

1ST FLOOR PLAN

SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - INDICATES OPEN SPACE AREA
 - 1,248 SF AT REAR YARD AND 725 SF AT RECREATION RM
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - C.S. CHARGING STATION

CONFORMITY STATEMENT:
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PRINTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. SOURCE OF WORK, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 684, HOUSE ARCHITECTS SEC. 688.4.

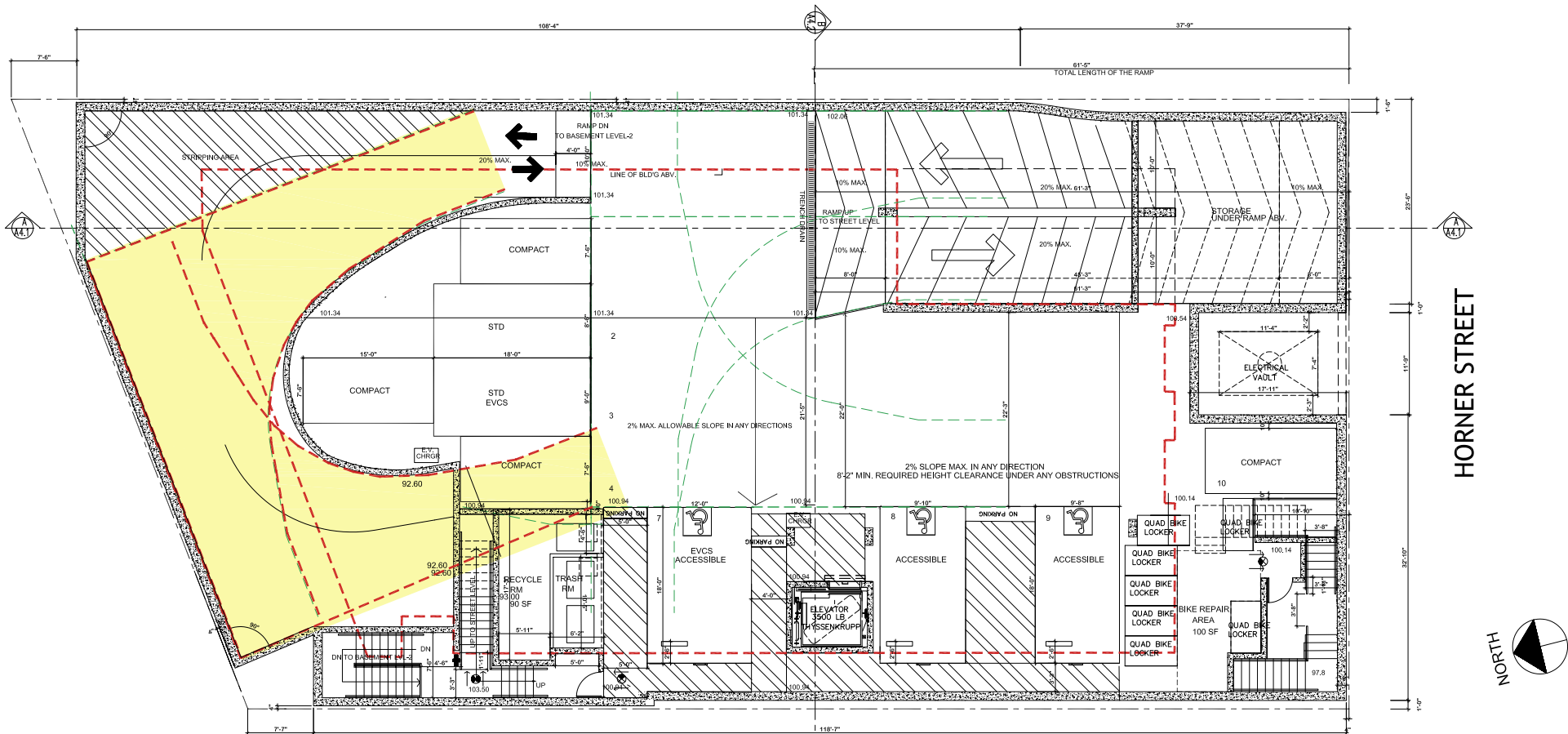
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CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDO CHAHARMANALI, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#254450, OREGON LIC.#48276, TEXAS LIC.#59904
 11021 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310.456.2848 FAX: 310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

1ST FLOOR PLAN A2.1
 SHEET TITLE: SHEET NO.

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



1 1ST BASEMENT FLOOR PLAN
SCALE : 3/16" = 1'-0"

2

Upper #10031
Lower #10017

ProPark DT/SM (S02)
(2-Tier) Standard Locker (Dims)

CycleSafe
616-954-9977

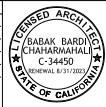
DOUBLE TIER QUAD BIKE LOCKER N.T.S.

- LEGEND :**
- 2 X STUDS INTERIOR WALL
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL
 - TWO-HR WALL
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - CHARGING STATION

