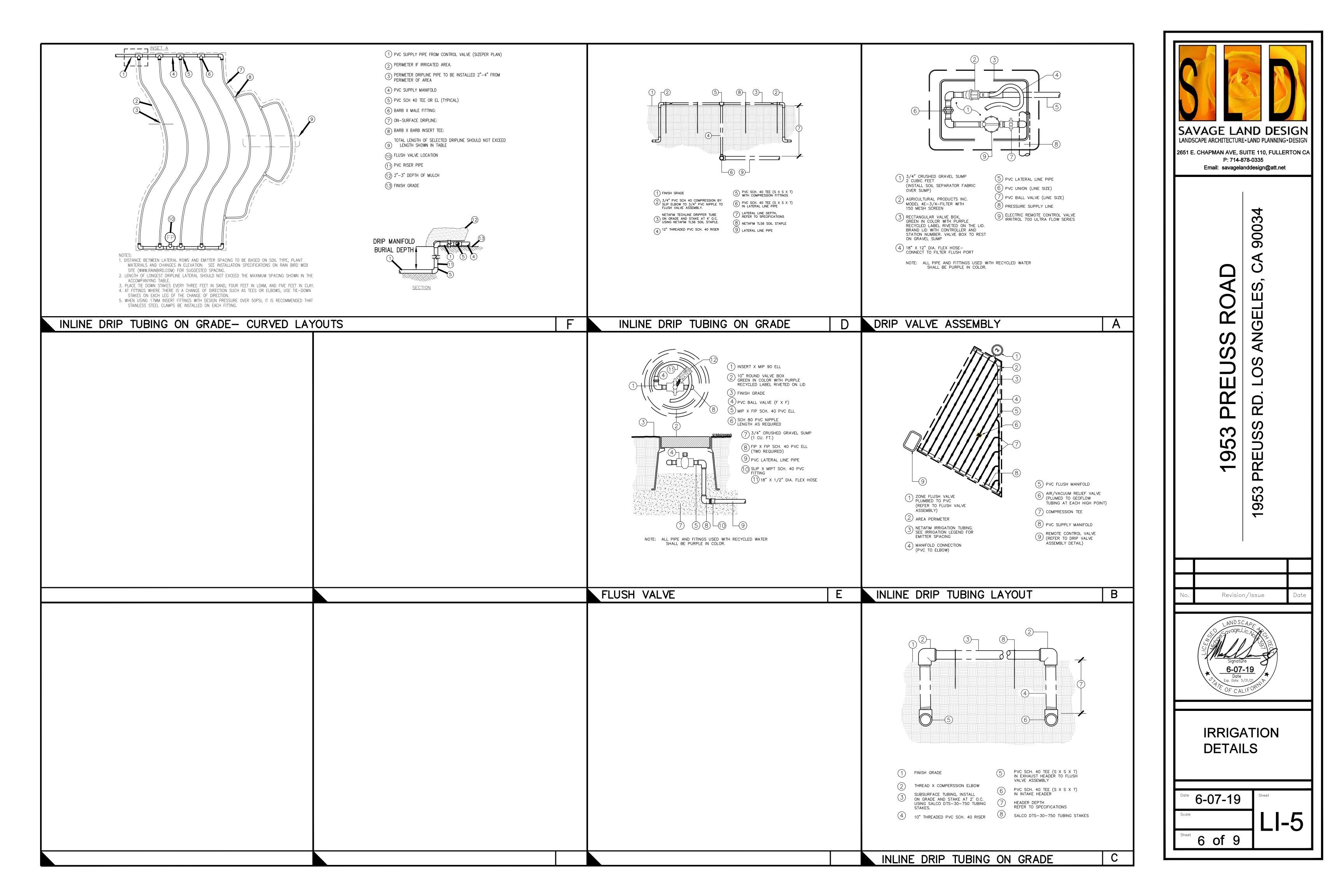


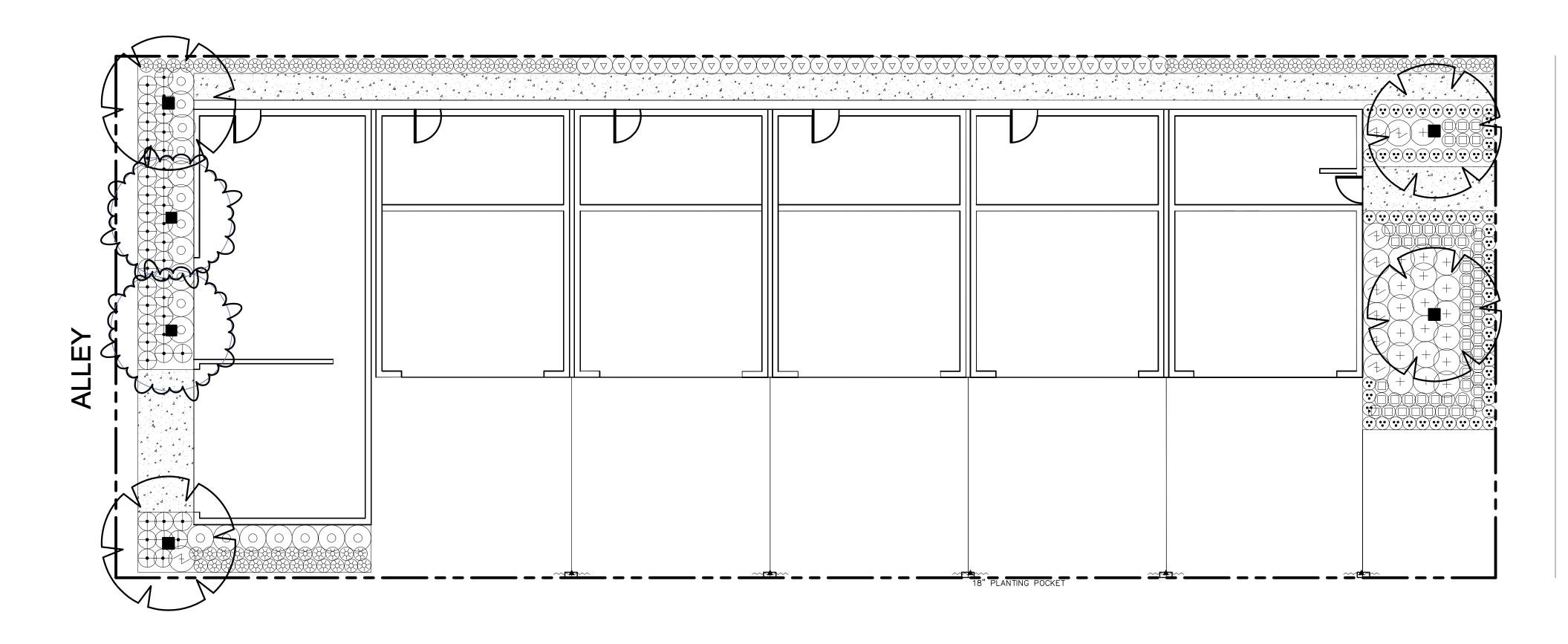








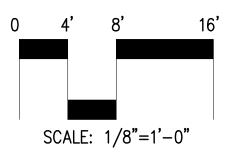


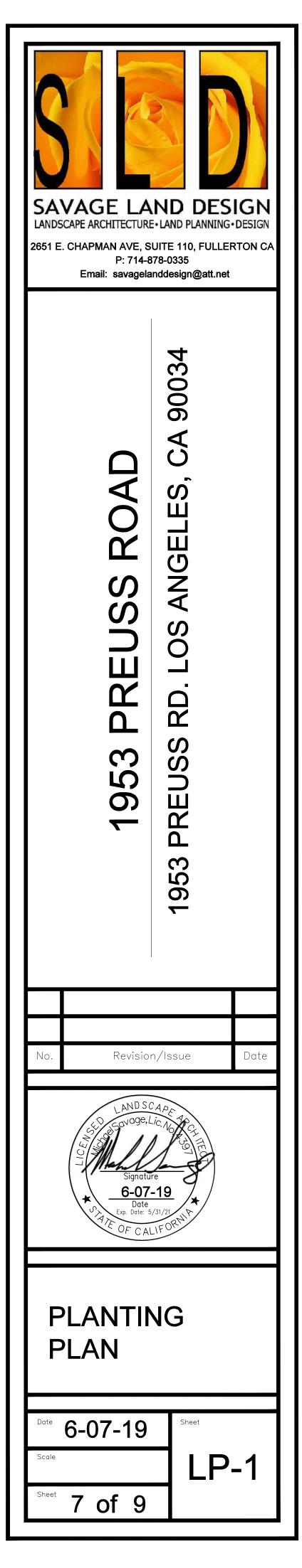


ING LEGEND				
DESCRIPTION		SIZE/ SPACING	QTY.	WUCOLS
CISTUS SALVIIFOLIUS	SAGELEAF ROCKROSE	5 GAL. @ 3' O.C.	19	L
ANIGOZANTHOS RUFUS 'BACKDRAFT'	RED KANGAROO PAW	5 GAL. @ 30" O.C.	41	М
WESTRINGIA FRUTICOSA 'SMOKEY'	COAST ROSEMARY	5 GAL. @ 3' O.C.	17	L
ALOE STRIATA	CORAL ALOE	1 GAL. @ 18" O.C.	60	L
LIRIOPE 'GIGANTEA'	GIANT LILY TURF	1 GAL. @ 2' O.C.	33	М
SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL. @ 18" O.C	61	L
SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL. 3' O.C.	9	L
DIANELLA TASMANICA 'VARIEGATA'	WHITE STRIPED TASMAN FLAX LILY	1 GAL. @ 18" O.C.	82	М
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL. STAKED 8'O.C.	5	М
ARBUTUS 'MARINA'	MARINA STRAWBERRY TREE	36" BOX	2	L
GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	36" BOX	4	L
	CISTUS SALVIIFOLIUS ANIGOZANTHOS RUFUS 'BACKDRAFT' WESTRINGIA FRUTICOSA 'SMOKEY' ALOE STRIATA LIRIOPE 'GIGANTEA' SENECIO SERPENS SALVIA LEUCANTHA DIANELLA TASMANICA 'VARIEGATA' TRACHELOSPERMUM JASMINOIDES ARBUTUS 'MARINA'	DESCRIPTION CISTUS SALVIFOLIUS SAGELEAF ROCKROSE ANIGOZANTHOS RUFUS 'BACKDRAFT' RED KANGAROO PAW WESTRINGIA FRUTICOSA 'SMOKEY' COAST ROSEMARY ALOE STRIATA CORAL ALOE LIRIOPE 'GIGANTEA' GIANT LILY TURF SENECIO SERPENS BLUE CHALKSTICKS SALVIA LEUCANTHA MEXICAN BUSH SAGE DIANELLA TASMANICA 'VARIEGATA' WHITE STRIPED TASMAN FLAX LILY TRACHELOSPERMUM JASMINOIDES STAR JASMINE ARBUTUS 'MARINA' MARINA STRAWBERRY TREE	DESCRIPTION SIZE/ SPACING SIZE/ SPACING CISTUS SALVIFOLIUS CISTUS SALVIFOLIUS CISTUS SALVIFOLIUS ANIGOZANTHOS RUFUS 'BACKDRAFT' RED KANGAROO PAW 5 GAL @ 30" O.C. ANIGOZANTHOS RUFUS 'BACKDRAFT' CDAST ROSEMARY 5 GAL @ 3" O.C. ALOE STRIATA CORAL ALOE 1 GAL @ 16" O.C. URIOPE 'GIGANTEA' GIANT LILY TURF 1 GAL @ 16" O.C. SENECIO SERPENS BLUE CHALKSTICKS 1 GAL @ 16" O.C. CIAL ALOUANTHA MEXICAN BUSH SAGE 5 GAL 3' O.C. TRACHELOSPERMUM JASMINOIDES STAR JASMINE 5 GAL STAKED 8' O.C. ARBUTUS 'MARINA' MARINA STRAWBERRY TREE 36" BDX	DESCRIPTION SIZE/ SPACING OTY. CISTUS SALVIFOLIUS SAGELEAF ROCKROSE 5 GAL. @ 3' O.C. 19 ANIGOZANTHOS RUFUS 'BACKDRAFT' RED KANGAROD PAW 5 GAL. @ 30' O.C. 41 WESTRINGIA FRUTICOSA 'SMOKEY' COAST ROSEMARY 5 GAL. @ 3' O.C. 17 ALDE STRIATA CORAL ALCE 1 GAL. @ 18" O.C. 60 LIRIOPE 'GIGANTEA' GIANT LILY TURF 1 GAL. @ 18" O.C. 61 SENECID SERPENS BLUE CHALKSTICKS 1 CAL. @ 18" O.C. 61 SALVIA LEUCANTHA MEXICAN BUSH SAGE 5 GAL. 3' O.C. 9 DIANELLA TASMANICA 'VARIEGATA' WHITE STRIPED TASMAN FLAX LILY 1 GAL. @ 18" O.C. 62 TRACHELDSPERMUM JASMINOIDES STAR JASMINE 5 GAL. STAKED 5 ARBUTUS 'MARINA' MARINA STRAWBERRY TREE 36" BOX 2

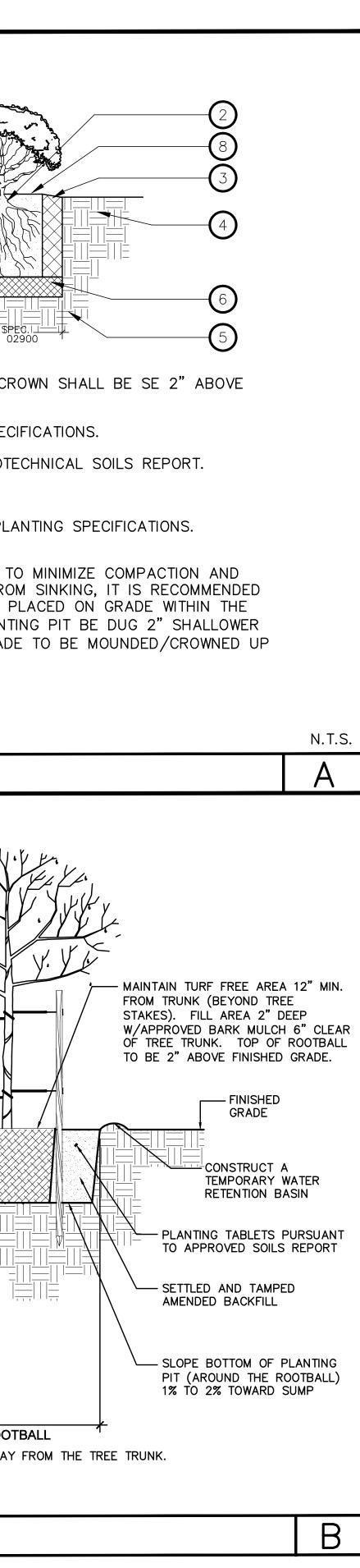








		 Inish grade. Finish grade. Container plant root ball- creations Backfill Mix PER planting spectors Backfill Mix PER planting spectors Compacted subgrade per geote Compacted backfill Mix PER planting spectors Compacted backfill Mix PER planting pit or that the plant the root ball from that the root ball from the root ball from that the root ball from that the root ball from that the root ball from the root ball from the root ball from that the root ball from the root
	1	DSHRPLNT SHRUB PLANTING
	CURE TTACH TOOTING. 2" VED SOILS	LODGE POLE PINE STAKES, 10 LONG, 2" DIA. FOR 15 GAL AND 24" BOX, 3" DIA. FOR 36" BOX, 2 REQUIRED— SET 7' ABOVE FINISH GRADE V.I.T. TWIST BRACE (2) PER TREE ATRIUM GRATE AT TOP OF PIPE, MAINTAIN 1"-2" FREEBOARD ABOVE SOIL LINE SUMP DRAINAGE SYSTEM (PROVIDE IF REQUIRED BY AGRONOMIC SOILS REPORT) UT BUD AGRONOMIC SOILS REPORT) J INCH DIA. PERFORATED PIPE WITH GEOTEXTILE "SOCK". EXTEND TO BOTTOM OF SUMP 3/8" DIA. PEA GRAVEL ENVELOPE AROUND PERFORATED PIPE. DO NOT FILL PIPE BARREL W/ GRAVEL. NOTE: MULCH TO BE 6 INCHES AWAY





