

1ST FLOOR PLAN

SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - INDICATES OPEN SPACE AREA
 - 1,248 SF AT REAR YARD AND 725 SF AT RECREATION RM
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - C.S. CHARGING STATION

CONFORMITY STATEMENT:
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PRINTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. SOURCE OF WORK, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 684, HOUSE ARCHITECTS SEC. 688.4.

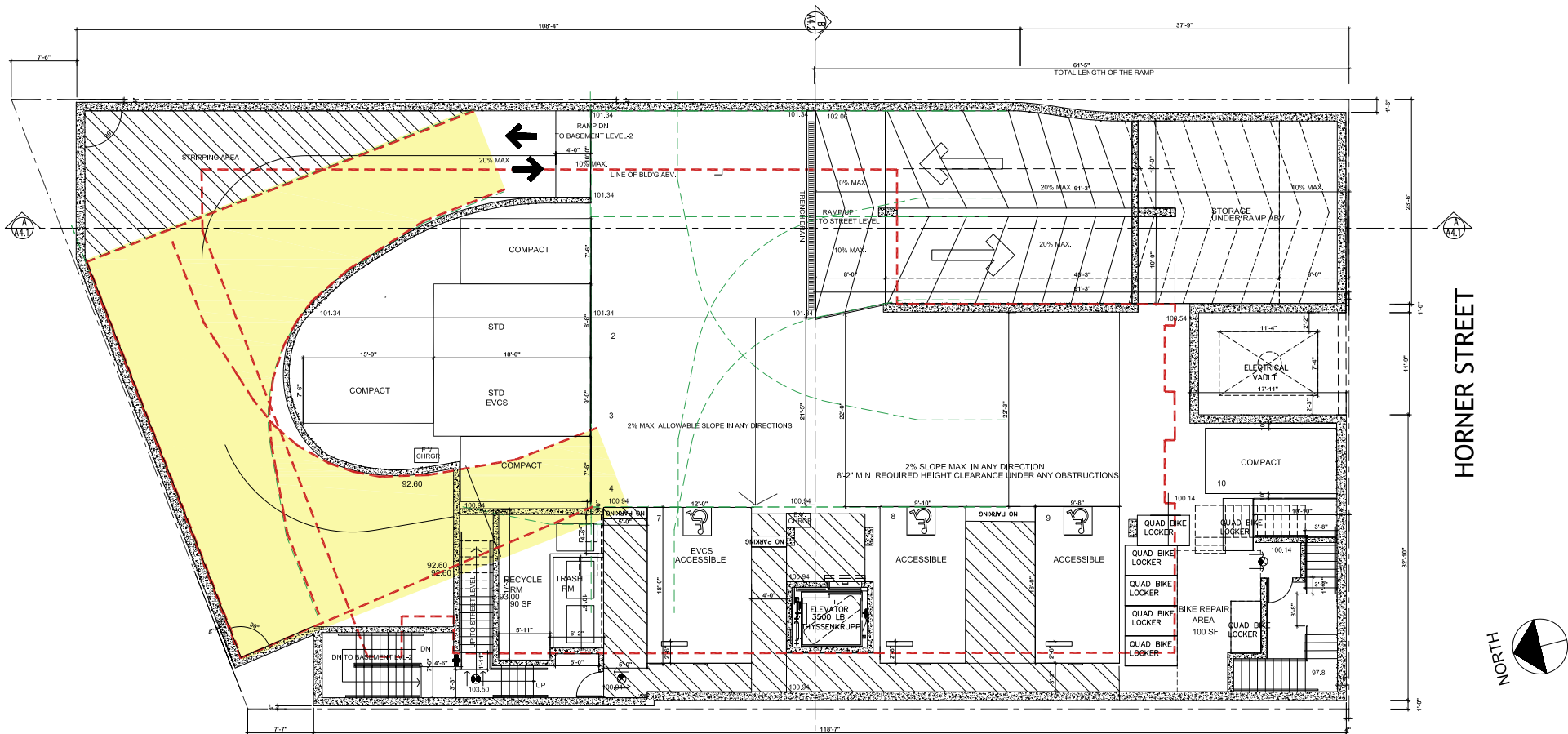
REVISIONS		
NO.	DESCRIPTION	BY DATE
1		
2		
3		
4		
5		



CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDO CHAHARMANALI, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#254450, OREGON LIC.#48276, TEXAS LIC.#59904
 11021 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310.456.2848 FAX: 310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

1ST FLOOR PLAN A2.1
 SHEET TITLE: SHEET NO.

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



1 1ST BASEMENT FLOOR PLAN
SCALE : 3/16" = 1'-0"

2

Upper #10031
Lower #10017

ProPark DT/SM (S02)
(2-Tier) Standard Locker (Dims)

CycleSafe
616-954-9977

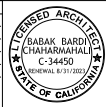
DOUBLE TIER QUAD BIKE LOCKER N.T.S.