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PROJECT NUMBER: 21-12

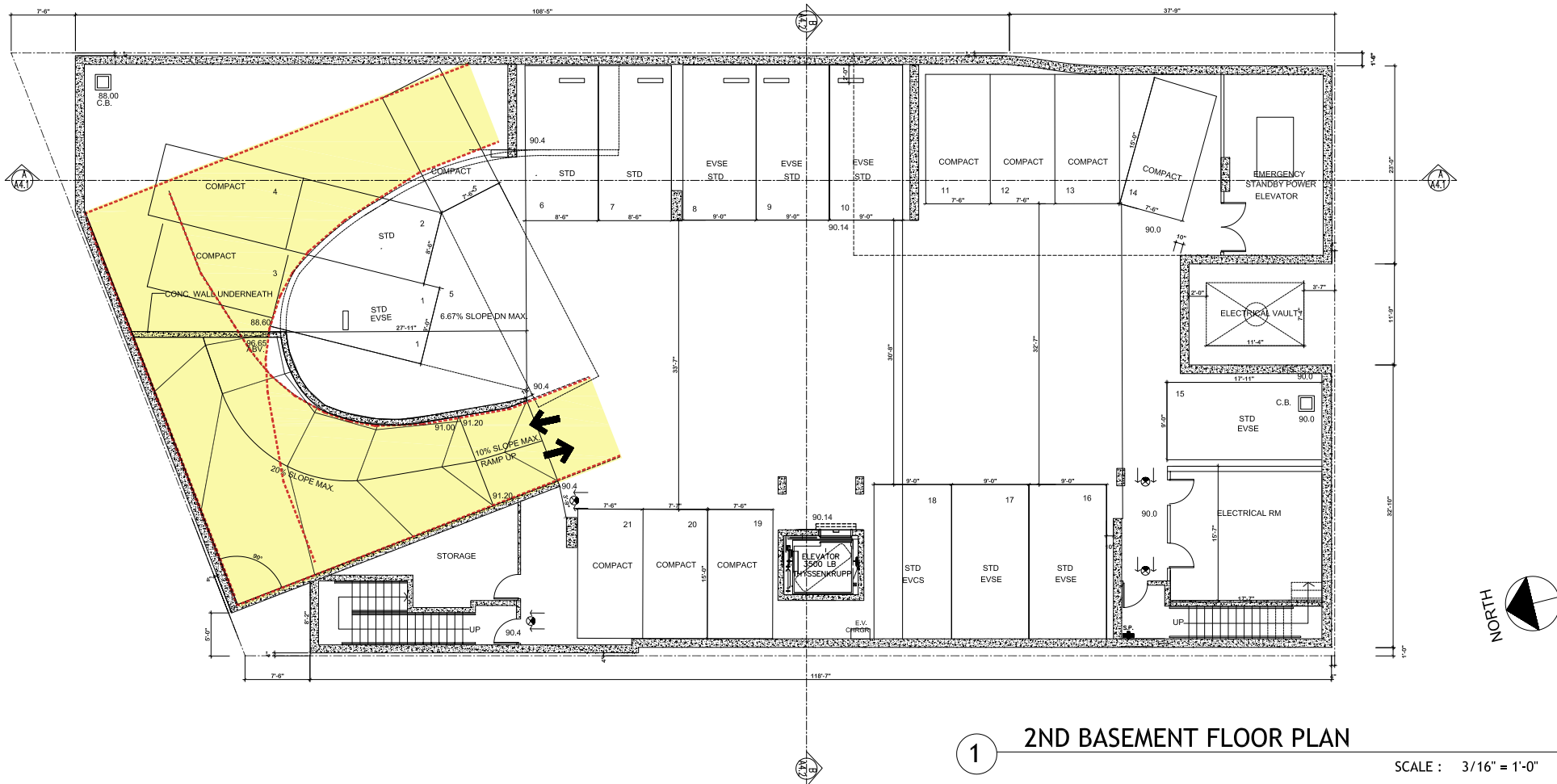


CALIFORNIA DEVELOPMENT & DESIGN INC.
PRINCIPAL: BABAK BARDAJI (REGISTERED ARCHITECT)
CALIFORNIA LIC.#C-34450, OKLAHOMA LIC.#A2376, TEXAS LIC.#28090
11922 SANTA MONICA BLVD., #300, LOS ANGELES, CA 90025
TEL: 310.450.5585 FAX: 310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

1ST BASEMENT FLOOR PLAN
SHEET TITLE: SHEET NO.

A2.2
SHEET NO.

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
DEVELOPER: HORNER PROPERTY LLC
1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



1 2ND BASEMENT FLOOR PLAN

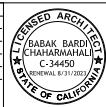
SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS 1 STANDPIPE
 - C.C.S. CHARGING STATION

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

CONFORMITY STATEMENT:
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHERE THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 680, HOLDEN ARCHITECTS SEC. 6536.4

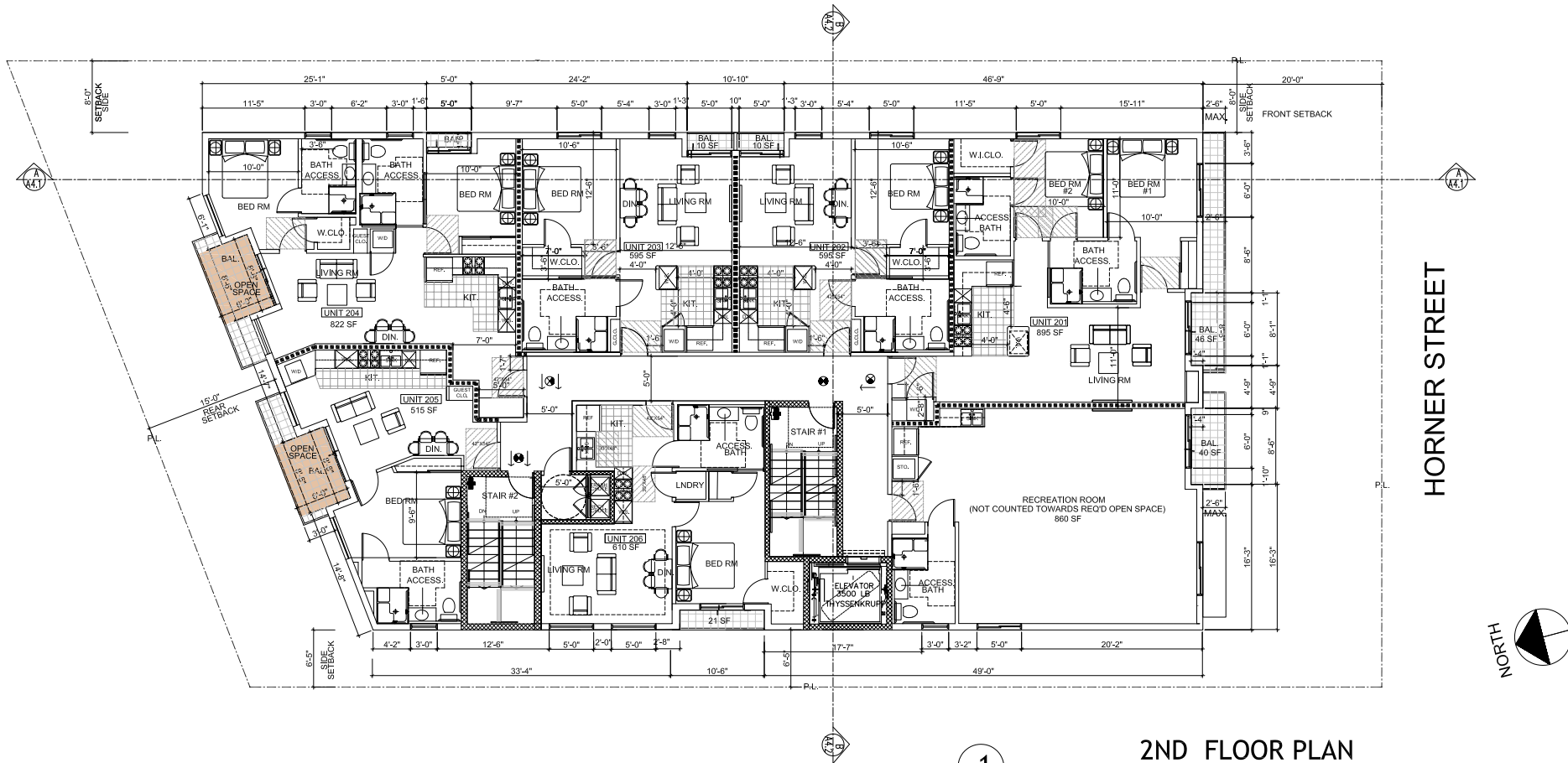
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CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI (C34450) (REGISTERED ARCHITECT)
 CALIFORNIA LIC #C34450, OREGON LIC #4677, TEXAS LIC #6909
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310-450-0868 FAX: 310-427-7148 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