WALLACE LAB	S	SOILS REPOI	RT	Print Date	Jun. 6, 2019
365 Coral Circle		Location		1953 Preuss Road, Lo	os Angeles
El Segundo, CA 9	0245	Requester		Michael Savage, Sava	ATTA
(310) 615-0116			* *		ge Lund Design
	1	graphic interpretation:	* very low, *		
ammonium bicar	1			* * * * high, * * * * * ve	
extractable - mg/kg soil	-		e ID Number	19-157-03	
Interpretation of data			e Description	Soil Sample Received	ALC: NO
low medium high		elements			graphic
0 - 7 8-15 over 15		phosphorus		13.91	***
0-60 60 - 120 121 - 18		potassium		62.40	***
0 - 4 4 - 10 over 1	0	iron		22.67	
0-0.5 0.6-1 over 1		manganese		8.25	***
0 - 1 1 - 1.5 over 1.		zinc		8.84	
0-0.2 0.3-0.5 over 0	10.00	copper		2.46	
0-0.2 0.2-0.5 over 1		boron		0.29	***
		calcium		318.05	***
		magnesium		313.36	
		sodium		101.07	***
		sulfur		10.55	
		molybdenum		0.09	***
		nickel		0.48	*
The following trace		aluminum		nd	*
elements may be toxic		arsenic		n d	*
The degree of toxicity		barium		1.40	
depends upon the pH	ot	cadmium		0.09	
the soil, soil texture,		chromium		0.02	
organic matter, and th	e	cobalt		0.10	
concentrations of the		lead		0.98	1
individual elements as		lithium		0.27	*
well as to their interac	tions.	mercury		nd	*
Th	_	selenium		nd	*
The pH optimum dep	ends	silver		n d	*
upon soil organic		strontium tin		2.31 n d	*
matter and clay conte		vanadium		0.62	
for clay and loam soil under 5.2 is too acidic		vanadium		0.02	
		Catanatian Entra	13	1	
6.5 to 7 is ideal		Saturation Extract			***
over 9 is too alkaline		pH value		7.77	
The ECe is a measure	e of	ECe (milli-		0.49	2053
the soil salinity:	10	mho/cm)			millieq/
1-2 affects a few plan		calcium		27.5	1.4
2-4 affects some plan		magnesium		10.9	0.9
> 4 affects many plan	ts.	sodium		52.7	2.3
		potassium		1.5	0.0
150		cation sum		50	4.6
problems over 150 pp	111	chloride		59	1.7
		nitrate as N		0.3	0.1
toxic over 800		phosphorus as P sulfate as S		25.2	1.6
WAR UVELOUU		anion sum		23.2	3.4
toxic over 1 for many	nlante	boron as B		0.26	515387 49
	-	SAR		2.2	**
increasing problems start est. gypsum requirem				38	195 D
esa gypsun requirem	1	iltration rate inche	s/hour	0.68	
	soil texture	intration rate mene	5/ 110 UI	sandy loam	
	son texture			61.0%	
	sailt			21.9%	
	clay			17.1%	
	lime (calcium	n carbonate)		no	
	Total nitroge			0.052%	
Total carbon carbon:nitrogen ratio organic matter based of				0.362%	
		gen ratio		6.9	
				0.72%	
	moisture con			2.5%	
half saturation percentage			18.4%		
Elements are expresse		1 0	turation ext	<u></u>	1
pH and ECe are measu Analytical data determ		ation paste extract. action passing a 2 r		not detected.	

WALLACE LABORATORIES, LLC 365 Coral Circle El Segundo, CA 90245 phone (310) 615-0116 fax (310) 640-6863

Michael Savage, savagelanddesign@att.net Michael Savage Land Design 2651 E. Chapman Avenue, Suite 110 Fullerton, CA 92831

Dear Michael,

The soil pH is moderately alkaline at 7.77. The salinity is modest at 0.49 millimho/cm.

low.

21.9% silt and 17.1% clay. The gravel content is 9.8%.

6.6.

The estimated rate of water percolation based on Soil Water Characteristics version 6.02.74 model developed by Keith Saxton of the USDA is moderately slow 0.68 inches per hour for normal soil compaction. The model is based on the soil texture, percent gravel and percent soil organic matter.

Recommendations

General soil preparation on a square foot basis. Broadcast the following uniformly; rates are per 1,000 square feet for a 6-inch lift. Incorporate them homogeneously 6" deep.

Ammonium sulfate (21-0-0) - 5 pounds Potassium sulfate (0-0-50) - 8 pounds agricultural gypsum - 20 pounds matter on a dry weight basis

June 7, 2019

RE: Soil Management Report for 1953 Preuss Road, Los Angeles Our ID No. 19-157-03, received June 5, 2019

- Nitrogen and sulfur are low. Phosphorus, iron, manganese, zinc, copper and magnesium are high. Potassium and boron are moderate. Sodium is moderate. SAR (sodium adsorption ratio) is 2.2. The concentrations of common non-essential heavy metals are
- The texture is sandy loam. Based on the non-gravel fraction, it contains 61.0% sand,
- Soil organic matter is low at 0.72% on a dry weight basis. The carbon:nitrogen ratio is

Organic soil amendment - about 4 cubic yards, sufficient for 3% to 5% soil organic

Soil Analyses Plant Analyses Water Analyses

Michael Savage Land Design, June 7, 2019, page 2

For the preparation on a volume basis, homogeneously blend the following materials into the soil. Rates are expressed per cubic yard:

Ammonium sulfate (21-0-0) $-1/4$ pound	about once per qu
Potassium sulfate $(0-0-50) - 1/3$ pound	
agricultural gypsum – 1 pound	Monitor the site v
Organic soil amendment - about 20% by volume, sufficient for 3% to 5% soil organic	
matter on a dry weight basis	
	Sincerely,
Organic soil amendment:	
1. Humus material shall have an acid-soluble ash content of no less than 6% and no more than 20%. Organic matter shall be at least 50% on a dry weight basis.	
2. The pH of the material shall be between 6 and 7.5.	
3. The salt content shall be less than 10 millimho/cm @ 25° C. on a saturated paste	Garn A. Wallace,
- 2011 2012년 2012년 - 2012년 - 2012년 2017년 - 2012년 2017년 - 2012년 2017년 - 2012년	

- 4. Boron content of the saturated extract shall be less than 1.0 part per million. 5. Silicon content (acid-insoluble ash) shall be less than 50%. 6. Calcium carbonate shall not be present if to be applied on alkaline soils. 7. Types of acceptable products are composts, manures, mushroom composts, straw,
- alfalfa, peat mosses etc. low in salts, low in heavy metals, free from weed seeds, free of pathogens and other deleterious materials.
- 8. Composted wood products are conditionally acceptable [stable humus must be present]. Wood based products are not acceptable which are based on red wood or cedar.
- 9. Sludge-based materials are not acceptable.
- 10. Carbon:nitrogen ratio is less than 25:1.

extract.

- 11. The compost shall be aerobic without malodorous presence of decomposition products.
- 12. The maximum particle size shall be 0.5 inch, 80% or more shall pass a No. 4 screen for soil amending.

Maximum total permissible pollutant concentrations in amendment in parts per million on a dry weight basis:

arsenic	12	copper	100	selenium	20
cadmium	15	lead	200	silver	10
chromium	200	mercury	5	vanadium	50
cobalt	30	molybdenum	20	zinc	200
		nickel	100		

Higher amounts of salinity or boron may be present if the soils are to be preleached to reduce the excess or if the plant species will tolerate the salinity and/or boron.

Soil Analyses Plant Analyses Water Analyses

Michael Savage Land Design, June 7, 2019, page 3

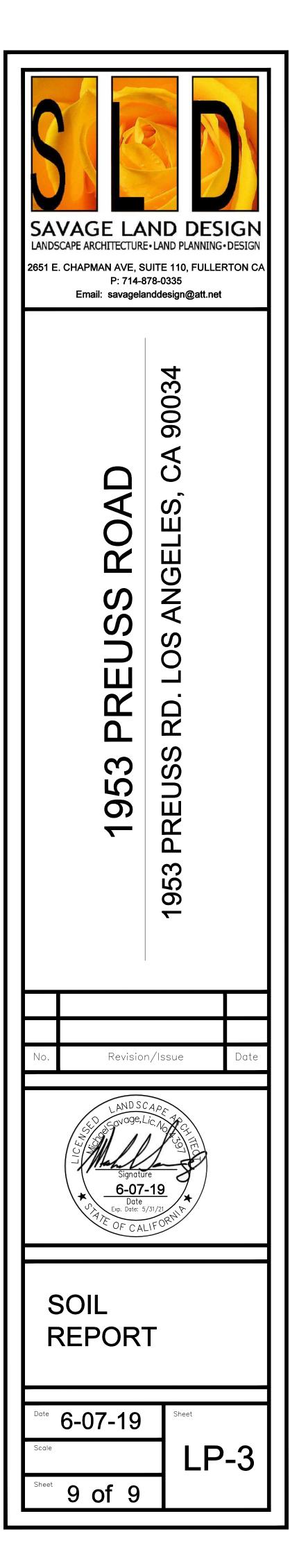
For site maintenance, apply ammonium sulfate (21-0-0) at 5 pounds per 1,000 square feet quarter.

with periodic soil testing. Adjust the maintenance program as needed.

lace, Ph. D.

GAW:n

Soil Analyses Plant Analyses Water Analyses



south robertson neighborhoods council



Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

South Robertson **Neighborhoods Council**

PO Box 35836 Los Angeles, CA 90035

(310) 295-9920 P:

(310) 295-9906 E:

E: info@soronc.org

soronc.org



City of Los Angeles Certified Neighborhood Council

Motion to support revised application for hotel project at 1434-1456 S **Robertson Blvd**

To be filled in by Exec Committee Agenda Item: Date: June 18, 2020

Proposed By:

Land Use Committee

Include motion in No **Consent Agenda?**

Background

The project representative first presented a version of this proposed hotel project at 1434-1450 S Robertson Blvd to the Land Use Committee on April 04, 2017, who voted 7-Y to 1-N to recommend the General Board support the project. The General Board then voted to submit a letter of support for the project at their April 20, 2017 meeting, with a vote of 16-Y, 0-N, 0-A.

Since then, the project owner acquired an additional adjacent property at 1456 S Robertson Blvd and revised the project application accordingly.¹ The project was revised from a 6-story, 112-quest-room hotel with 73 parking spaces to a 7-story, 136-guest-room hotel with 77 parking spaces. The project representative presented this revised project to the Land Use Committee at their February 04, 2020 meeting. The committee was pleased to see that the revised project incorporated many of the committee's and community's critiques of the original project, including a coffee shop that is open to the community, increased landscaping along Robertson Blvd, and relocating vehicle drop-off/pick-up circulation away from the street frontage. The committee voted 8-Y, 0-N, 0-A to recommend the General Board support the project.

The requested entitlements include a zone change from C2-1-O to RAS4-1-O, a Conditional Use Permit to allow a hotel within 500 feet of an R zone, and Site Plan Review for a development in excess of 50,000 square feet of non-residential floor area. The subject property is 26,271 square feet with no height limit.

Proposed Motion

Submit a letter in support of the project to City Planner Oliver Netburn (oliver.netburn@lacity.org) to be included in case file for the hotel project at 1434-1456S Robertson Blvd; CPC-2019-7522-VZC-CU-SPR; ENV-2019-7523-EAF.

Considerations

Committee review: (highly recommended)	Votes For:	8	Against: 0	
Arguments for:		Argum	ents against:	
The zone change (and sub increased FAR) permits the utilize a larger footprint, the the building's program to fi stories.	e building to ereby allowing	building	sting commercial and apartments will be demolished. Tenants displaced.	nt





The neighborhood is in need of a reasonably-priced hotel option.

ⁱ Supporting Documents/Drawings: https://www.dropbox.com/sh/g6j4rhp6z9ndv3y/AAB7R2ISuqpI1oN7oF3whg7_a?dI=0





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920

F: (310) 295-9906

E: info@soronc.org

soronc.org



City of Los Angeles Certified Neighborhood Council Oliver Netburn Department of City Planning 200 N. Spring Street Los Angeles, CA 90012

19 June 2020

Re: Case Number CPC-2019-7522-VZC-CU-SPR

Dear Mr. Netburn:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed hotel project at 1434-1456 S Robertson Blvd.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The addition of a reasonably-priced hotel in this neighborhood is much needed and the zone change would allow the project to utilize a larger footprint, thereby reducing the number of stories necessary to house the building's program. Additionally, SORO NC is pleased to note that the revised project incorporates many of the Land Use Committee's and community's critiques of the original project, including a coffee shop that is open to the community, increased landscaping along Robertson Blvd, and relocating vehicle drop-off/pick-up circulation away from the street frontage.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein President, South Robertson Neighborhoods Council

Cc: Jordan Beroukhim, Office of Council Member Herb Wesson Krystal Návar, SORO NC Land Use Committee Chair

Developer Guidelines

Requested SORO NC Land Use Committee meeting date	Tuesday, February 4, 2020
Project information	
Planning case number	CPC-2019-7522 VZC
City hearing date	Tuesday, February 4, 2020
Project name	Sinan Sinanian
Project address	1434-1450 S Robertson Blvd Los Angeles , 90035
Contact information	
Information for	Owner
Name	Eric Liberman
Address	18980 Ventura Blvd. # 200 Tarzana , CA, 91356
Phone number	(818) 996-9666
Email	ericl@qesqms.com
Representative of the	Applicant
Representative name	Eric Liberman
Address	14549 Archwood St Los Angeles, CA, 91405
Phone number	(818) 997-8033
Email	qesadmin@qesqms.com
Project background	

1. Description of what is being requested of this Committee that is not "by right"	This project was approved by the SORO NHC on 04/20/2017. This is to present updates and revisions in design.
2. Description of project	
a. Size of property	26271
b. Size of proposed building(s)	7880
3. Proposed use of property	7- Story hotel 68 feet in height with 136 guest rooms and 77 parking spaces over one level of subterranean parking.
4. Describe the community benefit from your proposed use of the property	the neighborhood is in need of a reasonable priced hotel options.
5. Parking spaces	
a. Currently on property	0
b. Required by code	71
c. Breakdown of the actual spaces	
6. Trash enclosure and loading dock	
a. Trash enclosure	Yes
b. Loading dock	Yes
Additional notes on trash and loading	Trash enclosure off the alley.
7. Have you provided any additional amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community?	N/A

8. Outreach

For discretionary approval, SORO requires, *prior* to this meeting, your notification of neighbors within a 500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

9. Name and ID of all environmental or planning documents prepared to	Name	ID	Link (if available)
support this project. Click the + sign to		2019-7523 EAF	
add more lines.			

10. Additional comments

This project was approved by the SORO NHC on 04/20/2017. This is to present updates and revisions in design.