- LEGEND :**
- 2 X STUDS INERIOR WALL
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL
 - TWO-HR WALL
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - CHARGING STATION

CONFORMITY STATEMENT:
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND NOT BE USED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. ANY REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY BILL 680, WHICH AMENDS SEC. 98324.4

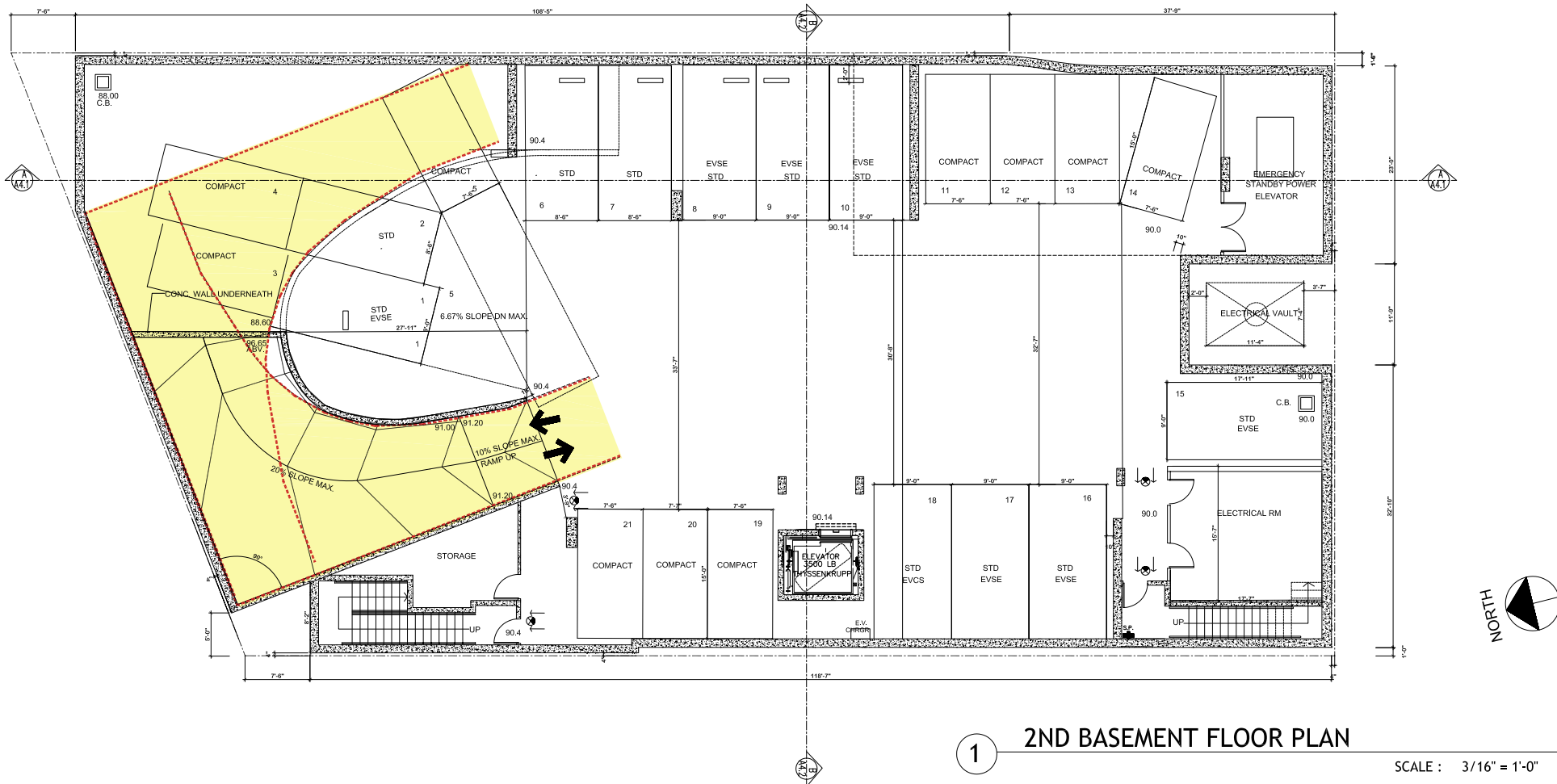
NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

PROJECT NUMBER: 21-12



CALIFORNIA DEVELOPMENT & DESIGN INC.
PRINCIPAL: BABAK BARDAJI (REGISTERED ARCHITECT)
CALIFORNIA LIC.#C-34450, OKLAHOMA LIC.#A2376, TEXAS LIC.#28090
11922 SANTA MONICA BLVD., #300, LOS ANGELES, CA 90025
TEL: 310.430.5583 FAX: 310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

1ST BASEMENT FLOOR PLAN
SHEET TITLE: SHEET NO. **A2.2**



1 2ND BASEMENT FLOOR PLAN SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS 1 STANDPIPE
 - C.C.S. CHARGING STATION

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

CONFORMITY STATEMENT:
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHERE THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 680, HOLDEN ARCHITECTS SEC. 6536.4