2ND BASEMENT FLOOR PLAN
 SHEET TITLE:

A2.3
 SHEET NO.



- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL: 100 SF
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - C.S. CHARGING STATION

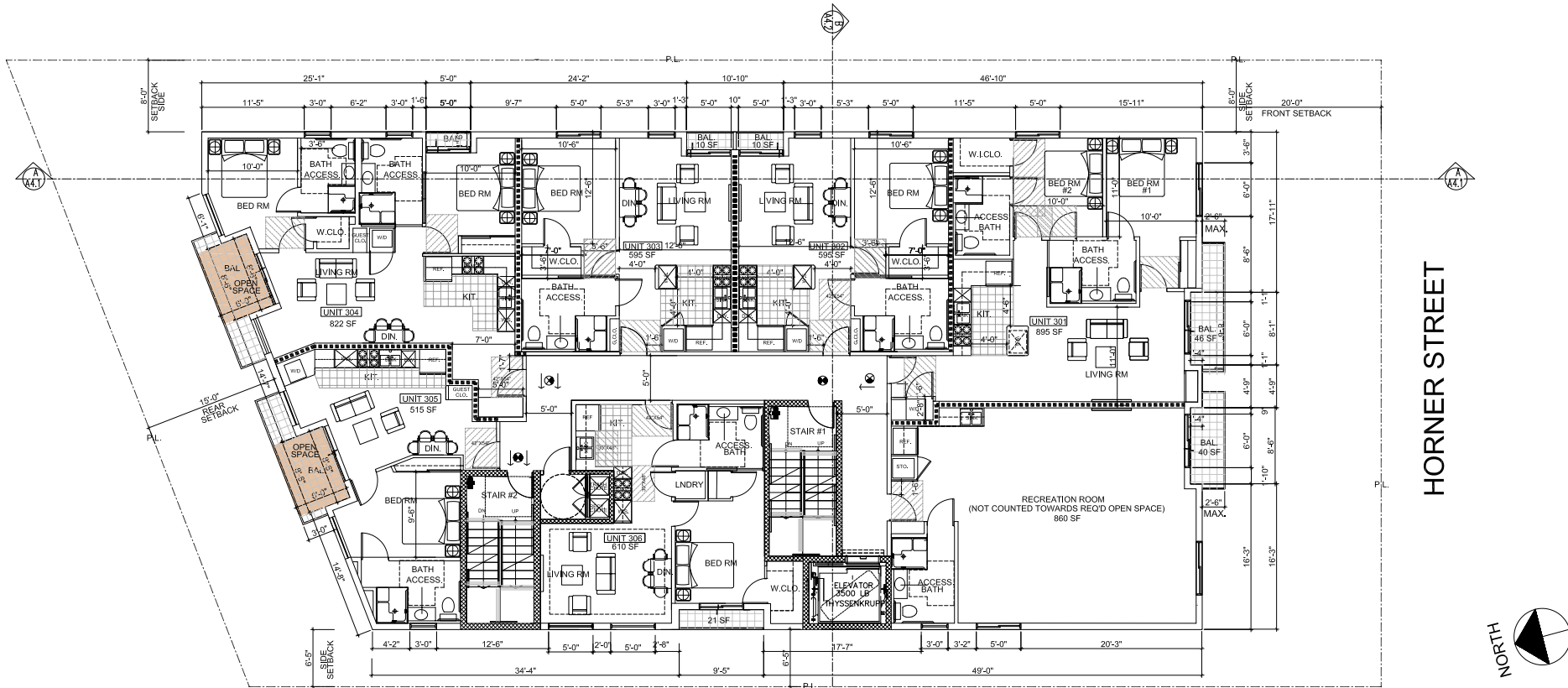
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PROJECT NUMBER | 21-12

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|  |  | CALIFORNIA DEVELOPMENT & DESIGN INC. PRINCIPAL: BABAK BARDON CHAHARMANESH, AIA (REGISTERED ARCHITECT) CALIFORNIA LIC #C34450, OKLAHOMA LIC #A88378, TEXAS LIC #260695 11022 SANTA MONICA BLVD., 8000, LOS ANGELES, CA 90024 TEL: 310.430.5565 FAX: 310.427.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM | 2ND FLOOR PLAN A2.4 |
| SHEET TITLE: | | | SHEET NO. |