APPLICATIONS:



DEPARTMENT OF CITY PLANNING APPLICATION

柳田					
Er Ap	THIS BOX FOR CITY PLANNING STAFF USE ONLY CPC 2019-7522-VZC-CU-SPR ENV 2019-7523-EAF Use Number Oplication Type Ase Filed With (Print Name) Kit Awakuni Date Filed [2-17-19]				
Ap	plication includes letter requesting:				
	Waived hearing Concurrent hearing Related Case Number				
1	Provide all information requested. Missing, incomplete or inconsistent information will cause delays. All terms in this document are applicable to the singular as well as the plural forms of such terms. Detailed filing instructions are found on form CP-7810 PROJECT LOCATION				
1.	Street Address ¹ 1434 - 1456 S. Robertson Blvd. Unit/Space Number				
	Legal Description ² (Lot, Block, Tract) Lot 14,15,16,17,18,19 and 20Tract 6721				
	Assessor Parcel Number 4303-001-009,010,011,014 and 039 Total Lot Area 26,271 sf				
2.	PROJECT DESCRIPTION Present Use Commercial and Residential Proposed Use Development of a Hotel with 136 guest rooms and 77 parking spaces				
	Project Name (if applicable) 1434 - 1456 S. Robertson Blvd				
	Describe in detail the characteristics, scope and/or operation of the proposed project <u>7 story hotel</u> containing 136 rooms 77 parking spaces over one level of subterranean parking.				
	Additional information attached I YES I NO				
	Complete and check all that apply:				
	Existing Site Conditions				
	□ Site is undeveloped or unimproved (i.e. vacant) □ Site is located within 500 feet of a freeway or railroad				
	Site has existing buildings (provide copies of building permits)				

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org) ² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

	THIS BOX FOR	R CITY PLANNING STAFF USE ONLY
Case Number		
Env. Case Number		
Application Type		
Case Filed With (Print Nar	ne)	Date Filed
Application includes letter req	uesting:	
Waived hearing	Concurrent hearing Related Case Number	☐ Hearing not be scheduled on a specific date (e.g. vacation hold)

Provide all information requested. Missing, incomplete or inconsistent information will cause delays. All terms in this document are applicable to the singular as well as the plural forms of such terms. Detailed filing instructions are found on form CP-7810

1.	PROJECT LOCATION					
	Street Address ¹ 1434 - 1456 S. Robertson Blvd.	Unit/Space Number				
	Legal Description ² (Lot, Block, Tract) Lot 14,15,16,17,18,19 and 20Tract 6721					
	Assessor Parcel Number 4303-001-009,010,011,014 and 039 Total Lot Area	26,271 sf				
2.	PROJECT DESCRIPTION					
	Present Use Commercial and Residential					
	Proposed Use Development of a Hotel with 136 guest rooms and 77 parking spaces					
	Project Name (if applicable) 1434 - 1456 S. Robertson Blvd					
	Describe in detail the characteristics, scope and/or operation of the proposed project containing 136 rooms 77 parking spaces over one level of subterranean parking.	7 story hotel				
	Additional information attached Z YES INO					

Existing Site Conditions

- □ Site is undeveloped or unimproved (i.e. vacant)
- □ Site has existing buildings (provide copies of building permits) □ Site sch

[□] Site is located within 500 feet of a freeway or railroad

Site is located within 500 feet of a sensitive use (e.g. school, park)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org) ² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Site is/was developed with use that could release
hazardous materials on soil and/or groundwater (e.g.
dry cleaning, gas station, auto repair, industrial)

Proposed Project Information

- (Check all that apply or could apply)
- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- □ Grading
- Removal of any on-site tree
- Removal of any street tree

- Site has special designation (e.g. National Historic Register, Survey LA)
- Removal of protected trees on site or in the public right of way
- New construction: _____78,800 ____square feet
- □ Accessory use (fence, sign, wireless, carport, etc.)

D NO

- Exterior renovation or alteration
- □ Change of use <u>and/or</u> hours of operation
- □ Haul Route
- Uses or structures in public right-of-way
- □ Phased project

Housing Component Information

Number of Residential Units:	Existing_	10	– Demolish(ed) ³	10	+ Adding	0	= Total	0
Number of Affordable Units ⁴	Existing_	0	– Demolish(ed)	0	+ Adding _	0	= Total	0
Number of Market Rate Units	Existing_	10	Demolish(ed)	10	+ Adding	0	= Total	0
Mixed Use Projects, Amount of	Non-Resider	ntial Flo	oor Area:		NA		square	e feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form	to BOE? (requ	uired) 🛛	YES	D NO	
Is your project required to dedicate land to the public r	ight-of-way?	Z YES	D NO		
If so, what is/are your dedication requirement(s)?	ft.				

If you have dedication requirements on multiple streets, please indicate: _

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36?

Authorizing Code Section 12.32 Legislative Actions

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: A Vesting Zone Change from C2-1-O to RAS4-1-O

Authorizing Code Section 12.24 W.24

Code Section from which relief is requested (if any): ____

Action Requested, Narrative: A Conditional Use Permit to allow a Hotel within 500 feet of an R zone.

Additional Requests Attached

D NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.
⁴ As determined by the Housing and Community Investment Department

Z YES

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site?	□ YES	☑ NO
If YES, list all case number(s)		

If the <u>application/project</u> is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No.	Ordinance No.:		
Condition compliance review	Clarification of Q (Qualified) classified	cation	
Modification of conditions	Clarification of D (Development Lim	itations) class	sification
Revision of approved plans	Amendment to T (Tentative) classifi	cation	
Renewal of entitlement			
□ Plan Approval subsequent to Master Condit	ional Use		
For purposes of environmental (CEQA) analysis	, is there intent to develop a larger project?	□ YES	□ NO
Have you filed, or is there intent to file, a Subdiv	ision with this project?	□ YES	□ NO
If YES, to either of the above, describe the other	parts of the projects or the larger project below, v	vhether or not	currently
filed with the City:			

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

a.	Specialized	Requirement	Form	CUP /	Site	Plan Review

- b. Geographic Project Planning Referral Yes
- c. Citywide Design Guidelines Compliance Review Form Yes
- d. Affordable Housing Referral Form NA
- e. Mello Form NA
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form NA
- g. HPOZ Authorization Form NA
- h. Management Team Authorization NA
- i. Expedite Fee Agreement Yes
- j. Department of Transportation (DOT) Referral Form Yes
- k. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) Yes
- I. Order to Comply NA
- m. Building Permits and Certificates of Occupancy NA
- n. Hillside Referral Form NA
- o. Low Impact Development (LID) Referral Form (Storm water Mitigation) Yes
- p Proof of Filing with the Housing and Community Investment Department NA
- q. Are there any recorded Covenants, affidavits or easements on this property?
 U YES (provide copy)
 NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant	name Sinan Sinanian			
Company/F	irm Sinanian Development Inc.			
Address:	18980 Ventura Blvd. Ste. #200		Unit/Space Number	
City	Tarzana	State CA	Zip Code: _91356	
Telephone	818-996-9666	E-mail: sinan@s	inanian.com	
Are you in a	escrow to purchase the subject property?	□ YES	□ NO	
Property C	wner of Record	cant 🛛 Differer	nt from applicant	
Name (if dif	ferent from applicant) <u>Harkham Family</u>	Enterprises (Dan Harkh	am)	
Address	1006 North Crescent Drive		Unit/Space Number	
City	Beverly Hills	State <u>CA</u>	Zip Code: 90210	
Telephone	(323) 586-4600	E-mail: djharkha	m@me.com	
	resentative name Eric Lieberman irm QES, Inc.			
Address:	14549 Archwood Street		Unit/Space Number 308	
City	Van Nuys	State CA	Zip: <u>91405</u>	
Telephone 818-997-8033 E-mail: EricL@qesqms.com				
relephone	010-997-0035	E-mail: Encl@de	squis.com	
	cify Architect, Engineer, CEQA Consultan		sqms.com	
Other (Spe Name <u>Aran</u>	cify Architect, Engineer, CEQA Consultan	t etc.) <u>Architect</u>		
Other (Spe Name <u>Aran</u>	cify Architect, Engineer, CEQA Consultan n Alajajian	t etc.) <u>Architect</u>		
Other (Spe Name <u>Aran</u> Company/F	cify Architect, Engineer, CEQA Consultan Alajajian irm <u>Alajajian Marcoosi Architects, Inc.</u> 320 W. Arden Ave	t etc.) <u>Architect</u>		
Other (Spe Name <u>Aran</u> Company/F Address: City	cify Architect, Engineer, CEQA Consultan Alajajian irm <u>Alajajian Marcoosi Architects, Inc.</u> 320 W. Arden Ave	t etc.) <u>Architect</u>	Unit/Space Number <u>120</u> Zip Code: <u>91203</u>	

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

- 7. PROPERTY OWNER AFFIDAVIT. Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.
 - Ownership Disclosure. If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
 - Letter of Authorization (LOA). A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
 - Grant Deed. Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
 - Multiple Owners. If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
 - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
 - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
 - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
 - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Property Owner's signatures must be signed/notarized in the presence of a Notary Public. The City requires an original signature from the property owner with the "wet" notary stamp. A Notary Acknowledgement is available for your convenience on following page.

Signature	Date 12-6-19
Print Name Dign HARkHAM	
Signature	Date
Print Name	

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of	5 Angeles	
on recently to	,2019	_ before me, <u>Talin Aus lanian</u> , Wolts re Rublic (Insert Name of Notary Public and Title)
personally appeared	Dan	Harkhan, who
instrument and acknow	ledged to me th	tory evidence to be the person(s) whose name(s) is/are subscribed to the within at he/she/they executed the same in his/her/their authorized capacity(ies), and that

by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

٩

Signature

(Seal)

mas	Anna
ALAL OF PA	TALINE ARSLANIAN
16.30	Notary Public - California
A PARTY A	Los Angeles County
i	Commission # 2290865
tenote:	My Comm. Expires Jun 1, 2023
hanne	

- 8. APPLICANT DECLARATION. A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
 - a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: Print Name:

Date: 12/10/19

OPTIONAL

NEIGHBORHOOD CONTACT SHEET

 SIGNATURES of adjoining or neighboring property owners in support of the request are <u>not required</u> but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is <u>not required</u>, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).



VESTING TENTATIVE TRACT #74677

QMS Quality Mapping Service	THOMAS BROTHERS Page: 632 Grid: J4	4303-001-(009-011,039)	ASSESSOR PARCEL NUMBER: 4303-001-(009-011,039) SITE ADDRESS: 1434-1450 S. ROBERTSON BLVD.		
 14549 Archwood St. Suite 301 Van Nuys, California 91405 Phone (818) 997-7949 - Fax (818) 997-0351 qmapping@qesqms.com 	LEGAL LOT: 14 - 19 TRACT: 6721 M B 71-21	CD: 05CT: 2170.02PA: 106 WILSHIRE	CASE NO: SCALE: 1" = 100'		NORTH
DRAWN BY:	CONTACT: QES,INC	USES: FIELD	D.M.: <u>129B169</u> PHONE: 818-997-8033	NET AC: 0.52 -	 QMS: 17-091

Notice of Public Meeting

The South Robertson Neighborhoods Council will conduct a public meeting to review the application below. You are invited to attend and provide comment.

South Robertson Neighborhoods Council Land Use and Economic Development Committee Meeting Tuesday, February 04, 2020 @ 7:00 pm Simon Wiesenthal Center 1399 Roxbury Dr., 3rd Floor Los Angeles, CA 90035

Applicant: Sinanian Development, LLC

Property Address: 1434 – 1450 S. Robertson Blvd.

Applicant's Request: For the construction, use and maintenance of a boutique hotel 68 feet in height with 136 guest rooms and 77 parking spaces (63 required spaces) located on the ground floor and in a subterranean garage, the following entitlements are requested:

- Pursuant to LAMC Section 12.32 a Vesting Zone Change from C2-1-O to RAS4-1-O.
- Pursuant to LAMC Section 12.24 W. a **Conditional Use Permit** to allow a Hotel within 500 feet of an R zone.
- Pursuant to LAMC Section 16.05 **Site Plan Review** for a development project in excess of 50,000 square feet of non-residential floor area.

The South Robertson Neighborhoods Council is an advisory board to the Los Angeles City Council and was established to enable the Stakeholders of the South Robertson Community Council area to be informed of and play an active role in the governmental decision-making process affecting this community.

The South Robertson Neighborhoods Council is the certified Neighborhood Council and its boundaries are Beverly Hills on the north; Le Doux Ave, Olympic Blvd., and La Cienega Blvd. on the east; 10 Freeway, Exposition Blvd;, Robertson Blvd., and Culver City on the south; and Beverly Hills, Pico Blvd., Motor Ave., and National Blvd. on the west.

For SORONC boundary map and more information, please visit www.soronc.org.



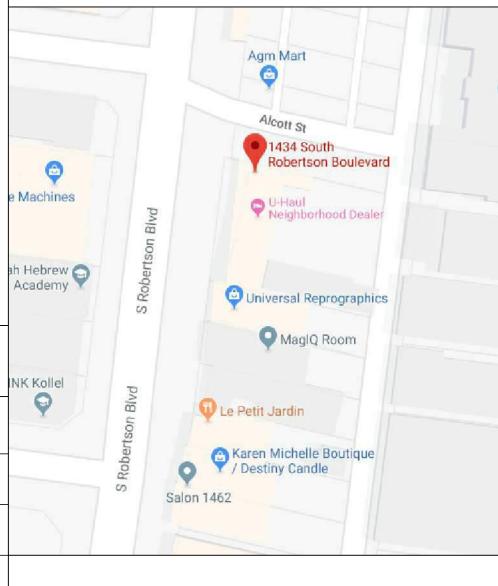
SHEET INDEX	PROJECT SUM	IMARY		
ARCHITECTURAL:	SCOPE OF WORK		PARKING ANALYSIS	
A-0.1 COVER SHEET C-1 SURVEY A-1.0 SITE PLAN	SEVEN STORY, 136 ROOM, HOTEL OVE SUBTERRANEAN GARAGE.	ER ONE LEVEL OF	2ND 30 ROOMS - 1 PARKING SI	
A-1.1 ROOF PLAN A-2.0 PARKING PLAN		PRINKLERED THROUGHOUT L AND BASEMENT GARAGE)	AFTER 60 ROOMS - 1 PARKING S TOTAL PARKING SPACE REQUIR	
A-2.1 1ST FLOOR PLANA-2.2 2ND FLOOR PLANA-2.3 3RD FLOOR PLANA-2.4 4TH FLOOP PLAN	EXISTING ZONING C2-1-0 PROVIDED ZONING RAS4- OCCUPANCY GROUP: R1	C		77 SPACES (5% = 4 EV STALLS IS INCLUDED IN THE UNDERGROUND LEVEL PARKING (
A-2.4 4TH FLOOR PLANA-2.5 5TH FLOOR PLANA-2.6 6TH FLOOR PLANA-2.7 7TH FLOOR PLAN	STORIES: 7 BUILDING HEIGHT: 84'-0"			66 SPACES 11 SPACES
A-3.1 WEST ELEVATIONA-3.2 EAST ELEVATIONA-3.3 SOUTH ELEVATION	BUILDING AREA SUMMAF	RY	REQUIRED BICYCLE PA	RKING = 12 SPACES
A-3.4 NORTH ELEVATION	SITE AREA	26,271 SQ.FT.	SHORT TERM	LONG TERM
A-3.5 WEST ELEVATION COLOR A-3.6 EAST ELEVATION COLOR			1 PER 20 GUEST ROOMS	1 PER 20 GUEST ROOMS
A-3.6 EAST ELEVATION COLOR A-3.7 SOUTH ELEVATION COLOR		- 8,700 SQ.FT.	119/20=5.95 REQUIRED	119/20=5.95 REQUIRED
A-3.8 NORTH ELEVATION COLOR A-4.1 SECTION	SECOND FLOOR THIRD FLOOR	- 10,100 SQ.FT. - 12,000 SQ.FT. - 12,000 SQ.FT. - 12,000 SQ.FT. 12,000 SQ.FT.	PROPOSED BICYCL	E PARKING = 12 SPACES
A-4.2 SECTION	FOURTH FLOOR		SHORT TERM	LONG TERM
A-4.3 SECTION A-4.4 SECTION			6	6
A-8.1 PERSPECTIVE	SIXTH FLOOR SEVENTH FLOOR	- 12,000 SQ.FT. - 12,000 SQ.FT.		
A-8.2 PERSPECTIVE A-8.3 PERSPECTIVE		,	1ST FLOOR OUTDOOR SEATING	G AREA: 1,590 SQ. F.T
A-9.1 MATERIAL BOARD	TOTAL FLOOR AREA	- 78,800 SQ.FT.		
	SUBTERRANEAN GARAGE	- 23,750 SQ.FT.	2ND FLOOR (POOL DE	CK) OPEN SPACE AREA SUMMARY
LANDSCAPE:	OUTDOOR POOL / DECK AREA	- 4,200 SQ.FT.	SWIMMING POOL AREA:	375 SQ. FT. (INCLUDED INTO OPEN SPACE ARE
L-1.0 SCHEMATIC LANDSCAPE PLAN	F.A.R.:	78,800 / 26,271 = 3.0		2,240 SQ. FT. = 2,240 / 5,060 = 44.2%
L-1.1 SCHEMATIC LANDSCAPE PLAN	LANDSCAPE AREA	4,130 / 26,271 = 15.6%	OUTDOOR SITTING AREA:	2,275 SQ. FT.
			TOTAL OPEN SPACE AREA:	5,060 SQ. FT.
	COMMERCIAL AREA (RETAIL):	945 SQ. FT.		
	LEGAL DESCRIP	ΤΙΟΝ	S	ETBACK TABLE
	ASSESSOR NUMBER: 430300100)9	NOF	RTH SETBACK: MIN 10'-0", MAX 12
	TRACT # 6721 LOTS 14 AND 15 A AT SW COR OF LOT 16 TH N 7¢0		SOL	JTH SETBACK: MIN 9'-6", MAX 12'
	TH S 77¢02'50" E 125 FT TH S 7¢0		EAS	ST SETBACK: MIN 15'-0", MAX 15
	FOR MISSING PORTION LOT 1			ST SETBACK: MIN 12'-4", MAX 12-4"