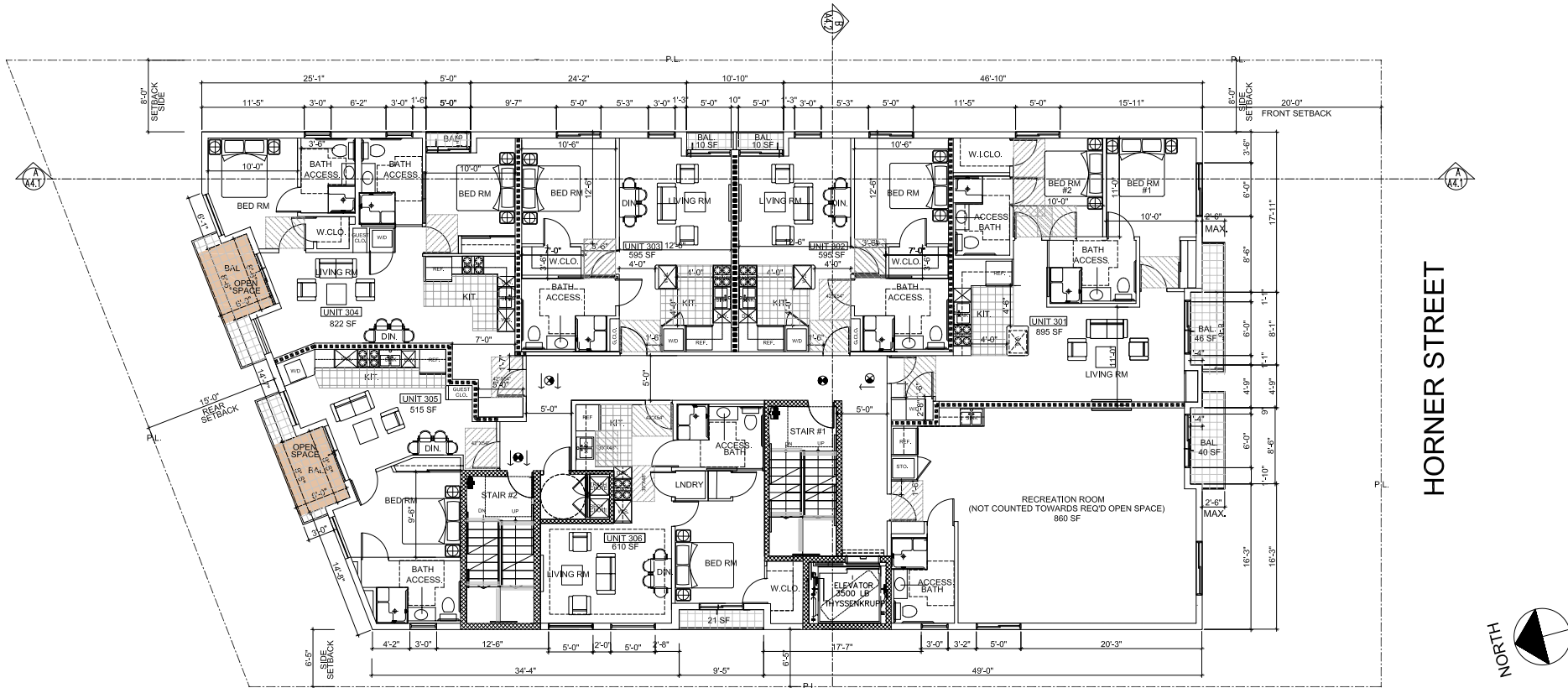
REVISIONS		
NO.	DESCRIPTION	BY DATE



CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI (C34450) (REGISTERED ARCHITECT)
 CALIFORNIA LIC #C34450, OREGON LIC #4677, TEXAS LIC #6909
 11922 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310-450-0868 FAX: 310-427-7168 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

2ND BASEMENT FLOOR PLAN
 SHEET TITLE:

A2.3
 SHEET NO.



HORNER STREET



1 3RD FLOOR PLAN SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - PARKING SPACE DESIGNATED FOR RESIDENTIAL USE
 - INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL: 100 SF
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - CHARGING STATION

CONFORMITY STATEMENT:
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCP) & CALIFORNIA ASSEMBLY AB 806, HOLDEN ARCHITECTS SEC. 53364.1