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



HORNER STREET



1 3RD FLOOR PLAN SCALE : 3/16" = 1'-0"

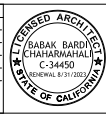
- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL:100 SF
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ELECTRIC STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - CHARGING STATION

CONFORMITY STATEMENT:
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. SCOPE OF WORK, REVISIONS OR PRODUCTION BY ANY METHOD OR MEANS, REPRODUCTION OR TRANSMISSION IN ANY MANNER OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTURAL FIRM IS PROHIBITED UNDER THE CALIFORNIA ARCHITECTURAL PROFESSIONAL ACT (ARCHPA) & CHARTERING ASSEMBLY AB 806, HOLDEN ARCHITECTS SEC. 53364.1

PROJECT NUMBER: 21-12

REVISIONS

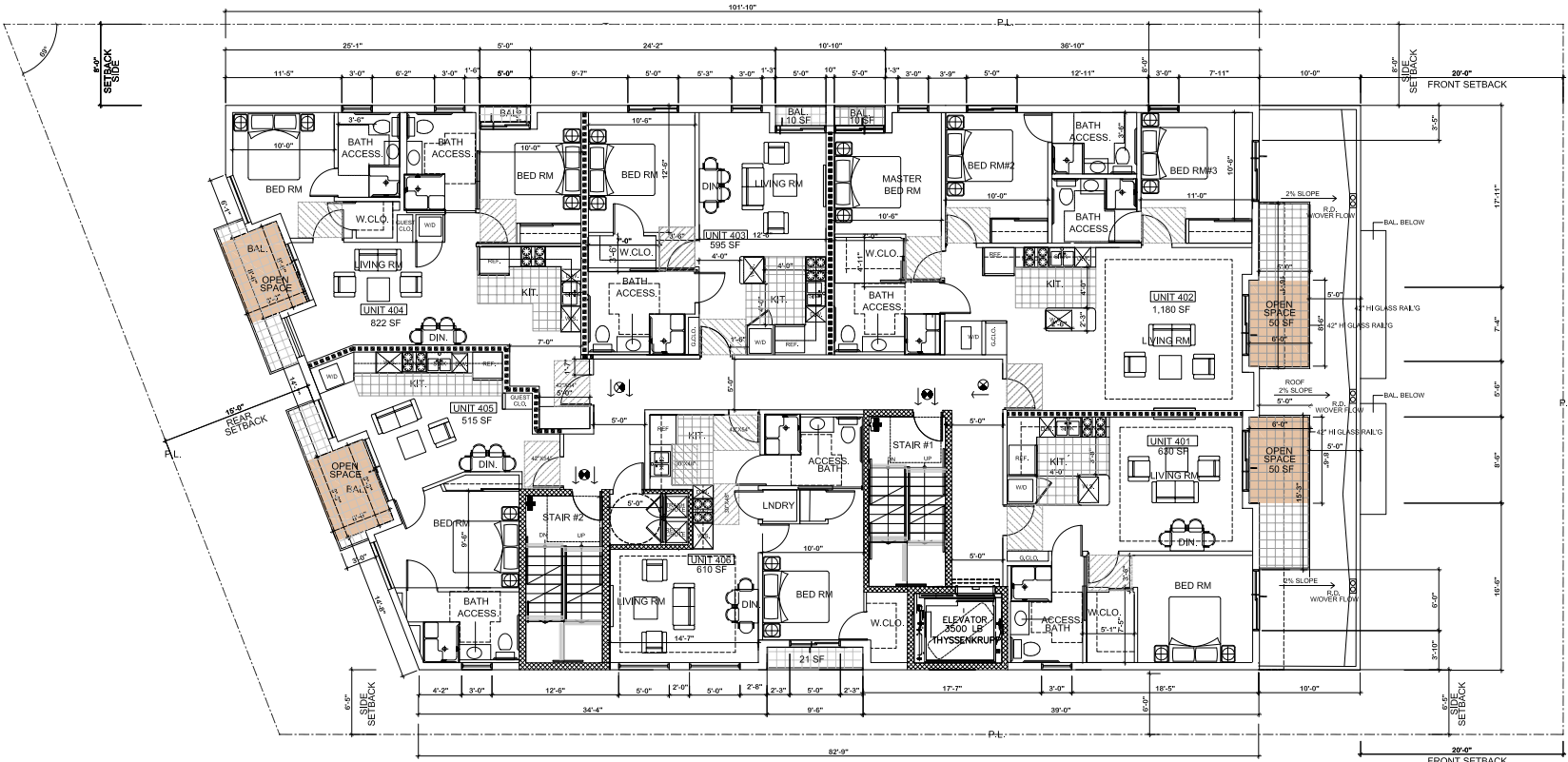
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CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI CHAHARMAHAL, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#C34450, OKLAHOMA LIC.#A6378, TEXAS LIC.#26090
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL:310.430.5565 FAX:310.427.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

3RD FLOOR PLAN A2.5
 SHEET TITLE: SHEET NO.

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



HORNER STREET



4TH FLOOR PLAN

1

SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL: 300 SF
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - CHARGING STATION