	SUBTERRANEAN GARAGE	FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		FOURTH FLOOR		FIFTH FLOOR		SIX
FLOOR AREA	23,750 SQ. FT	8,700 SQ. FT		12,000 SQ. FT		10,500 SQ. FT		10,500 SQ. FT		10,500 SQ. FT		10,
	ROOM DESCRIPTION	ROOM DESCRIPTION		ROOM DESCRIPTION		GUEST ROOM TYPE # OF G	GR	GUEST ROOM TYPE	#OF GR	GUEST ROOM TYPE #	OF GR	GUE
	ELECTRICAL ROOM MECHANICAL ROOM ELECTRIC VOLT MACHINE ROOM LONG TERM BICYCLE ELEVATOR LOBBY ELEVATOR STAIRS	 LOBBY MEETING ROOM RESTROOM RECEPTION BAGGAGE HOLD OFFICE RETAIL SPACE BREAKFAST AREA 	1 1 2 1 1 2 1 1	RESTROOM LAUNDRY HOUSEKEEPING GM OFFICE STORAGE SERVER STAIRS MEETING ROOMS	1 1 1 1 2 2	SWIMMING POOL POOL EQUIPMENT FITNESS HOUSE KEEPING STORAGE RESTROOM STAIRS ELEVATORS	1 1 1 2 2 2	HOUSE KEEPING STAIRS ELEVATORS	1 2 2	HOUSE KEEPING STAIRS ELEVATORS	1 2 2	HOU STA ELE
TOTAL GUEST ROOMS		HOUSE KEEPING	1	RESTROOMS GR QQ GR ADA K	2 11 3 14	GR K UNIT 3 GE ADA K 3	16 3 3 22	GR QQ UNIT GR K UNIT GE ADA K	19 3 3 25	GR QQ UNIT GR K UNIT GE ADA K	19 3 3 25	GR (GR GE /

1434-1450 S. ROBERTSON LOS ANGELES, CA



VICINITY MAP



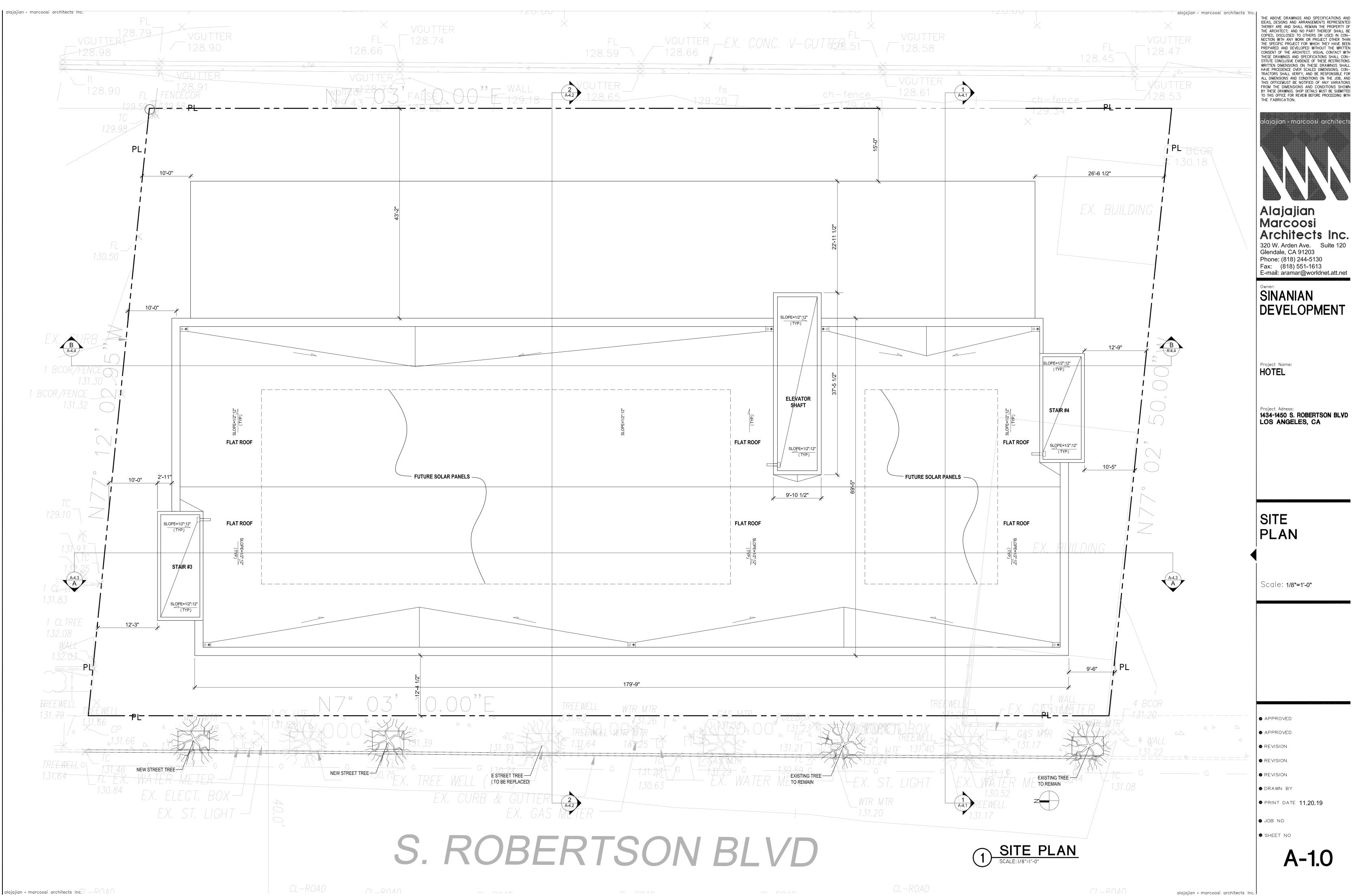
	alajajian • marca	osi architects Inc. THE ABOVE DRAWINGS AND SPECIFICATIONS AND
<image/>		IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED
CONSULT	ANTS	Owner: SINANIAN DEVELOPMENT
Pico Woo Senior Ho LANDSCAPE ARO 50 SURVEYOR	AN-MARCOOSI ARCHITECTS INC. <i>N</i> . ARDEN AVENUE, SUITE 120 GLENDALE, CA 91203 8) 244-5130 FAX: (818) 551-1613 -MAIL: ARAMAR@ATT.NET COURTLAND STUDIO 5 E COLORADO BLVD. MEZZ C PASADENA, CA 91101 T: (818) 788-9382 F: (818) 788-3217 BRYAN GENTRY, L.S. 6345 GENTRY SURVEYING CO. 255 E. EASY ST., UNIT B SIMI VALLEY, CA. 93065 (5) 527-5299 FAX: (805) 527-2349	Project Name: HOTEL Project Adress: 1434-1450 S. ROBERTSON BLVD LOS ANGELES, CA
		SHEET
SIXTH FLOOR	SEVENTH FLOOR	
10,500 SQ. FT	10,500 SQ. FT	
GUEST ROOM TYPE # OF G	R GUEST ROOM TYPE # OF GF	R
HOUSE KEEPING1STAIRS2ELEVATORS2	HOUSE KEEPING1STAIRS2ELEVATORS2	 APPROVED APPROVED APPROVED REVISION
GR QQ UNIT 19 GR K UNIT 3 GE ADA K 3 25	GR QQ UNIT 19 GR K UNIT 3 GE ADA K 3	 REVISION REVISION REVISION REVISION DRAWN BY DRAWN BY PRINT DATE 11.20.19 JOB NO SHEET NO

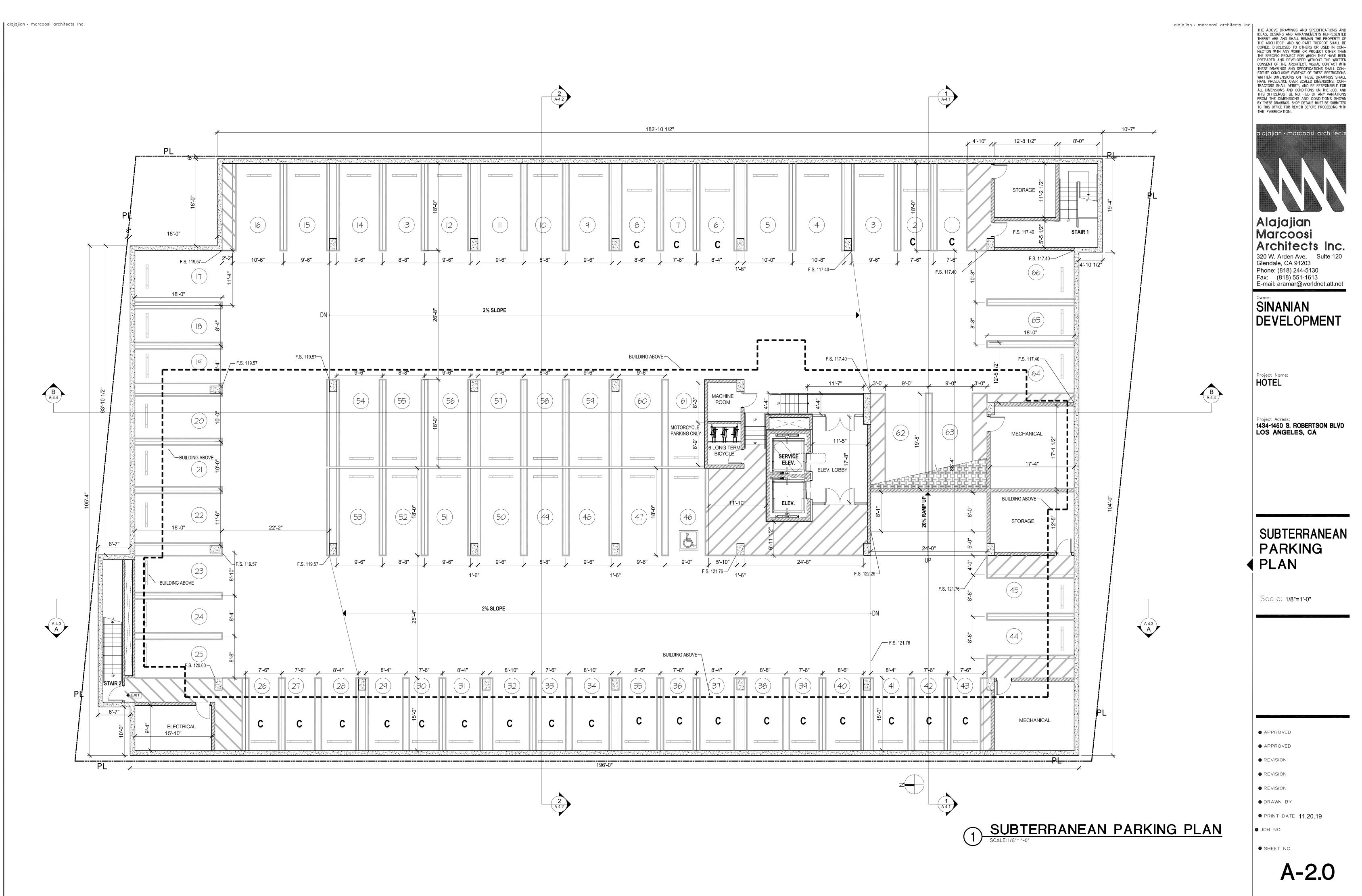
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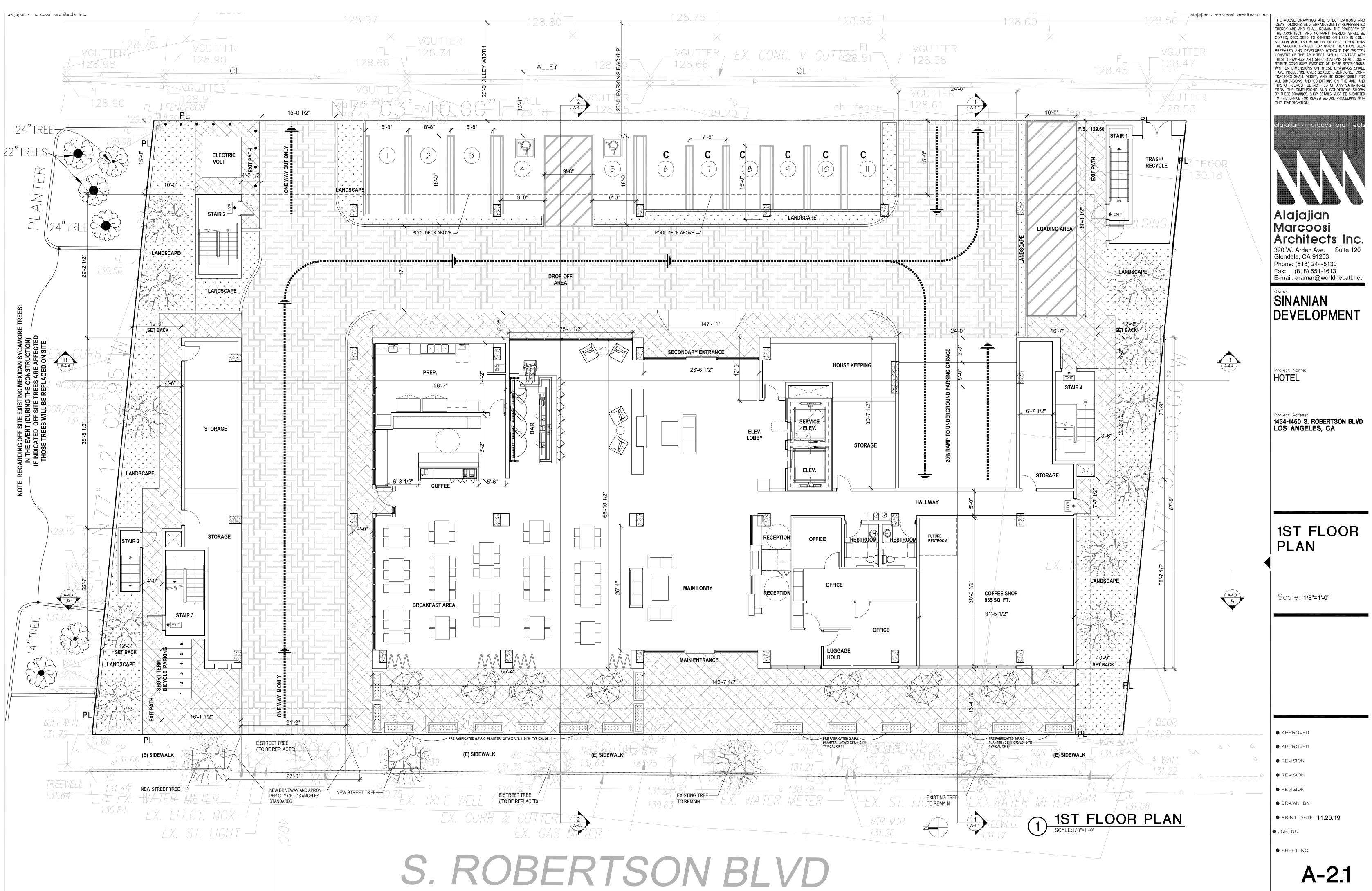
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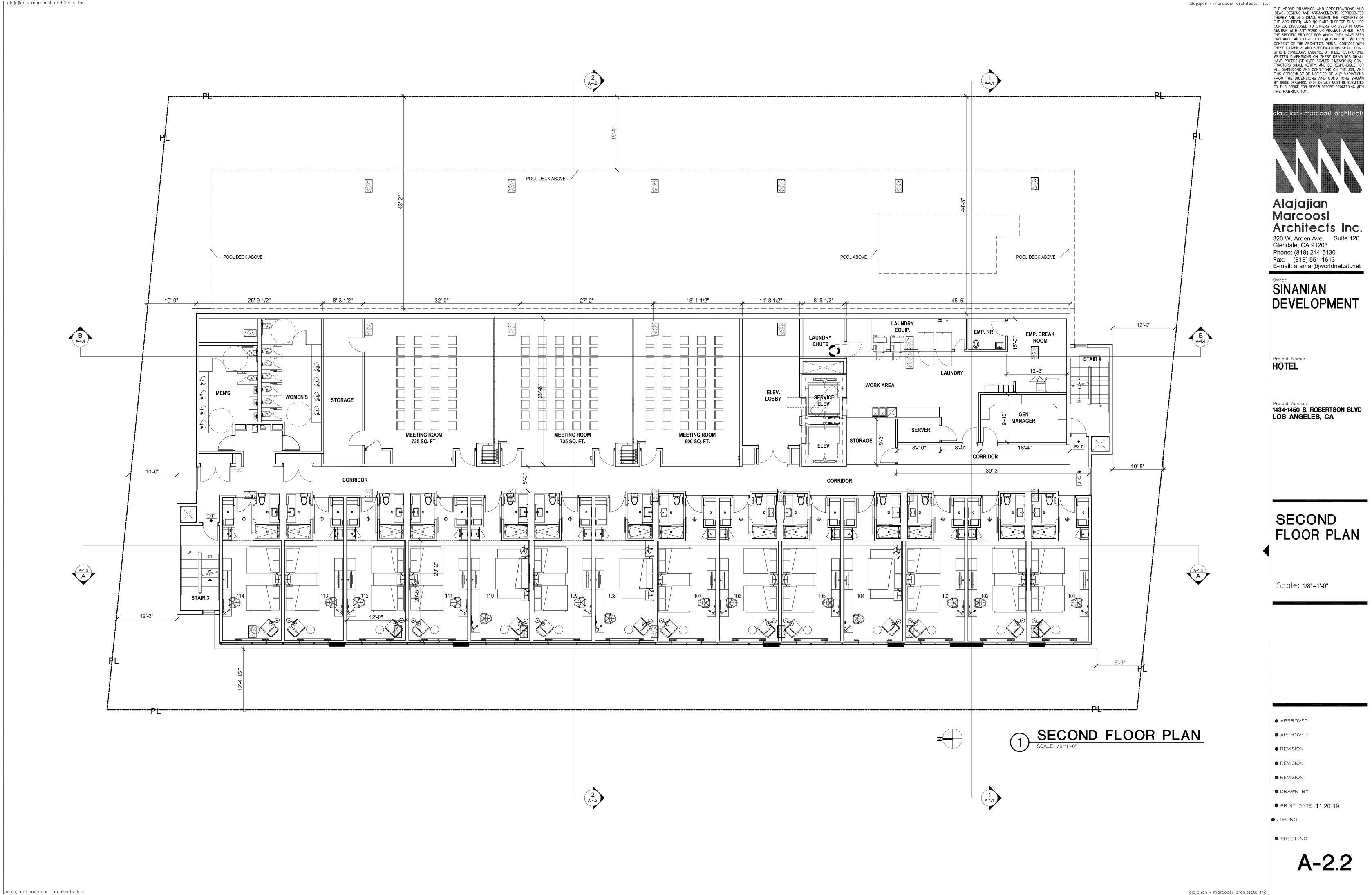
alajajian • marcoosi architects Inc.