PROJECT NUMBER: 21-12

REVISIONS		
NO.	DESCRIPTION	BY DATE

LICENSED ARCHITECT
BARAK BARDI
CHAHARMAHALLI
C-34450
SINCE 1978

CDD

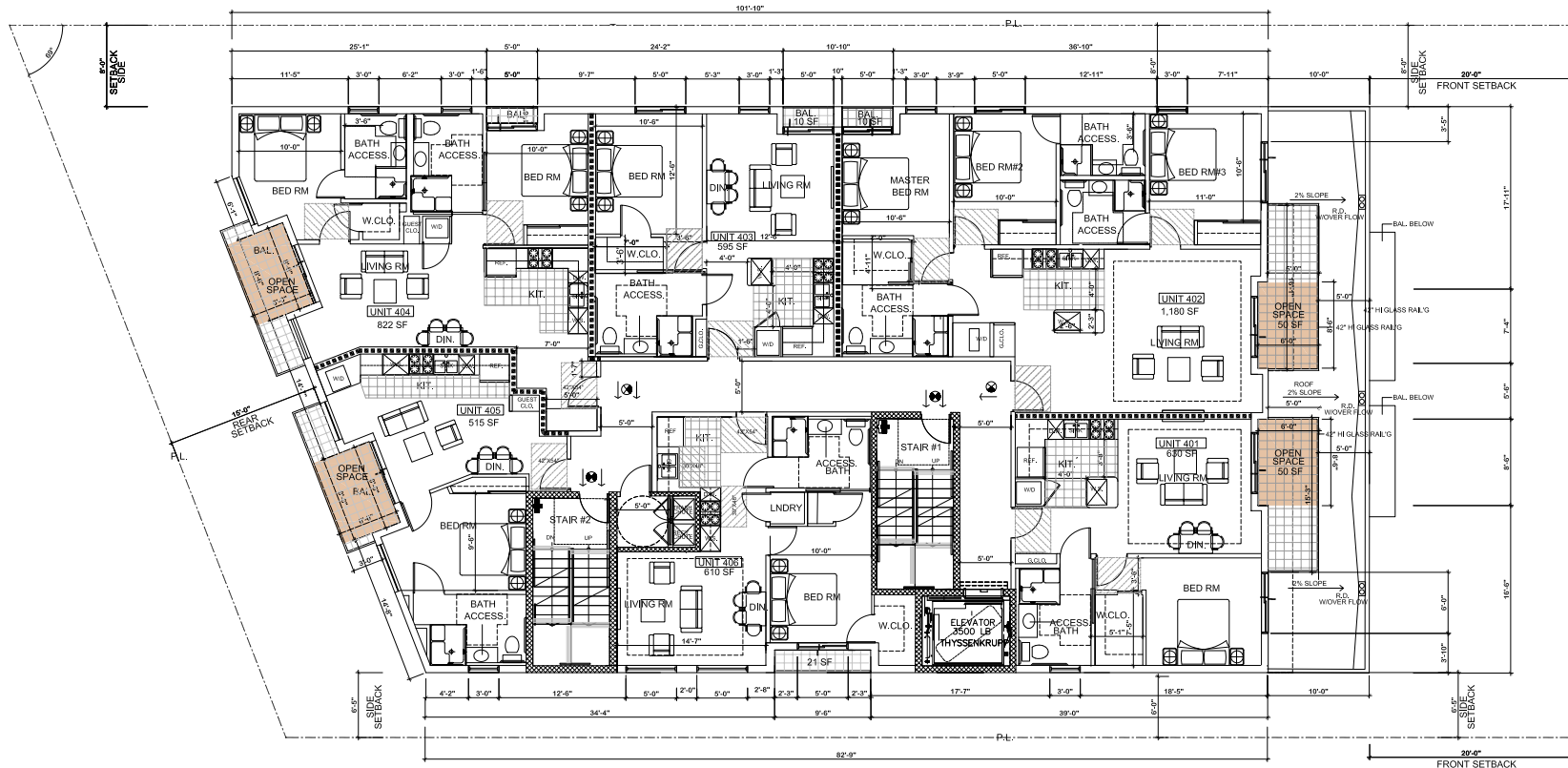
INC

CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BARAK BARDI CHAHARMAHALLI, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#CS4480, OKLAHOMA LIC.#A6378, TEXAS LIC.#28090
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310.430.5565 FAX: 310.427.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

3RD FLOOR PLAN A2.5

SHEET TITLE: SHEET NO.

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



HORNER STREET



4TH FLOOR PLAN

1

SCALE : 3/16" = 1'-0"

LEGEND :

- 2 X STUDS INTERIOR WALL SEE 2/A7.2
- C.M.U. WALL (SEE STRUCTURAL)
- FULL HEIGHT ONE HR WALL SEE 2/A7.1
- TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
- PARTITION WALLS
- CONTRAST WARNING STRIPING
- BACKING FOR GRAB BARS
- EXIT SIGN W/ EMERGENCY LIGHT
- ACC. PATH OF TRAVEL
- INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL: 300 SF
- FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
- EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
- CLASS I STANDPIPE
- CHARGING STATION

CONFORMITY STATEMENT:
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (ARCHA) & CALIFORNIA ASSEMBLY AB 830, HOLDEN ARCHITECTS SEC. 5536.4