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

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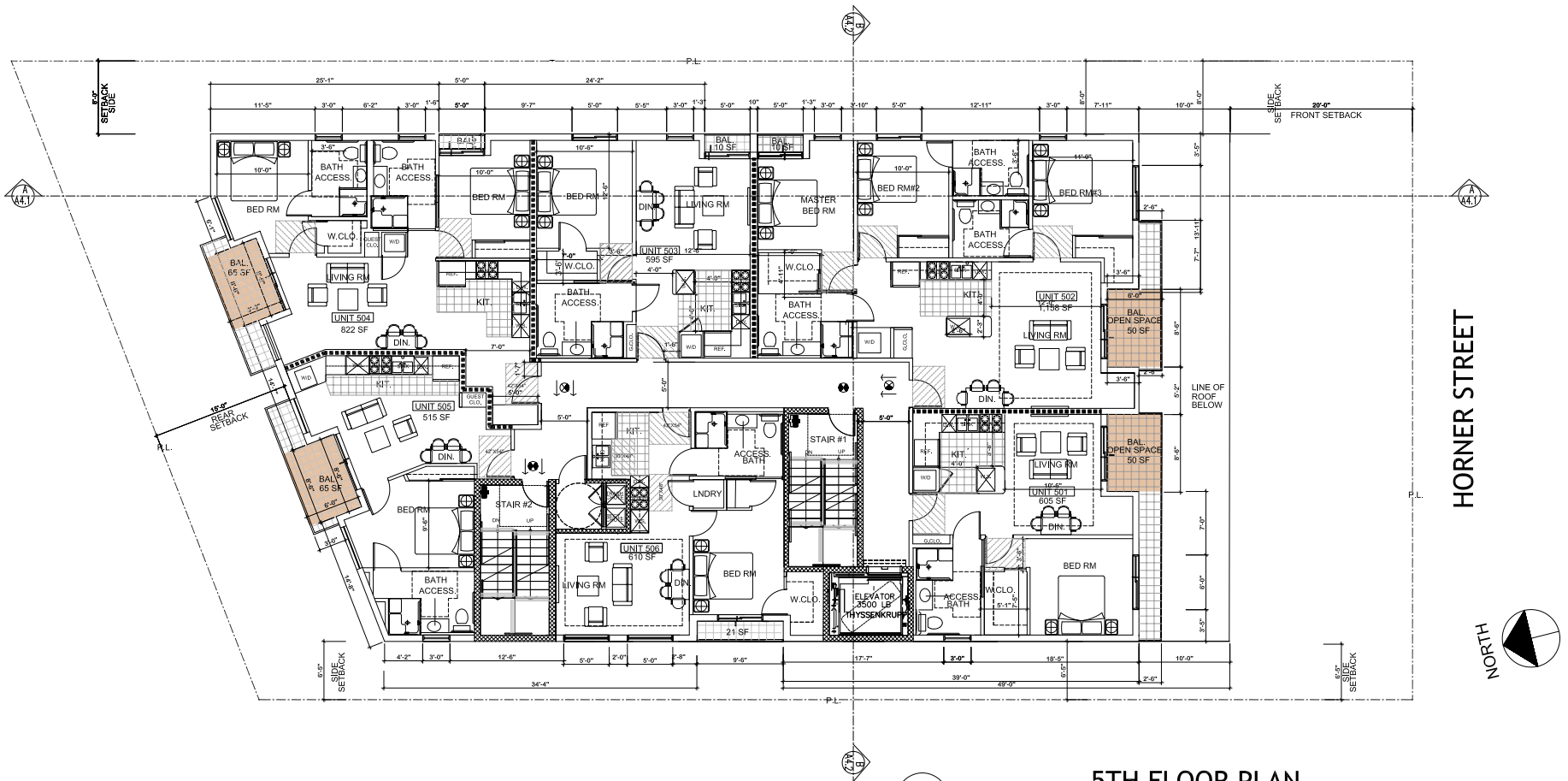
PROJECT NUMBER 21-12

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CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI CHAHARMAHAL, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#C24450, OKLAHOMA LIC.#A8576, TEXAS LIC.#26890
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310.450.8065 FAX: 310.457.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

4TH FLOOR PLAN **A2.6**
 SHEET TITLE: SHEET NO.



1 5TH FLOOR PLAN

SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT SEE 2/A7.1
 - ACC. PATH OF TRAVEL
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - C.S. CHARGING STATION
 - INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL: 100 SF

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

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PROJECT NUMBER 21-12

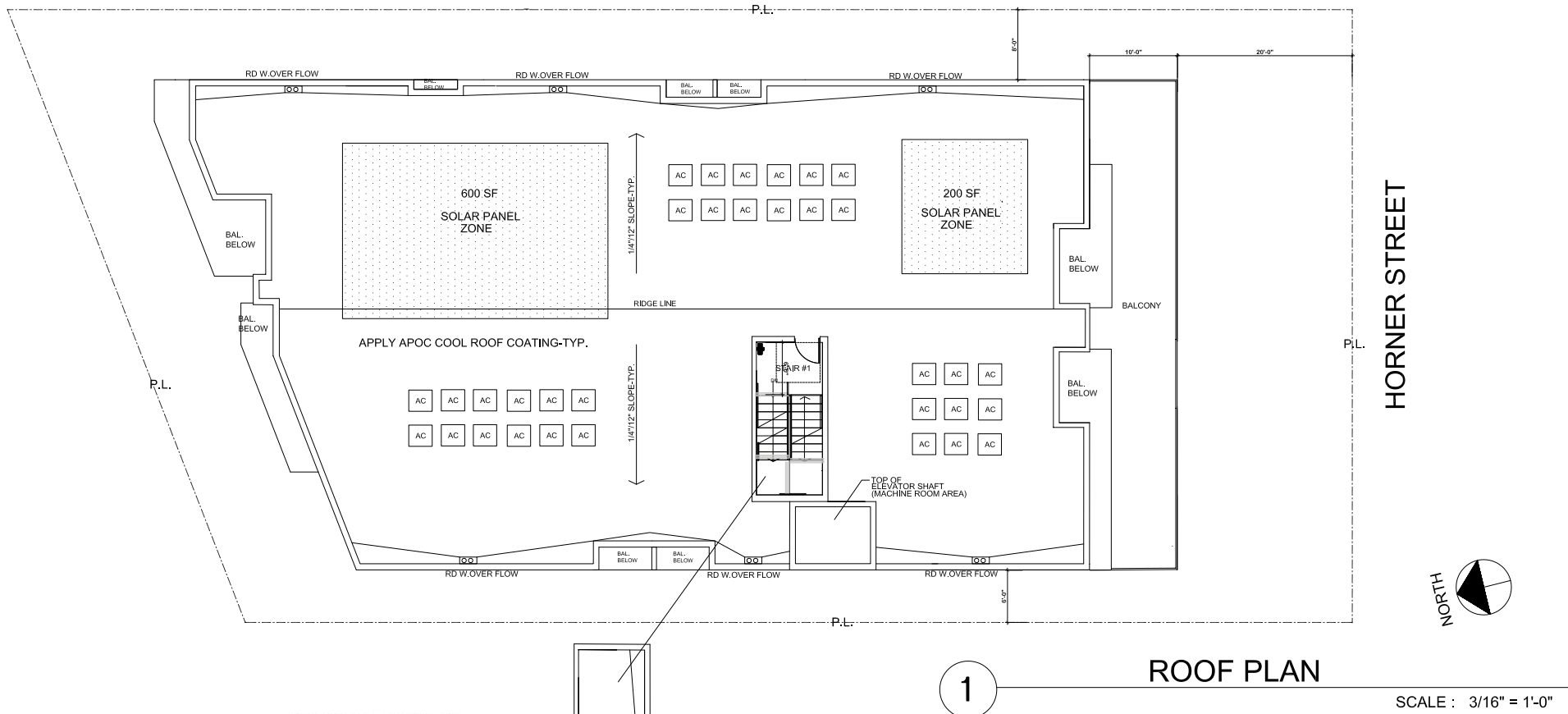
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CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI CHAHARMAHALI, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#34450, OKLAHOMA LIC.#62376, TEXAS LIC.#26090
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL:310.450.5585 FAX:310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