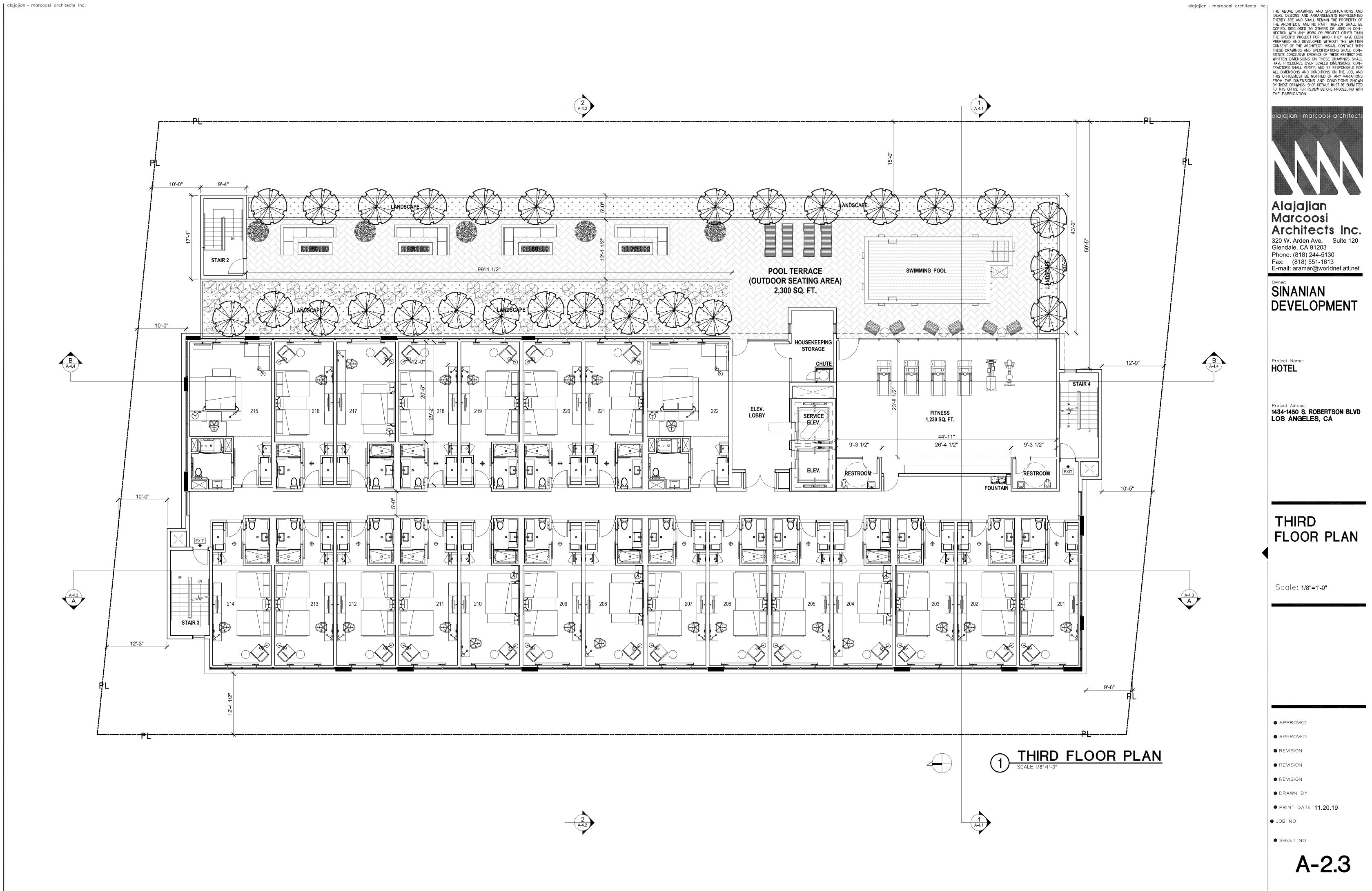
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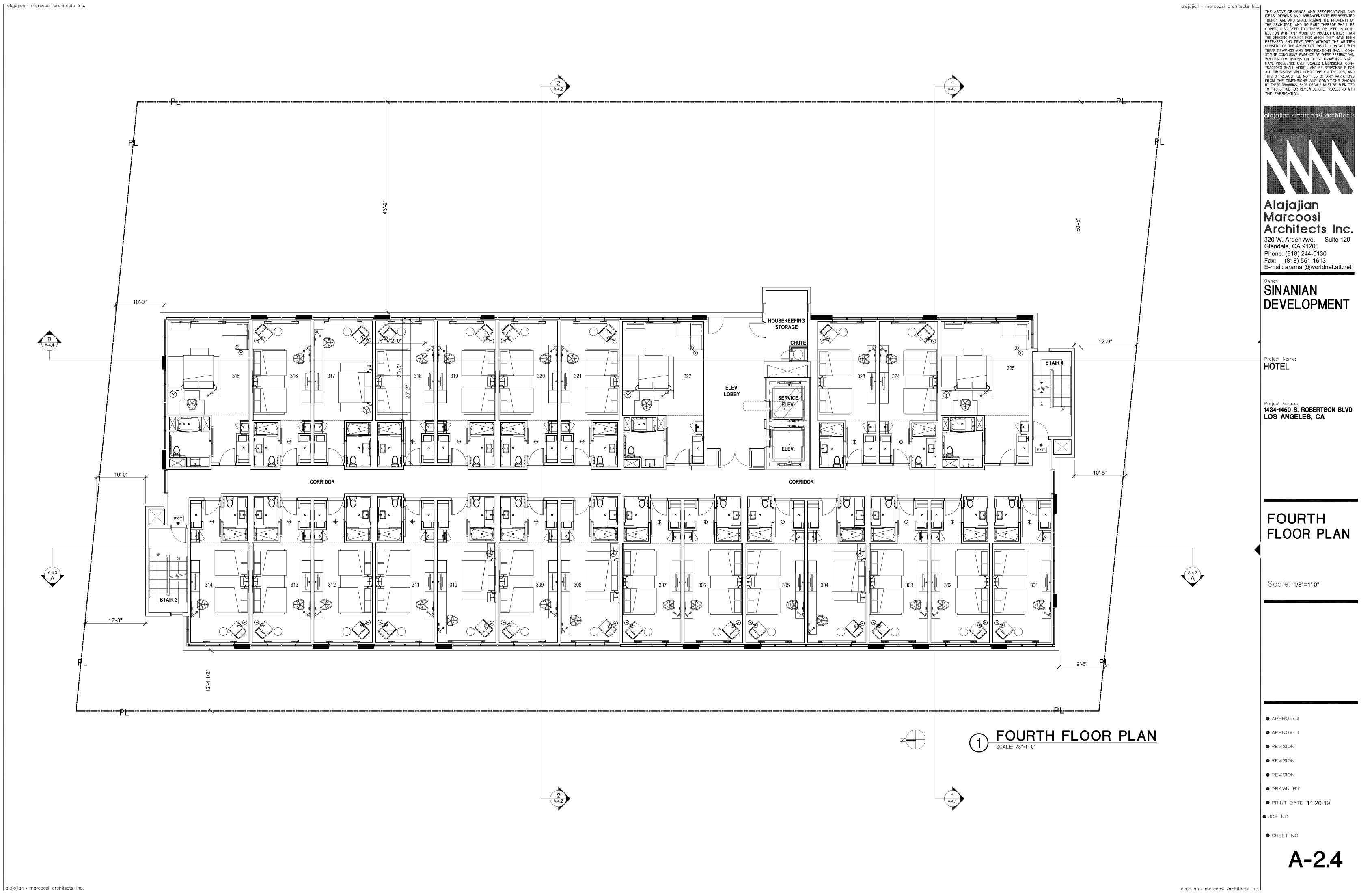