PROJECT NUMBER: 21-12

REVISIONS	
NO.	DESCRIPTION

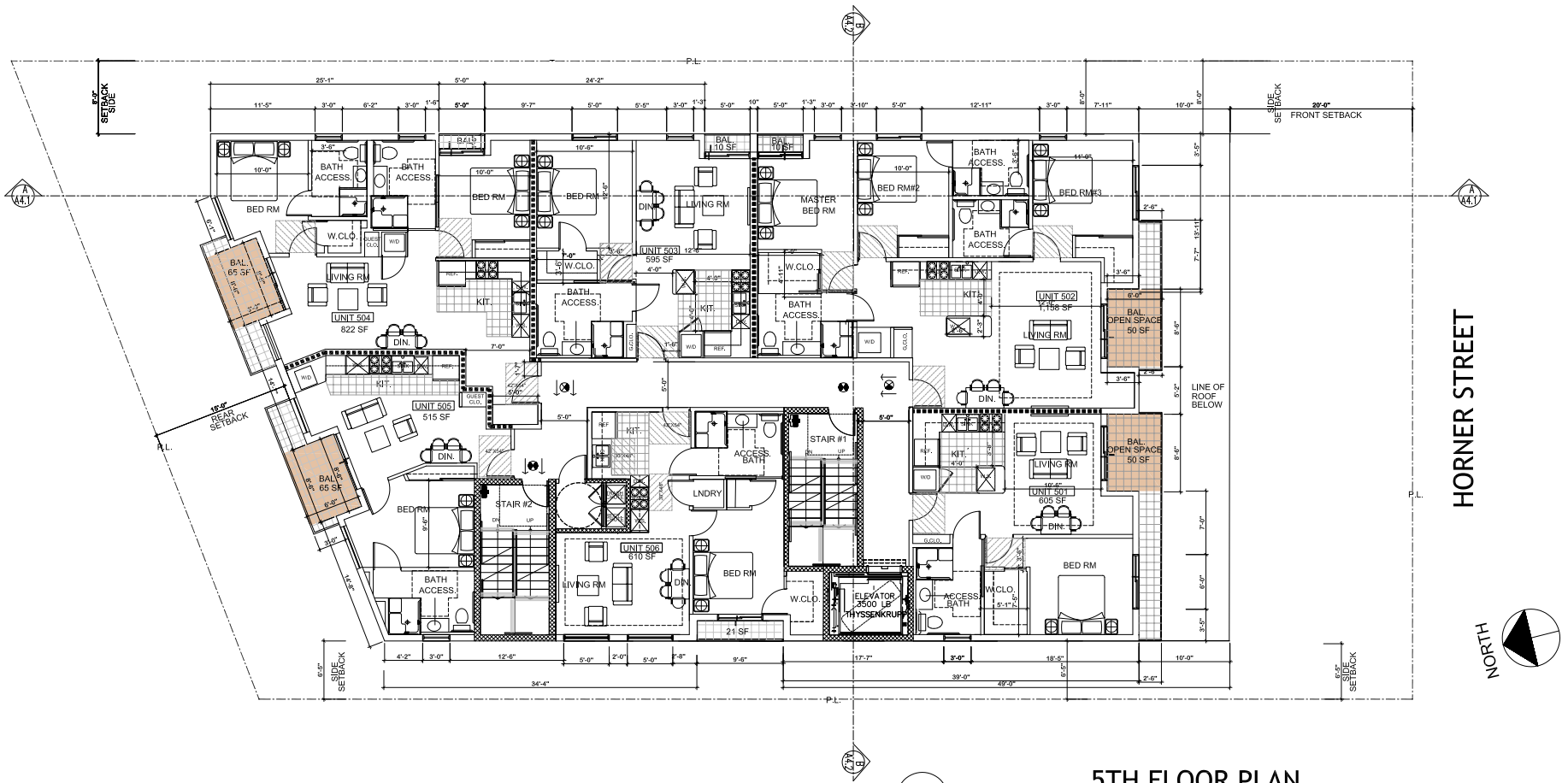


CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI CHAHARMAHAL, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#C24450, OKLAHOMA LIC.#A8276, TEXAS LIC.#26390
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL: 310.450.8055 FAX: 310.457.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