5TH FLOOR PLAN A2.7

SHEET TITLE: SHEET NO.



ROOF PLAN

SCALE : 3/16" = 1'-0"

1

REQUIRED SOLAR ZONE: 15% OF ROOF AREA
 ROOF AREA=5,244 SF
 15% OF ROOF AREA: 15% X 5,244 = 786.6 SF
 PROVIDED SOLAR ZONE: 800 SF

APOC Cool Roof Specification
 specification AM-ES-202

Sustainable Cool Elastomeric Coating System
 Existing BUR and Modified Membrane

Approved:
 AIA/CES/CES/CES, Energy Star Title 24, Micro-Bleed

General:
 APOC Elastomeric Coating System (ECS) is a high performance Elastomeric Coating specification designed to provide a "Cool" energy efficient roofing system over existing cool membranes. This "Cool Substrate" provides a moisture resistant and waterproof roof membrane. The membrane is applied over existing waterproofing membrane and provides a durable, long-lasting, and energy efficient roofing system. The system is applied to the roof membrane and provides a sustainable roofing system. This system is applied to the roof membrane and provides a sustainable roofing system. This system is applied to the roof membrane and provides a sustainable roofing system.

COOL ROOF SPECIFICATIONS

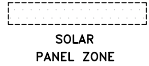
Surface Preparation
 Roof shall be completely cleaned prior to substrate application. All loose debris, dirt, oil, grease, and other contaminants shall be removed. All loose debris and grease shall be removed. All loose debris and grease shall be removed. All loose debris and grease shall be removed.

Flashings & Repairs
 All repairs and flashings shall be done using APOC APOC Membrane Flashing Cement and Membrane Flashing Reinforcement or APOC APOC Membrane Flashing Cement and Membrane Flashing Reinforcement. All repairs and flashings shall be done using APOC APOC Membrane Flashing Cement and Membrane Flashing Reinforcement.

Reflective Coating
 APOC Elastomeric Coating System shall be applied over existing roof membrane. The coating shall be applied over existing roof membrane. The coating shall be applied over existing roof membrane. The coating shall be applied over existing roof membrane.



- LEGEND :**
- EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - TWO-HR WALL
SEE 10/A7.1 FOR EXTERIOR AND
SEE 7/A7.1 FOR INTERIOR WALLS
 - EXHAUST VENT FAN ENERGY STAR
WITH HUMIDISTAT DUCTED TO EXTERIOR
 - S.P. CLASS I STANDPIPE

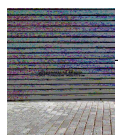


| NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035 DEVELOPER: HORNER PROPERTY LLC 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210 | CONFORMITY STATEMENT: THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THE PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY ACT 836, HOLDEN ARCHITECTS SEC. 5558.4 | REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | NO. | DESCRIPTION | BY | DATE | 1 | | | | 2 | | | | 3 | | | | 4 | | | | 5 | | | | | | CALIFORNIA DEVELOPMENT & DESIGN INC. PRINCIPAL: BABAK BARDI CHAHARMHALI, AIA (REGISTERED ARCHITECT) CALIFORNIA LIC #C-34450, OREGON LIC #A-20000 11022 SANTA MONICA BLVD, #500, LOS ANGELES, CA 90025 TEL: 310-450-5565 FAX: 310-42-7746 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM | ROOF PLAN | A2.8 |
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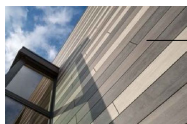


FRONT ELEVATION

SCALE : 3/16"=1'-0"



1
CORRUGATED SHEET METAL
DARK GREY



2
P U 22
EXTERIOR CLADDING
COMPOSITE PANEL
BY "TRESPA"



3
SMOOTH STUCCO BY LA HABRA
81582 CORAL GABLES (BASE 100)



4
Lafabra Exterior Stucco Colors
SMOOTH STUCCO BY LA HABRA
X-40 DOVE GREY (BASE 100)

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
DEVELOPER: HORNER PROPERTY LLC
1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

CONFORMITY STATEMENT:
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PROJECT NUMBER 21-12

| REVISIONS | | |
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| NO. | DESCRIPTION | BY DATE |
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CALIFORNIA DEVELOPMENT & DESIGN INC.
PRINCIPAL: BABAK BARDO CHAHARMANALI, AIA (REGISTERED ARCHITECT)
CALIFORNIA LIC.#C24450, OREGON LIC.#84274, TEXAS LIC.#59900
11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
TEL: 310.426.0245 FAX: 310.427.4748 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

ELEVATIONS A3.1

SHEET TITLE: SHEET NO.