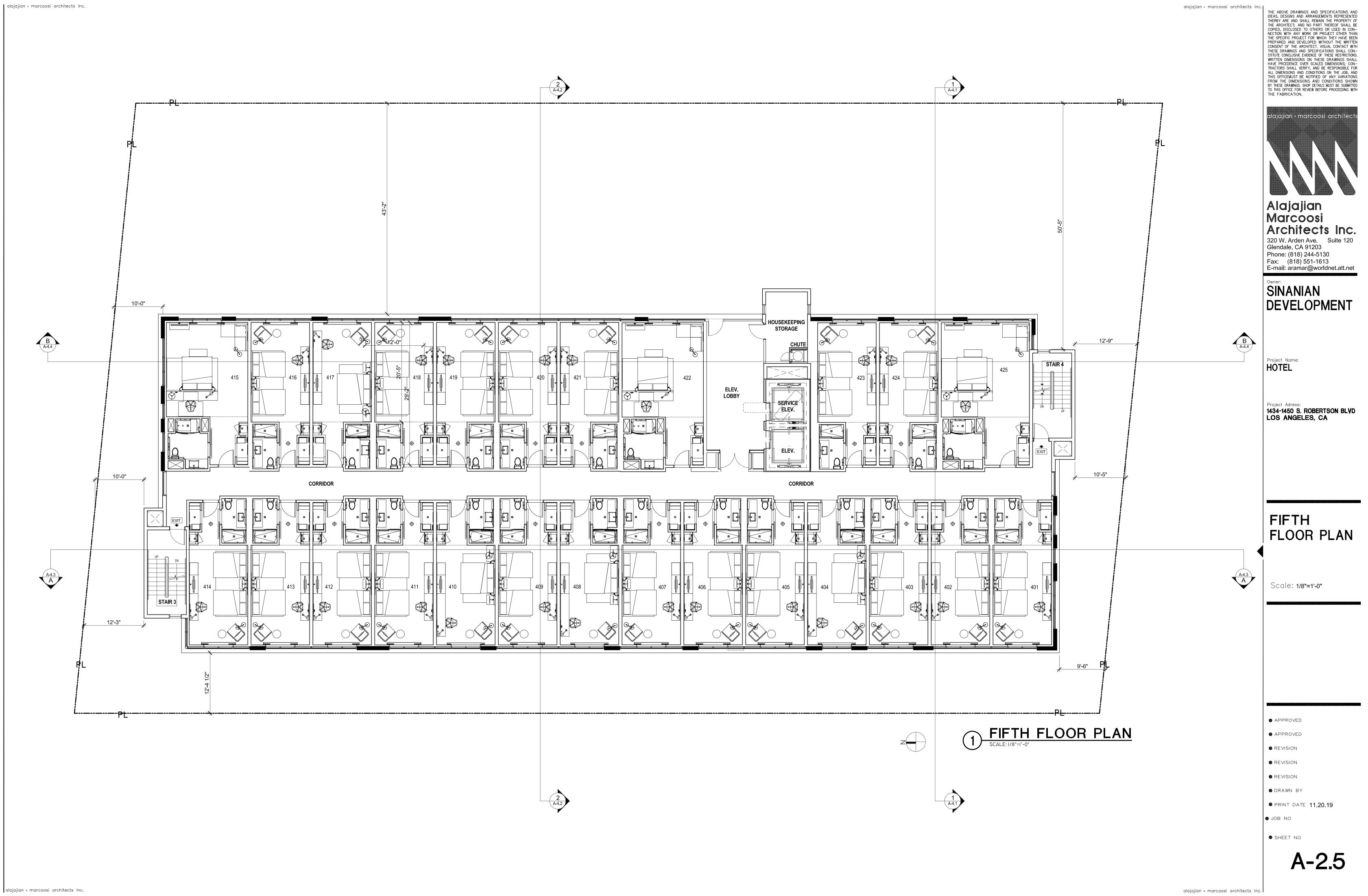


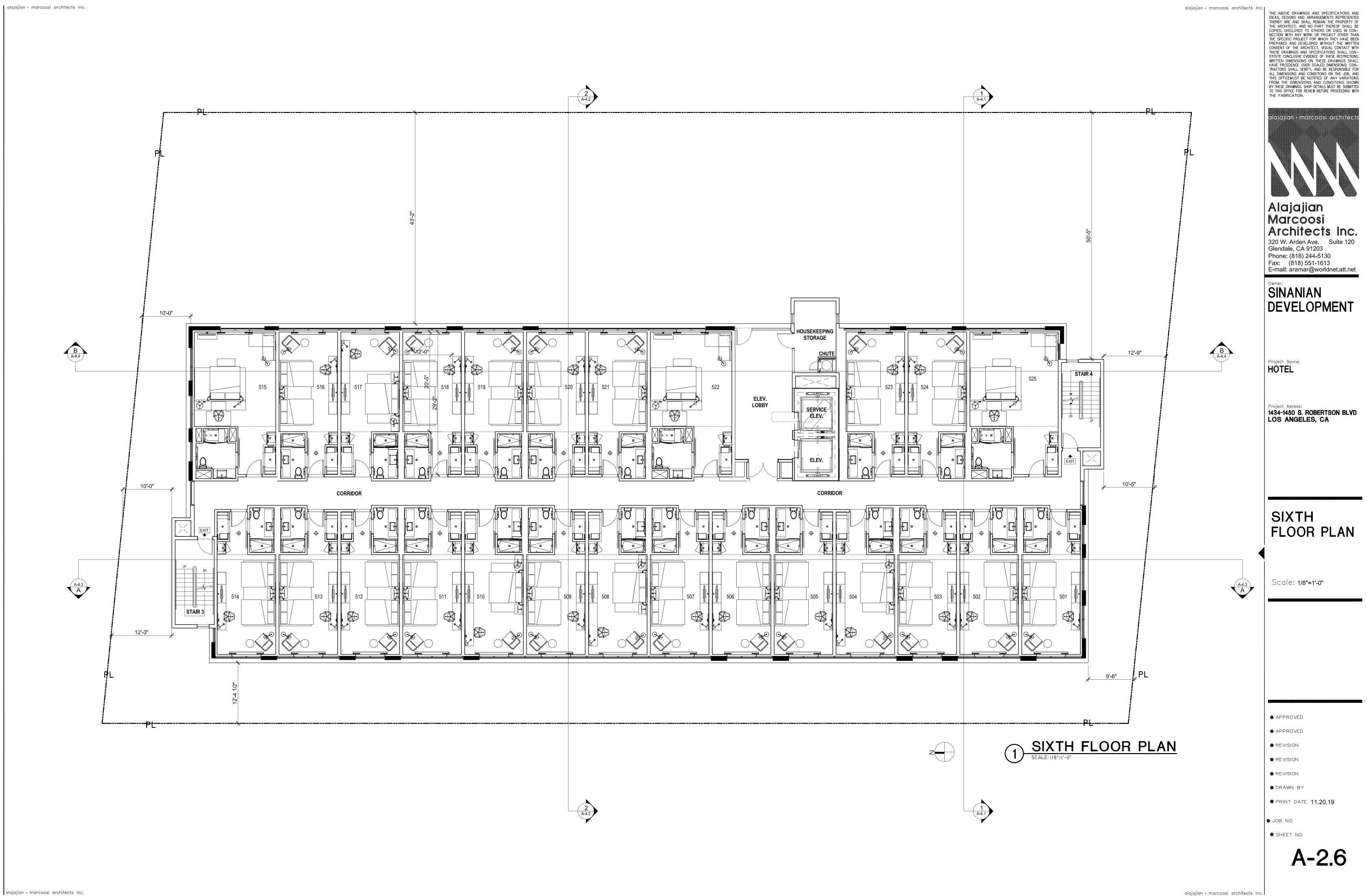


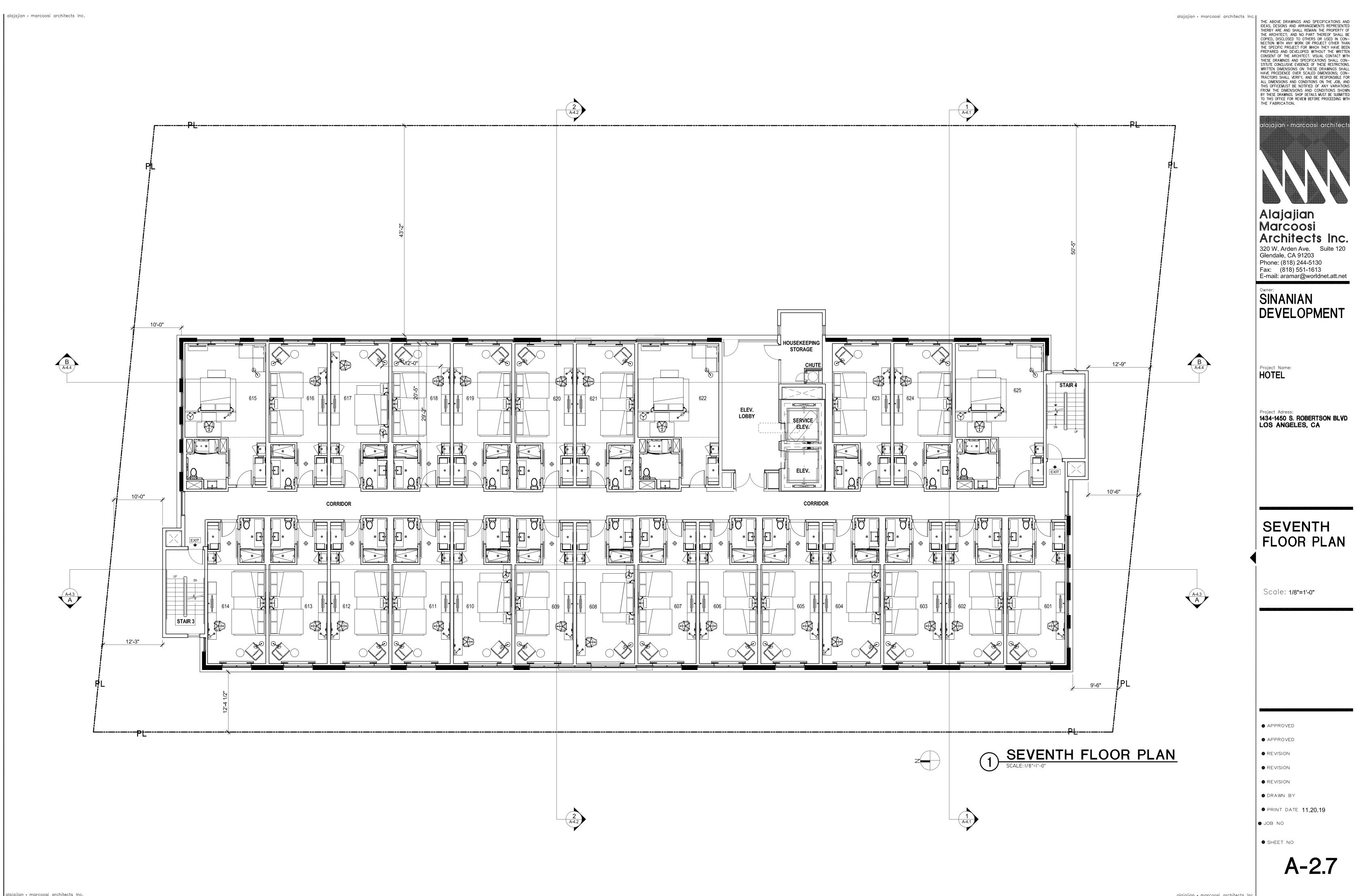


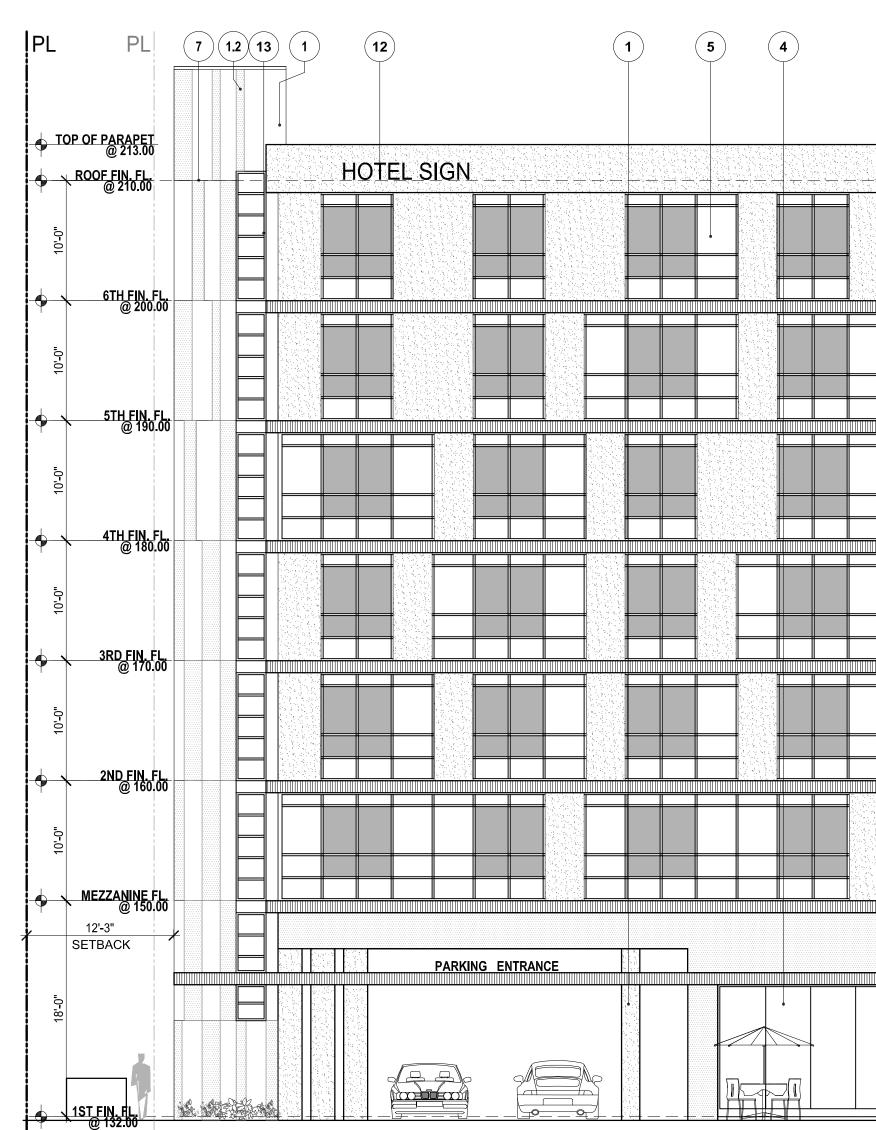












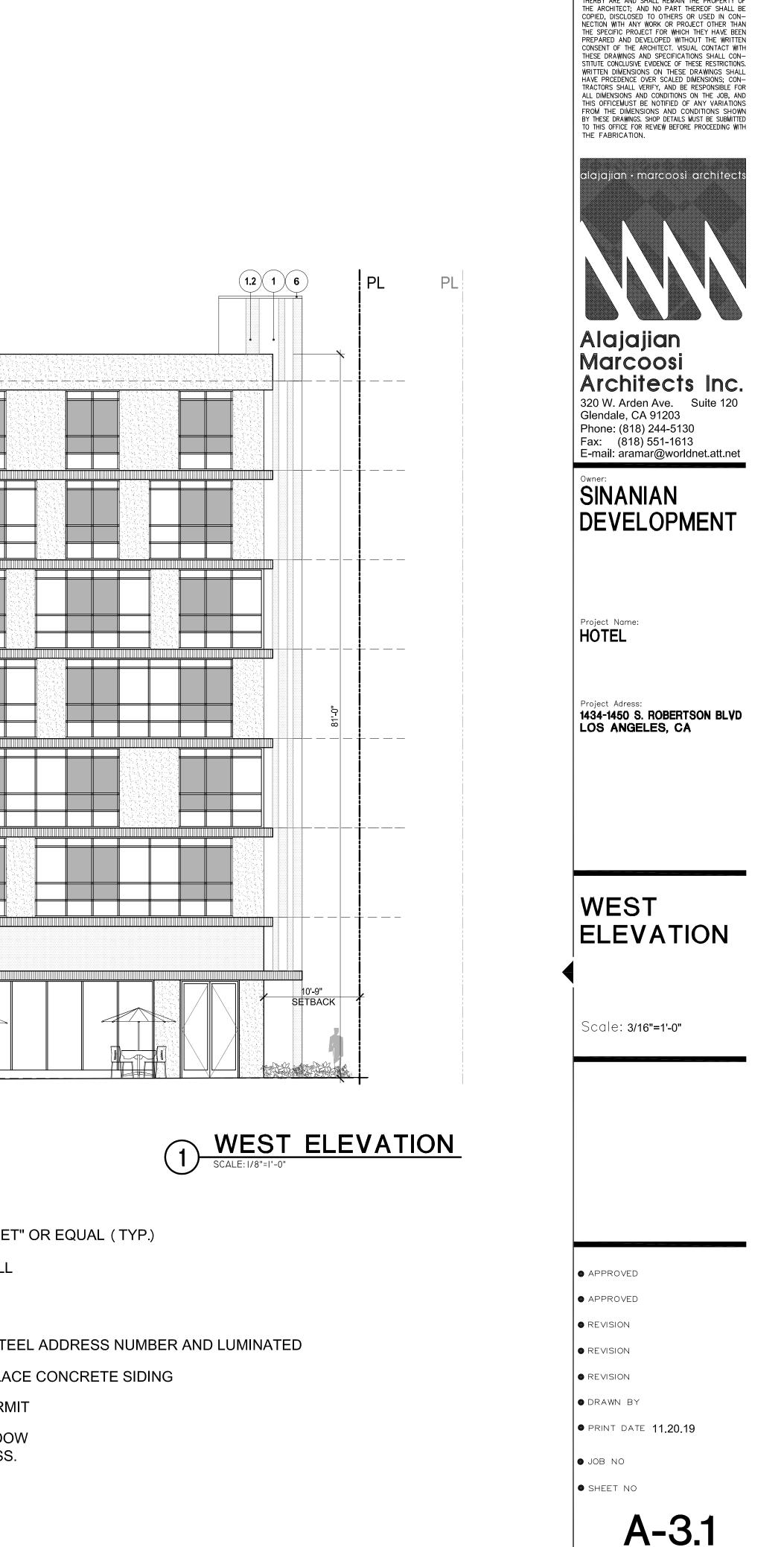
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	IOTEL SIGN			