4TH FLOOR PLAN A2.6

SHEET TITLE: 4TH FLOOR PLAN
 SHEET NO.: A2.6

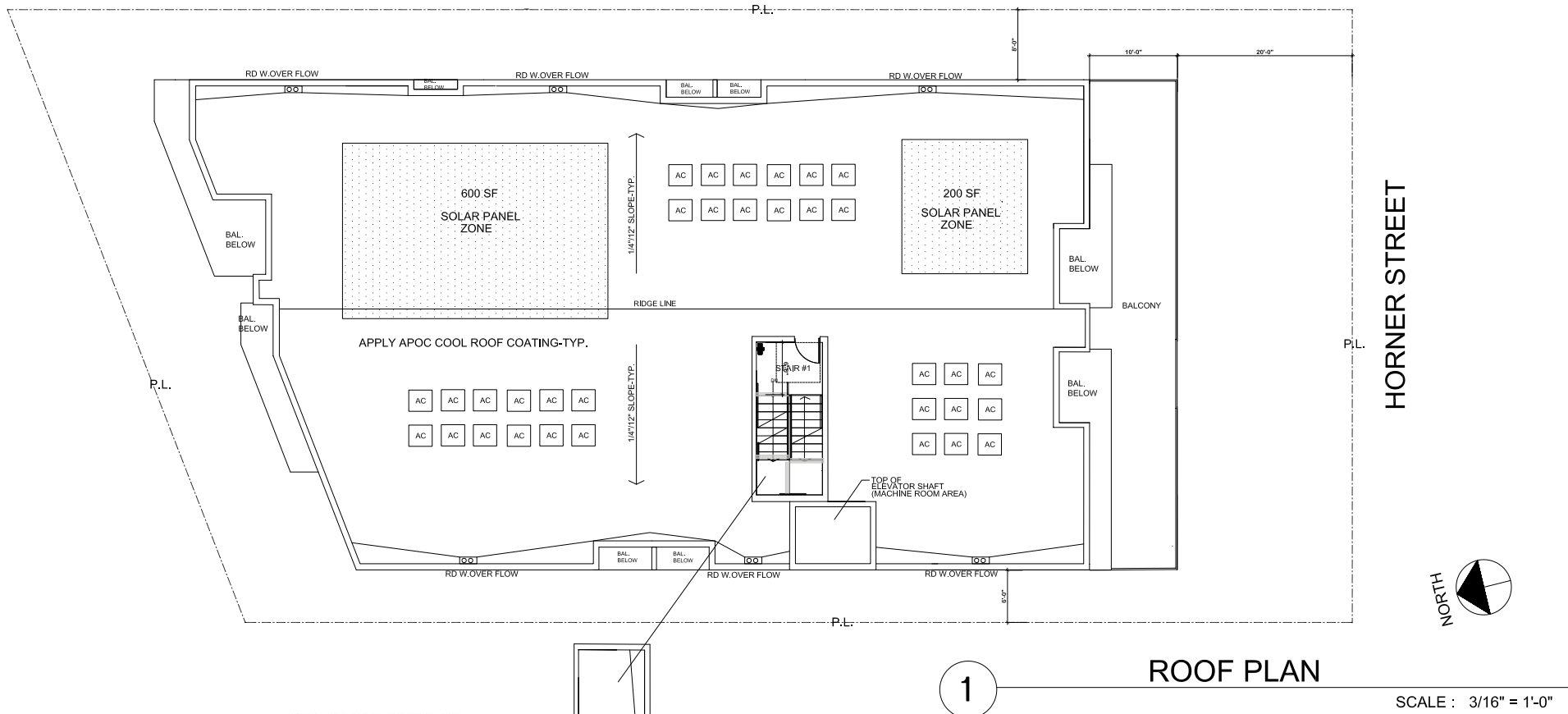
NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210



1 **5TH FLOOR PLAN** SCALE : 3/16" = 1'-0"

- LEGEND :**
- 2 X STUDS INTERIOR WALL SEE 2/A7.2
 - C.M.U. WALL (SEE STRUCTURAL)
 - CONCRETE WALL (SEE STRUCTURAL)
 - FULL HEIGHT ONE HR WALL SEE 2/A7.1
 - TWO-HR WALL SEE 10/A7.1 FOR EXTERIOR AND SEE 7/A7.1 FOR INTERIOR WALLS
 - PARTITION WALLS
 - CONTRAST WARNING STRIPING
 - BACKING FOR GRAB BARS
 - EXIT SIGN W/ EMERGENCY LIGHT SEE 2/A7.1
 - ACC. PATH OF TRAVEL
 - INDICATES PRIVATE OPEN SPACE AREA PROVIDED OPEN SPACE AT THIS LEVEL: 100 SF
 - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
 - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
 - CLASS I STANDPIPE
 - CHARGING STATION

<p>NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035 DEVELOPER: HORNER PROPERTY LLC 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210</p>	<p>CONFORMITY STATEMENT: THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE AGENCIES OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD OR MEANS, IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 686, HOLDEN ARCHITECTS SEC. 0636.4</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">NO.</th> <th style="text-align: left;">DESCRIPTION</th> <th style="text-align: left;">BY</th> <th style="text-align: left;">DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE																							<p>CALIFORNIA DEVELOPMENT & DESIGN INC. PRINCIPAL: BABAK BARDI CHAHARMAHALI, AIA (REGISTERED ARCHITECT) CALIFORNIA LIC.#34450, OKLAHOMA LIC.#A82376, TEXAS LIC.#26090 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025 TEL:310.450.5585 FAX:310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM</p>	<p>5TH FLOOR PLAN</p>	<p>A2.7</p>
NO.	DESCRIPTION	BY	DATE																												
PROJECT NUMBER 21-12						SHEET TITLE:		SHEET NO.																							



ROOF PLAN

SCALE : 3/16" = 1'-0"

1

REQUIRED SOLAR ZONE: 15% OF ROOF AREA
 ROOF AREA=5,244 SF
 15% OF ROOF AREA: 15% X 5,244 = 786.6 SF
 PROVIDED SOLAR ZONE: 800 SF

- LEGEND :**
- EXIT SIGN W/ EMERGENCY LIGHT
 - ACC. PATH OF TRAVEL
 - TWO-HR WALL
SEE 10/A7.1 FOR EXTERIOR AND
SEE 7/A7.1 FOR INTERIOR WALLS
 - EXHAUST VENT FAN ENERGY STAR
WITH HUMIDISTAT DUCTED TO EXTERIOR
 - S.P. CLASS I STANDPIPE