EAST ELEVATION

SCALE : 3/16"=1'-0"



1 CORRUGATED SHEET METAL
DARK GREY



2 P U 22
EXTERIOR CLADDING
COMPOSITE PANEL
BY "TRESPA"



3 SMOOTH STUCCO BY LA HABRA
91592 CORAL GABLES (BASE 100)



4 Lathfree (Interior) Stucco Colors
SMOOTH STUCCO BY LA HABRA
X-40 DOVE GREY (BASE 200)

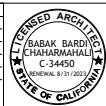
1

CONFORMITY STATEMENT:

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REVISIONS

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CALIFORNIA DEVELOPMENT & DESIGN INC.
PRINCIPAL: BABAK BARDI CHAHARMANALI, AIA (REGISTERED ARCHITECT)
CALIFORNIA LIC.#24440, OREGON LIC.#24576, TEXAS LIC.#20050
11222 SANTA MONICA BLVD., #300, LOS ANGELES, CA 90025
TEL:310.450.5565 FAX:310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
DEVELOPER: HORNER PROPERTY LLC
1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

PROJECT NUMBER 21-12

SHEET TITLE:

ELEVATIONS A3.2

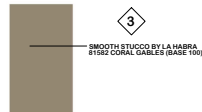
SHEET NO.



1 CORRUGATED SHEET METAL DARK GREY



2 P.U. 22 EXTERIOR CLADDING COMPOSITE PANEL BY 'TRESPA'



3 SMOOTH STUCCO BY LA HABRA 8192 CORAL GABLES (BASE 100)



4 Latitek Exterior Stucco Colors SMOOTH STUCCO BY LA HABRA X-40 DOVE GREY (BASE 200)

1

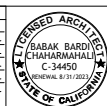
WEST SIDE ELEVATION

SCALE: 3/16"=1'-0"

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

CONFORMITY STATEMENT:
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CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI CHAMARAMALLU, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#C-34450, OKLAHOMA LIC.#AS-576, TEXAS LIC.#00020
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 TEL:310.450.2595 FAX:310.477.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

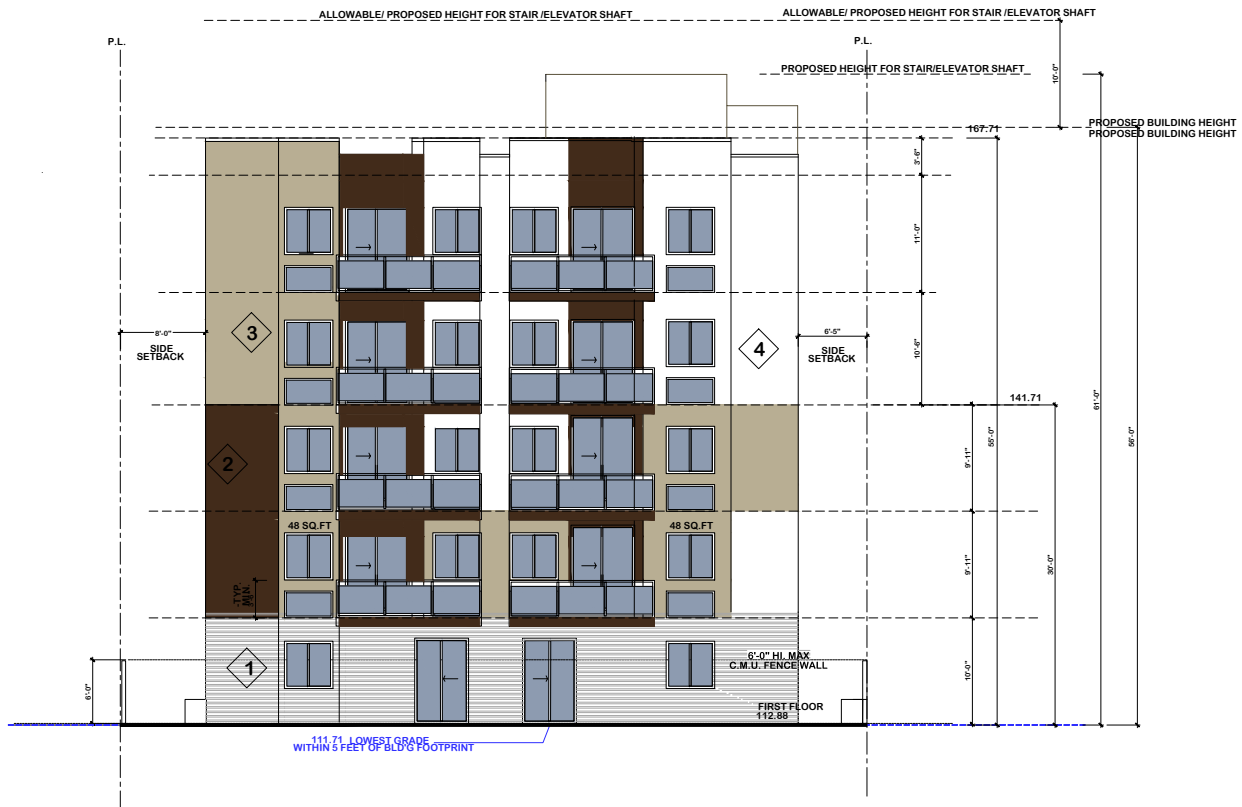
ELEVATIONS

A3.3

SHEET TITLE:

SHEET NO.