EXTERIOR FINISH MATERIALS

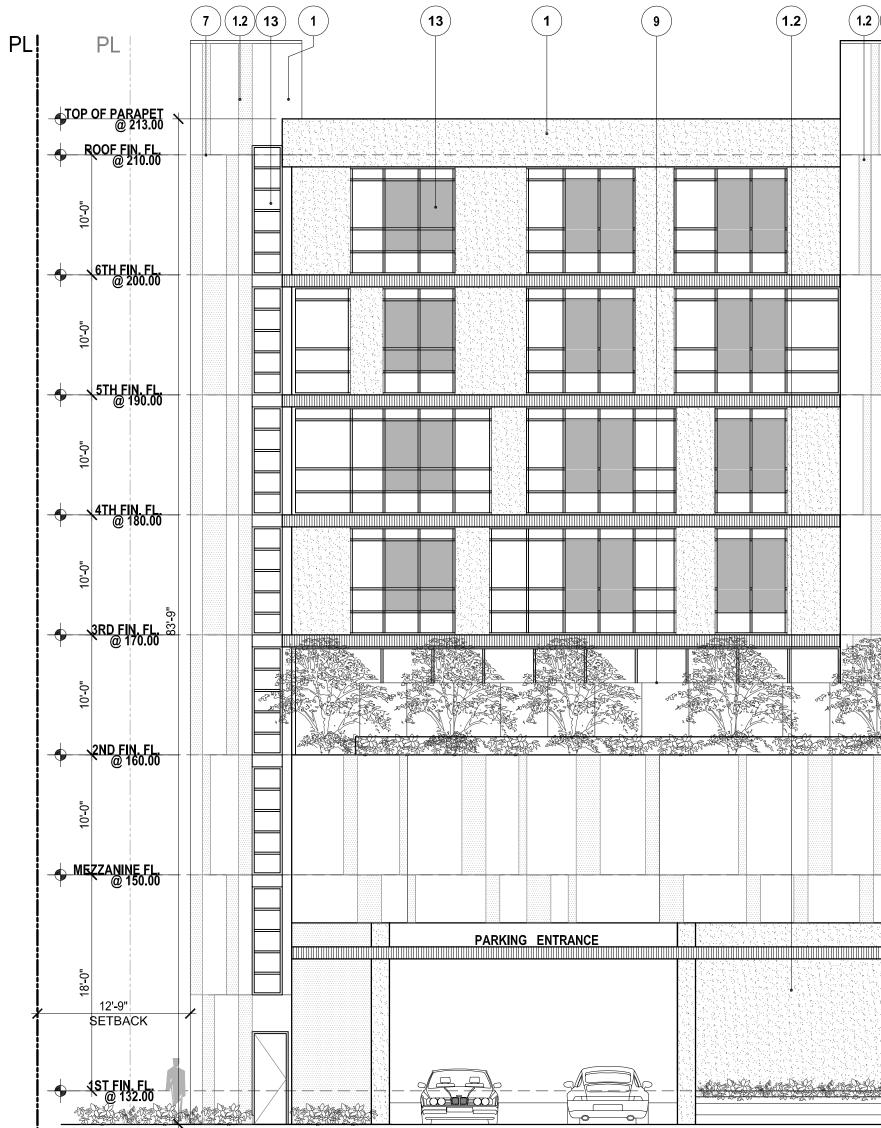
- (1) 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DEC 722 " BAJA WHITE.
- (1.1) 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6368 " WALRUS.
- (1.2) 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6337 " SILVER CITY.
- $(\mathbf{2})$ COMPOSITE NATURAL ANODIZED ALUMINUM CLAD OR EQUAL.
- 3 1/4" NOMINAL THK. "FUNDERMAX 0674 NG MARS RED" OR EQUAL.
- (4) STORFRONT GLASS (PER GREEN CODE)
- 5 ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS PER GREEN CODE)

- (6) COMPOSITE ALUMINUM COPPING
- (7) 1/4" ALUMINUM REVEAL, "FRY REGLET" OR EQUAL (TYP.)
- (8) 6' HIGH DECORATIVE MASONRY WALL COLOR (NATURAL GREY)
- (9) 72" HIGH GLASS RAIL.
- (10) 9" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBER AND LUMINATED
- (11) 8" HIGH WOOD PATTERN CAST IN PLACE CONCRETE SIDING
- (12) HOTEL SIGN UNDER SEPARATE PERMIT
- (13) ANODIZED ALUMINUM DOOR / WINDOW DUAL GLAZED LOW "E" VISION GLASS. (PER GREEN CODE)



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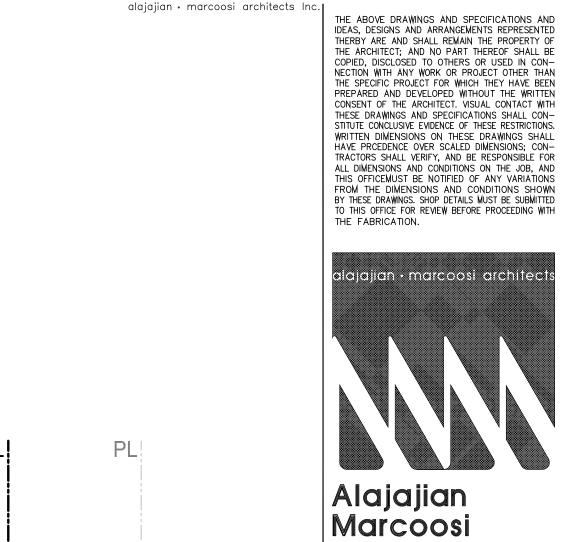


EXTERIOR FINISH MATERIALS

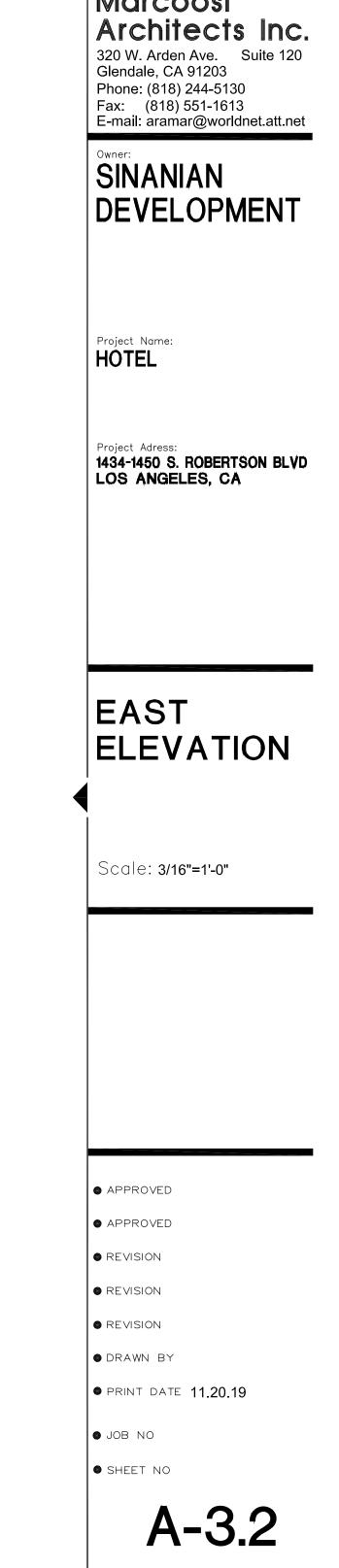
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1 SCALE: 3/16"=1'-0"

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Alajajian Marcoosi Architects Inc. 320 W. Arden Ave. Suite 120 Glendale, CA 91203 Phone: (818) 244-5130 Fax: (818) 551-1613 E-mail: aramar@worldnet.att.net

Owner: SINANIAN DEVELOPMENT

Project Name: HÓTEL

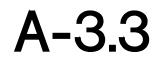
Project Adress: 1434-1450 S. ROBERTSON BLVD LOS ANGELES, CA

SOUTH ELEVATION

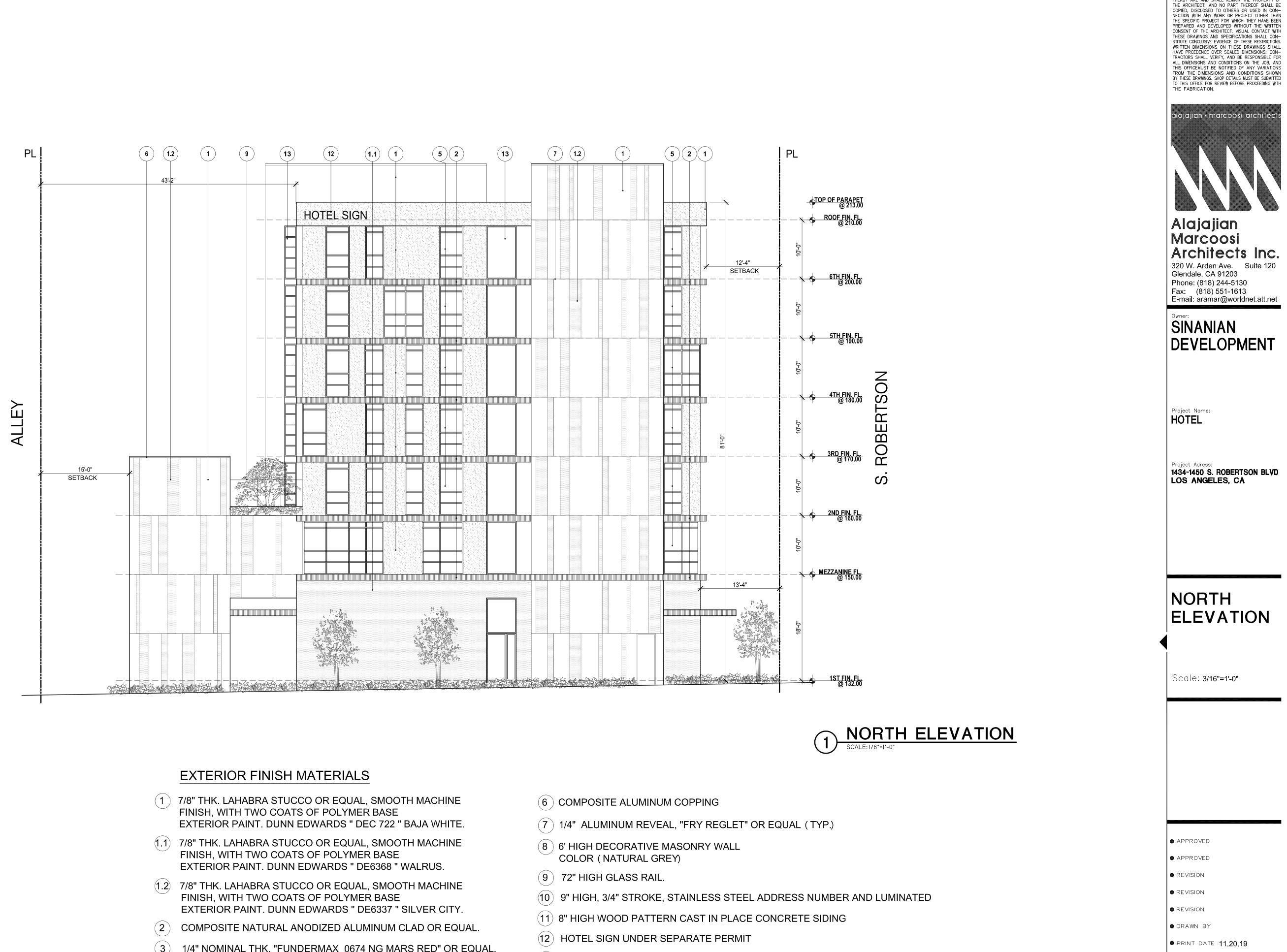
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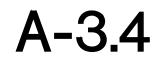


- (3) 1/4" NOMINAL THK. "FUNDERMAX 0674 NG MARS RED" OR EQUAL. 4 STORFRONT GLASS (PER GREEN CODE)
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- (13) ANODIZED ALUMINUM DOOR / WINDOW DUAL GLAZED LOW "E" VISION GLASS. (PER GREEN CODE)

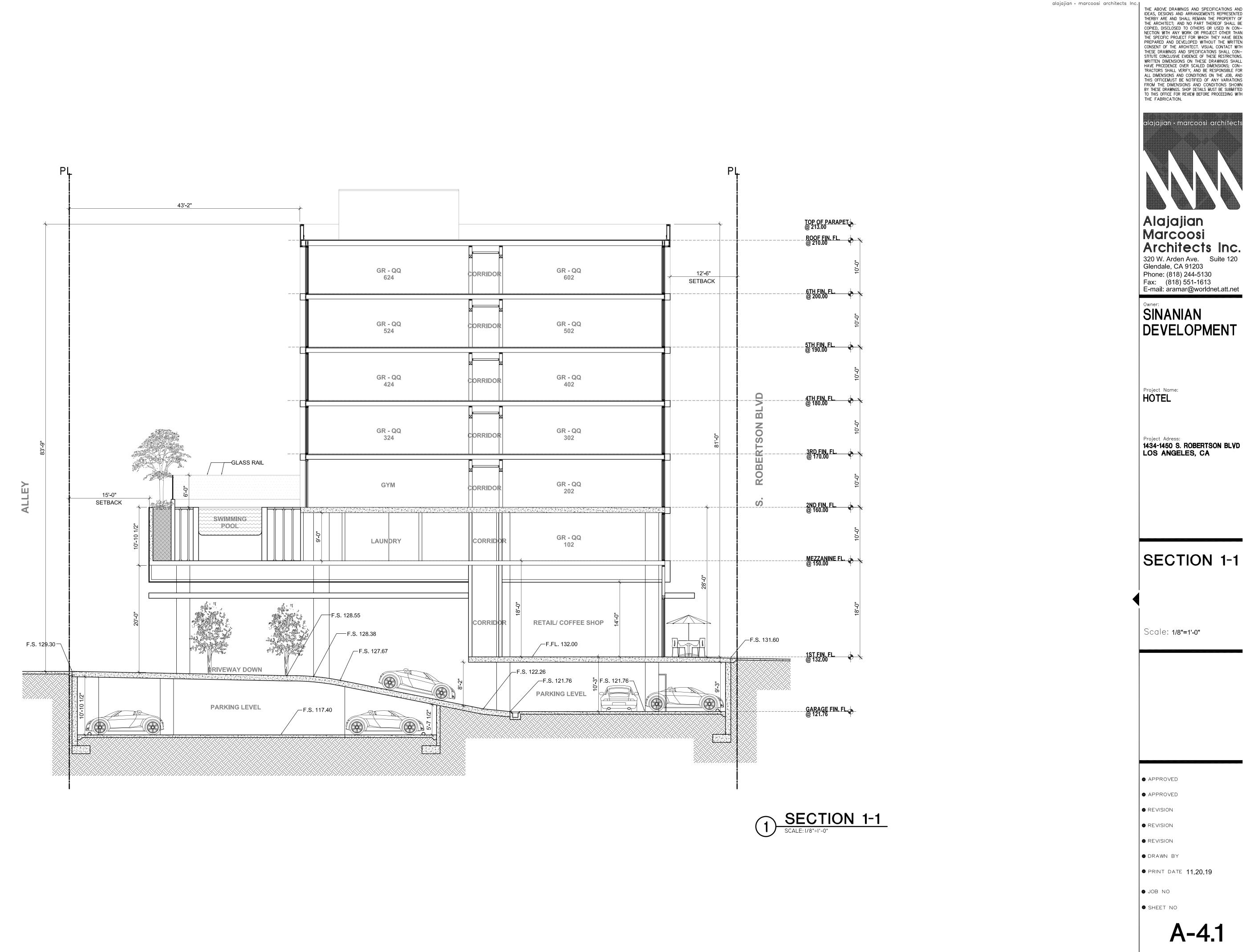
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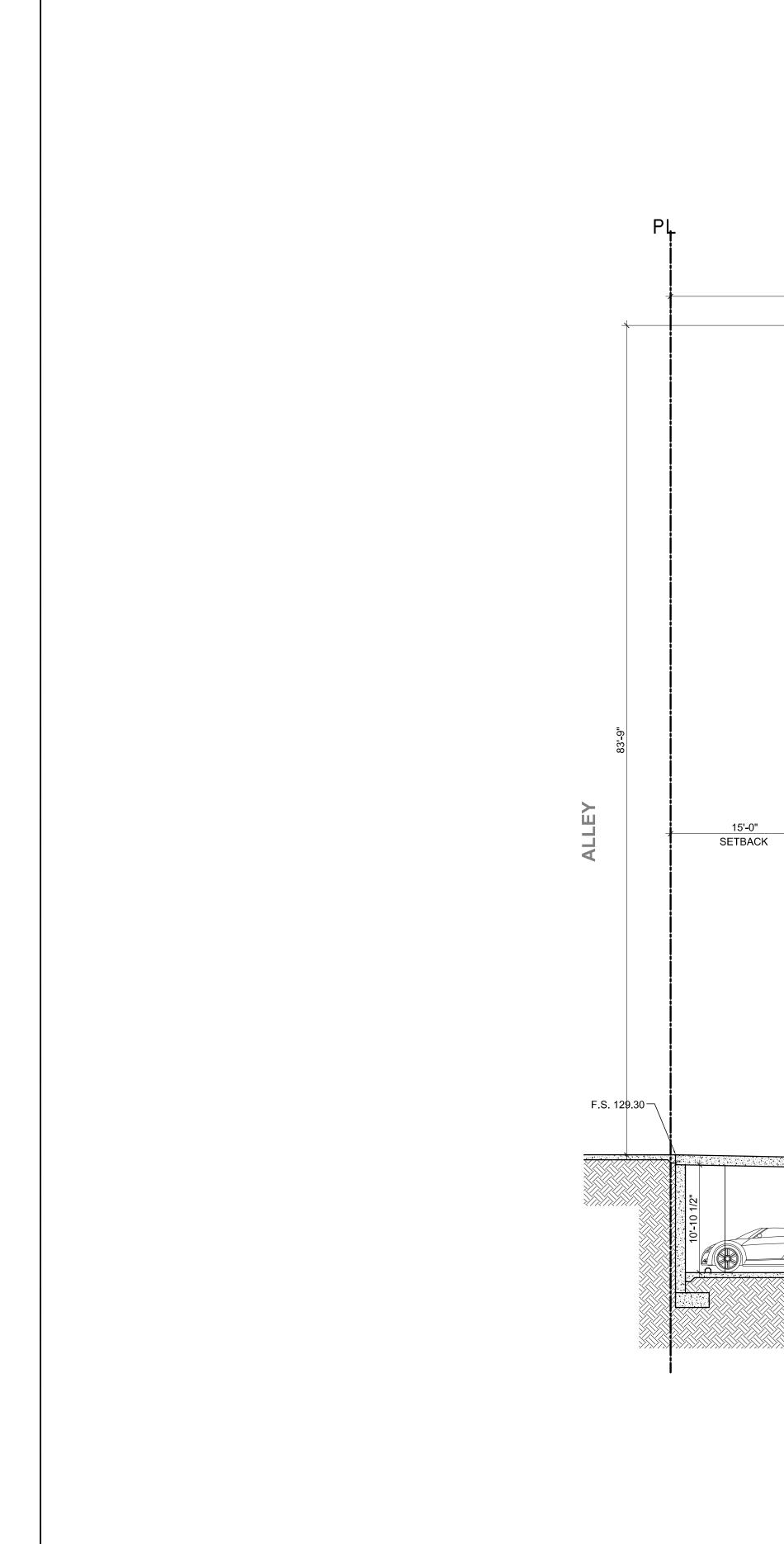