APOC Cool Roof Specification
 specification AM-ES-202

Sustainable Cool Elastomeric Coating System
 Existing BUR and Modified Membrane

Approved:
 AIA/CES, LEED, Energy Star Title 24, Micro-Scale

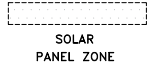
General:
 APOC Elastomeric AM-ES-202 is a high performance Elastomeric Coating specification designed to provide a "Cool" energy efficient roofing system over existing cool membranes. This "Cool Substrate" provides a moisture resistant and waterproof that can effectively reduce membrane porosity, water coating over time (up to 100%), increase the life expectancy of existing HVAC systems and provide a sustainable roof membrane. This system is ideal for use over existing built up roof systems that use cold applied and modified bitumen cool membrane systems (BUR) and joint membranes. This specification is not a new roof system and is intended for application to substrate in good condition. The contractor or consultant is responsible for the roof deck inspection and integrity of substrate. No damaged areas, including but not limited to: any ice, water damage, wet insulation, etc. shall be repaired in accordance with IRCA Standards and/or roof building codes. Roof repair membrane products and/or shall not retain ponding areas specified by the IRCA. All general instructions from current APOC Roofing Systems Manual, Product Data Sheets, Job Specific P&I Sheets, and Master Specifications are included as part of this specification.

COOL ROOF SPECIFICATIONS

Surface Preparation
 Roof deck surface must be clean, dry, and free of debris. All loose material must be removed. All debris and loose material must be swept or blown off. All debris and loose material must be swept or blown off. All debris and loose material must be swept or blown off.

Flashings & Repairs
 All repairs and flashings shall be done using APOC APOC Membrane Flashing Cement and Membrane Flashing Reinforcement or APOC APOC Membrane Flashing Cement and Membrane Flashing Reinforcement. All repairs and flashings shall be done using APOC APOC Membrane Flashing Cement and Membrane Flashing Reinforcement.

Reflective Coating
 APOC Elastomeric AM-ES-202 shall be applied over existing cool membrane systems (BUR) and joint membranes. This specification is not a new roof system and is intended for application to substrate in good condition. The contractor or consultant is responsible for the roof deck inspection and integrity of substrate. No damaged areas, including but not limited to: any ice, water damage, wet insulation, etc. shall be repaired in accordance with IRCA Standards and/or roof building codes. Roof repair membrane products and/or shall not retain ponding areas specified by the IRCA. All general instructions from current APOC Roofing Systems Manual, Product Data Sheets, Job Specific P&I Sheets, and Master Specifications are included as part of this specification.

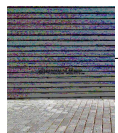


NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035 DEVELOPER: HORNER PROPERTY LLC 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210	CONFORMITY STATEMENT: THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THE PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY ACT 836, HOLDEN ARCHITECTS SEC. 5558.4	REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE	1				2				3				4				5						CALIFORNIA DEVELOPMENT & DESIGN INC. PRINCIPAL: BABAK BARDI CHAMRANGAMALLI, AIA (REGISTERED ARCHITECT) CALIFORNIA LIC #24840, OREGON LIC #2000 11022 SANTA MONICA BLVD, #500, LOS ANGELES, CA 90025 TEL: 310.450.5565 FAX: 310.42.7746 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM	ROOF PLAN	A2.8
	NO.	DESCRIPTION	BY	DATE																											
1																															
2																															
3																															
4																															
5																															
PROJECT NUMBER: 21-12						SHEET TITLE:	SHEET NO.																								

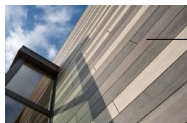


1 FRONT ELEVATION

SCALE : 3/16"=1'-0"



1
CORRUGATED SHEET METAL
DARK GREY



2
P U 22
EXTERIOR CLADDING
COMPOSITE PANEL
BY "TRESPA"



3
SMOOTH STUCCO BY LA HABRA
81582 CORAL GABLES (BASE 100)



4
Lafabra Exterior Stucco Colors
SMOOTH STUCCO BY LA HABRA
8140 DOVE GREY (BASE 200)

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
DEVELOPER: HORNER PROPERTY LLC
1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

CONFORMITY STATEMENT:
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHERE THEY WERE PREPARED FOR AND REPRINTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT. SCOPE OF WORK, REISSUE, REPRODUCTION OR MODIFICATION BY ANY METHOD OR IN ANY PART IS PROHIBITED UNDER THE US ARCHITECTURAL RIGHTS COPYRIGHT PROTECTION ACT (ARCPA) & CALIFORNIA ASSEMBLY AB 688, HOLDEN ARCHITECTS SEC. 8688-4

REVISIONS		
NO.	DESCRIPTION	BY DATE
1		
2		
3		
4		



CALIFORNIA DEVELOPMENT & DESIGN INC.
PRINCIPAL: BABAK BARDO CHAHARMANALI, AIA (REGISTERED ARCHITECT)
CALIFORNIA LIC.#C24450, OREGON LIC.#84274, TEXAS LIC.#59900
11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
TEL: 310.426.0245 FAX: 310.427.4748 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