PROJECT NUMBER 21-12



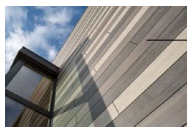
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REAR ELEVATION

SCALE : 3/16"=1'-0"



1
CORRUGATED SHEET METAL
DARK GREY



2
P U 22
EXTERIOR CLADDING
COMPOSITE PANEL
BY "TRESPA"

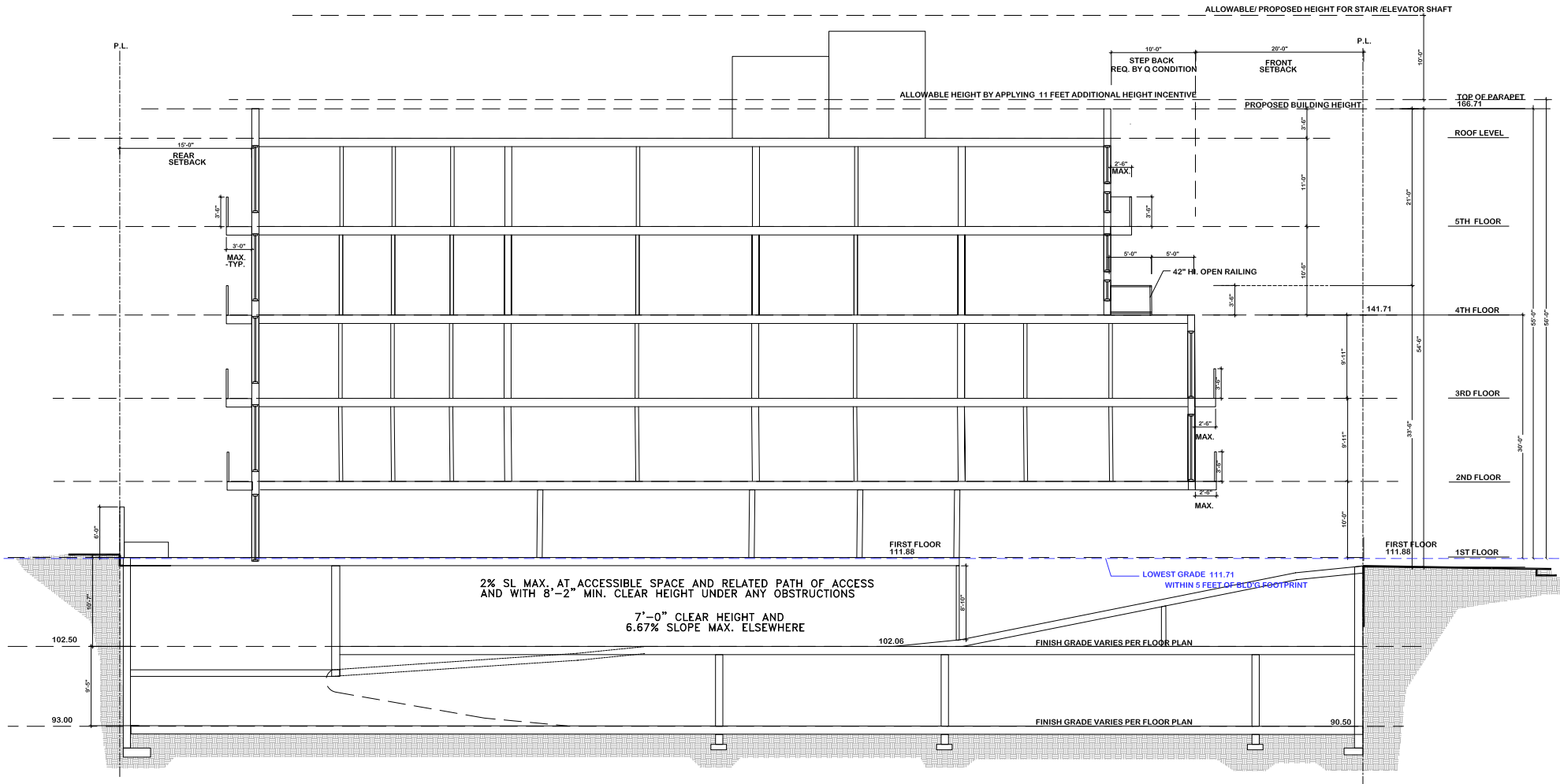


3
SMOOTH STUCCO BY LA HABRA
#158Z CORAL CABLES (BASE 100)



4
SMOOTH STUCCO BY LA HABRA
X-40 DOVE GREY (BASE 200)
Leffebvre Exterior Stucco Colors

| <p>NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035 DEVELOPER: HORNER PROPERTY LLC 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210</p> | <p>CONFORMITY STATEMENT: THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 650, HOLDEN ARCHITECTS SEC. 9536.4</p> | <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | NO. | DESCRIPTION | BY | DATE | Δ | | | | Δ | | | | Δ | | | | Δ | | | | | | <p>CALIFORNIA DEVELOPMENT & DESIGN INC. PRINCIPAL: BABAK BARDI CHAHARMAHALL, AIA (REGISTERED ARCHITECT) CALIFORNIA LIC.#C-34450, OKLAHOMA LIC.#ARS76, TEXAS LIC.#28090 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025 TEL:310.430.5565 FAX:310.427.7746 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM</p> | <p>ELEVATIONS</p> | <p>A3.4</p> |
|---|---|---|------|--------------|----|-----------|---|--|--|--|---|--|--|--|---|--|--|--|---|--|--|--|--|--|---|--------------------------|--------------------|
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| PROJECT NUMBER 21-12 | | | | SHEET TITLE: | | SHEET NO. | | | | | | | | | | | | | | | | | | | | | |



SECTION A-A

SCALE: 3/16"=1'-0"

1

NEW 5-STORY 29- UNIT APARTMENT BUILDING
 PROJECT ADDRESS: 8521 HORNER ST, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

| REVISIONS | |
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| NO. | DESCRIPTION |
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| 2 | AS SHOWN |
| 3 | AS SHOWN |
| 4 | AS SHOWN |
| 5 | AS SHOWN |

CONFIDENTIALITY STATEMENT:
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 FOR ANY OTHER PROJECT WITHOUT THE WRITTEN
 CONSENT OF CDD INC. IS STRICTLY PROHIBITED.
 ANY VIOLATION OF THIS STATEMENT WILL BE
 CONSIDERED A BREACH OF THE PROFESSIONAL
 ETHICS OF THE ARCHITECT.



CALIFORNIA DEVELOPMENT AND DESIGN INC.
 11022 SANTA MONICA BLVD, SUITE 200
 LOS ANGELES, CA 90025
 TEL: 310.430.5588 FAX: 310.427.7448
 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM



DESIGNED BY: B. BARDHI
 CHECKED BY:
 DRAWN BY:
 DATE DRAWN:
 JOB NUMBER: CDD-2121
 SCALE:

SECTION A4.1

SHEET TITLE:

SHEET NO.