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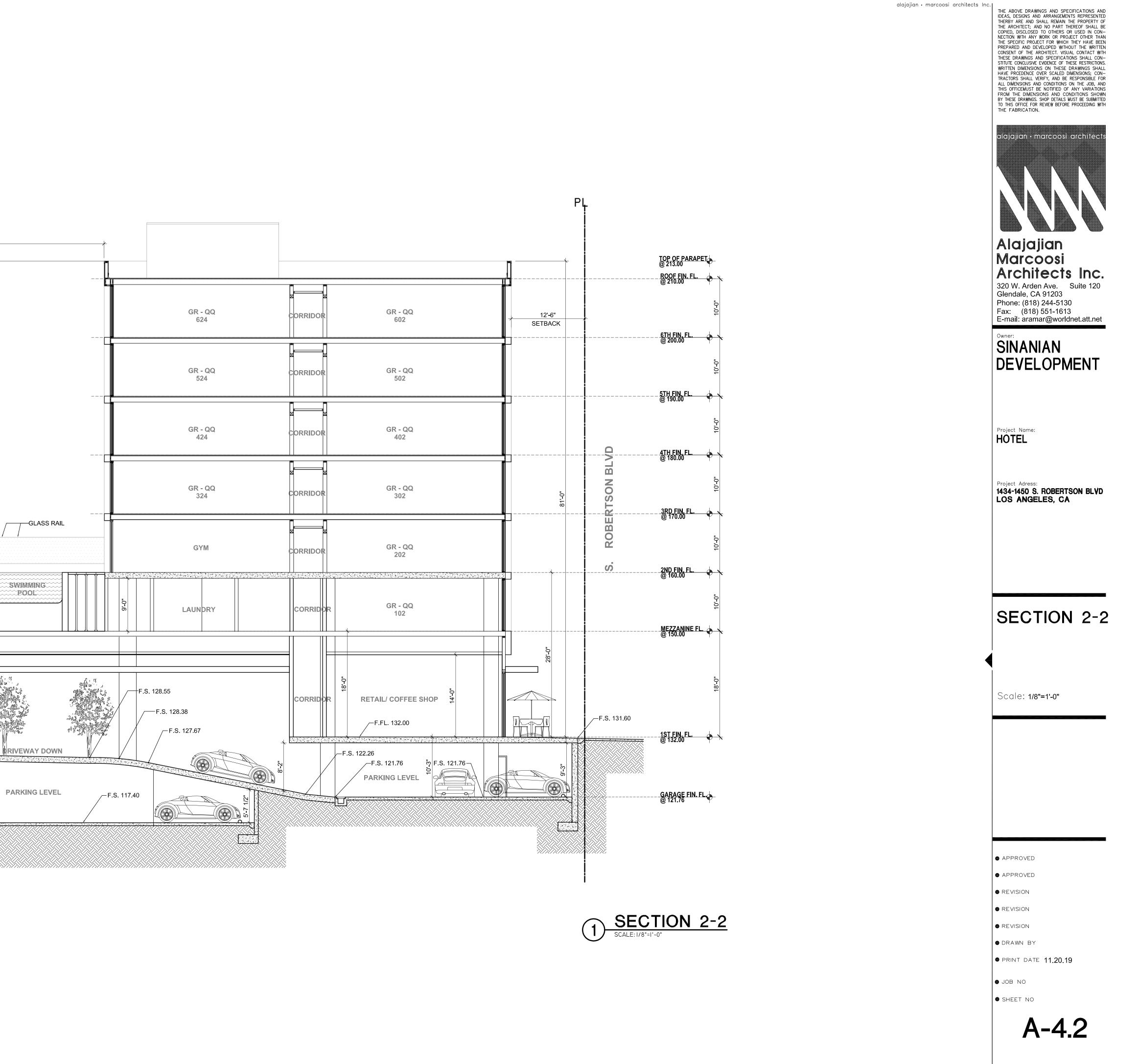
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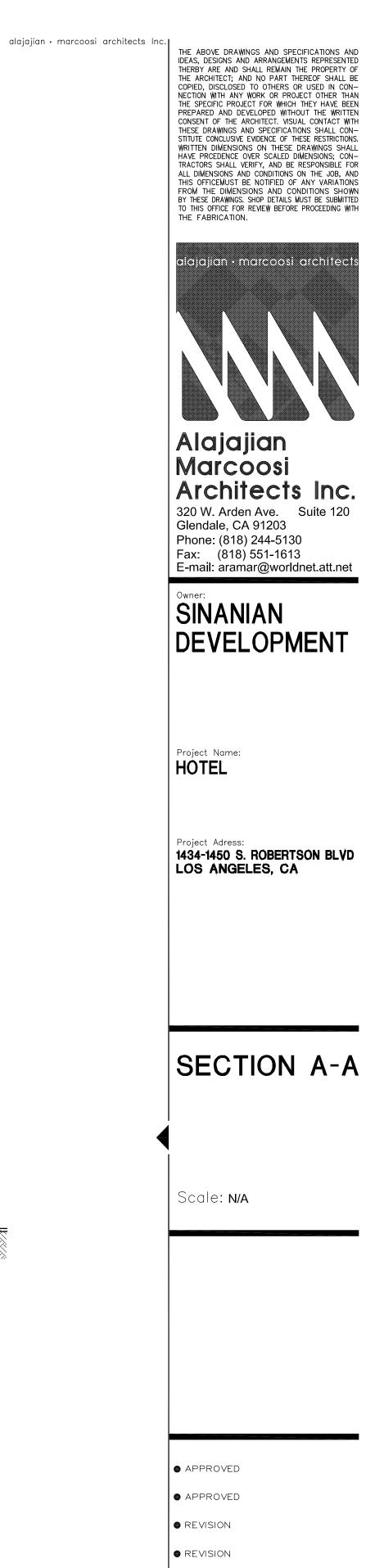
43'-2"

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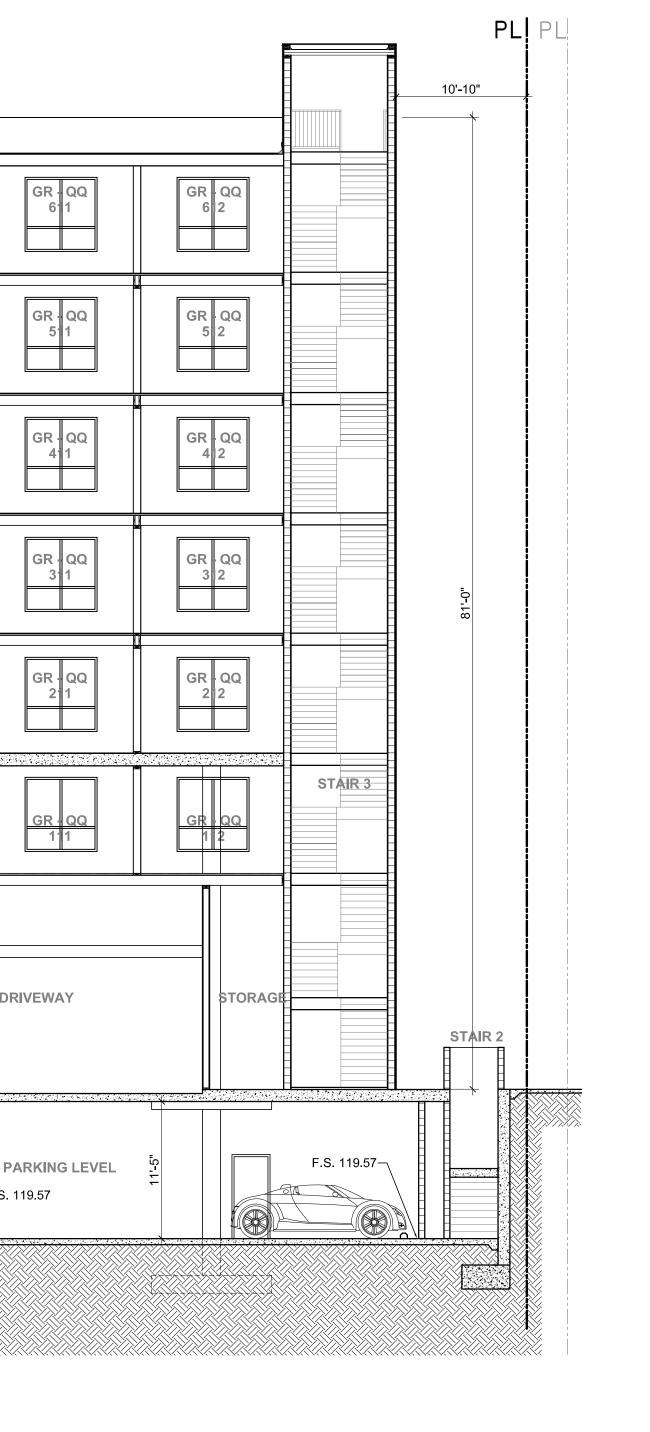


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503	504	505	506	507	508	509	510	
GR QQ	GR - K	GR QQ	GR QQ	GR QQ	GR - K	GR QQ	GR - QQ	
403	404	405	406	407	408	409	410	
GR QQ	GR - K	GR QQ	GR QQ	GR QQ	GR - K	GR QQ	GR - QQ	
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GR QQ	GR- K	GR QQ	GR QQ	GR QQ	GR - K	GR QQ	GR QQ	
203	204	205	206	207	208	209	210	
<u>GR QQ</u>	<u>GR QQ</u>	<u>GR QQ</u>	<u>GR-K</u>	GR QQ	<u>GR-K</u>	GR QQ	GR-QQ	
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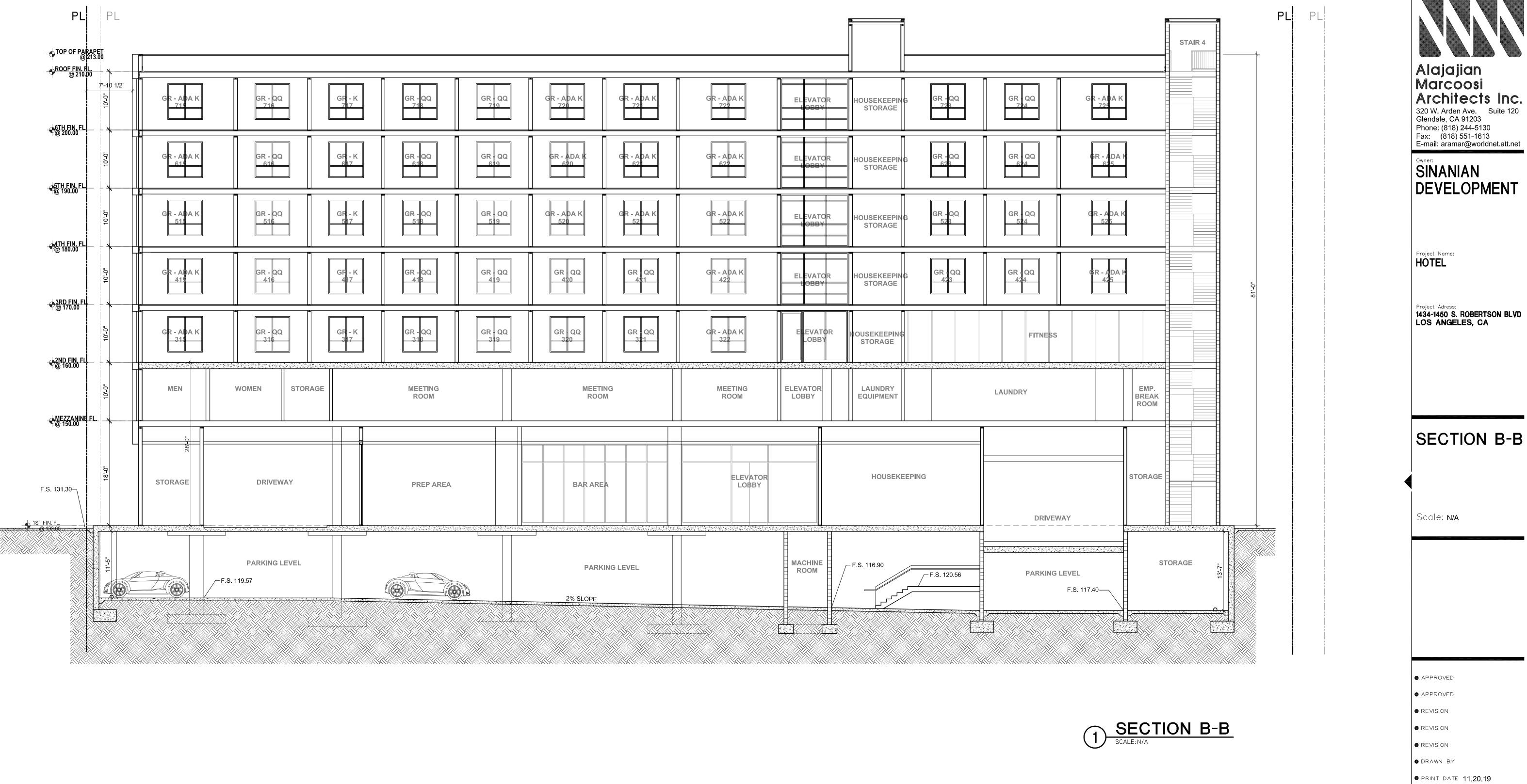


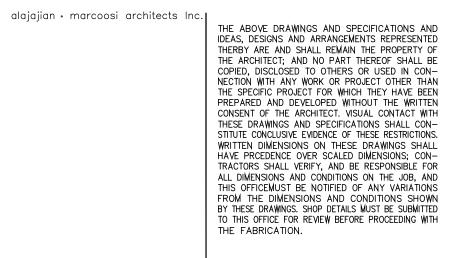
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- SHEET NO





1 VIEW FROM SOUTH-WEST

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Alajajian Marcoosi Architects Inc.



320 W. Arden Ave. Suite 120 Glendale, CA 91203 Phone: (818) 244-5130 Fax: (818) 551-1613 E-mail: aramar@worldnet.att.net Owner: SINANIAN DEVELOPMENT

Project Adress: 1434-1450 S. ROBERTSON BLVD LOS ANGELES, CA

VIEW FROM SOUTH-WEST

Scale: N/A

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SINANIAN DEVELOPMENT

Project Name: **HOTEL**

Project Adress: 1434-1450 S. ROBERTSON BLVD LOS ANGELES, CA



Scale: N/A

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