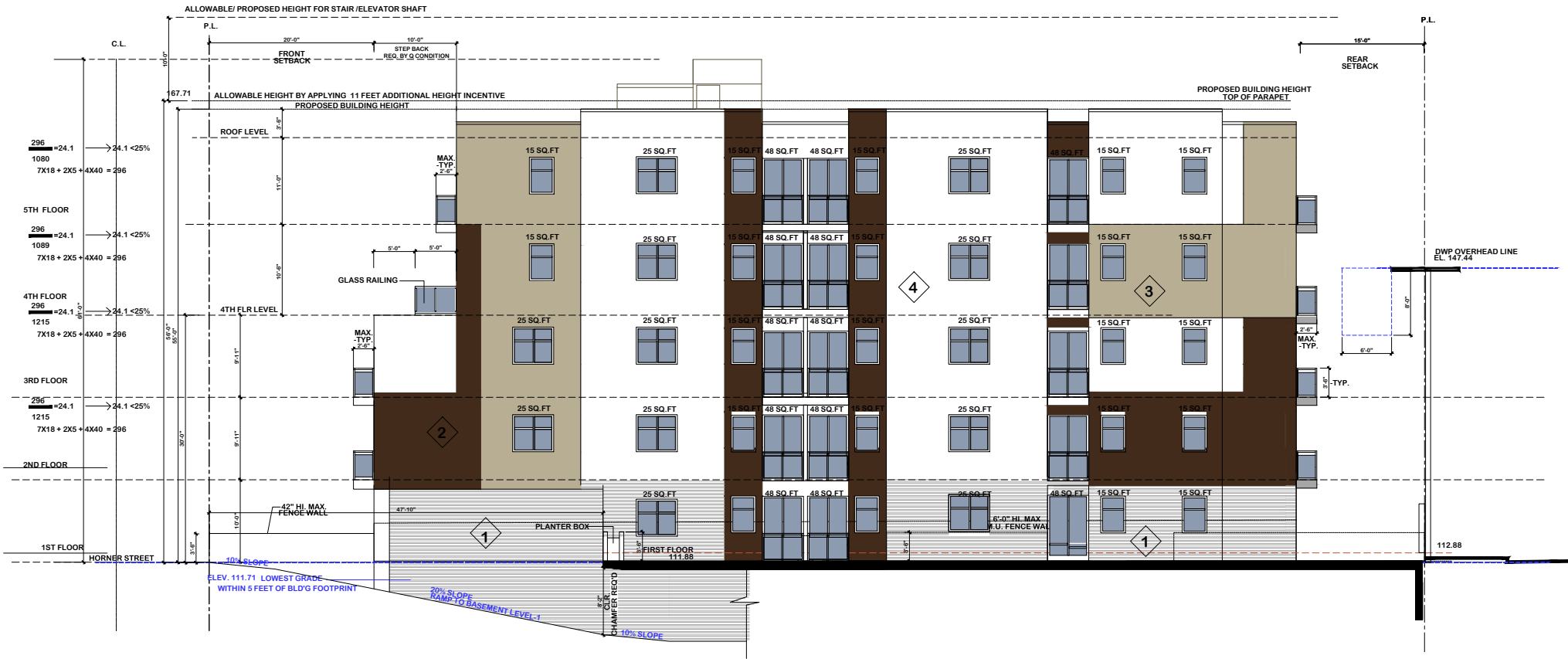
ELEVATIONS

A3.1

SHEET TITLE:

SHEET NO.

PROJECT NUMBER 21-12



EAST ELEVATION

SCALE : 3/16"=1'-0"



1 CORRUGATED SHEET METAL
DARK GREY



2 P U 22
EXTERIOR CLADDING
COMPOSITE PANEL
BY "TRESPA"



3 SMOOTH STUCCO BY LA HABRA
91592 CORAL GABLES (BASE 100)



4 Lathfree (Interior) Stucco Coats
SMOOTH STUCCO BY LA HABRA
X-40 DOVE GREY (BASE 200)

1

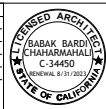
CONFORMITY STATEMENT:

THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND CONSENTED LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 630, HOLDEN ARCHITECTS SEC. 5536.4

PROJECT NUMBER 21-12

REVISIONS

NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			



CALIFORNIA DEVELOPMENT & DESIGN INC.
PRINCIPAL: BABAK BARDI CHAHARMHAL, AIA (REGISTERED ARCHITECT)
CALIFORNIA LIC.#24440, OREGON LIC.#24576, TEXAS LIC.#20050
11222 SANTA MONICA BLVD., #300, LOS ANGELES, CA 90025
TEL:310.450.5565 FAX:310.427.7448 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

ELEVATIONS

A3.2

SHEET TITLE:

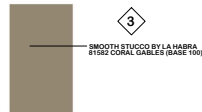
SHEET NO.



1 CORRUGATED SHEET METAL DARK GREY



2 P.U. 22 EXTERIOR CLADDING COMPOSITE PANEL BY TRESPA



3 SMOOTH STUCCO BY LA HABRA



4 Exterior Stone Colors

1

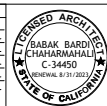
WEST SIDE ELEVATION

SCALE: 3/16"=1'-0"

NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING
 PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

CONFORMITY STATEMENT:
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PROMOTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY # 830, HOLDEN ARCHITECTS SEC. 5538.4

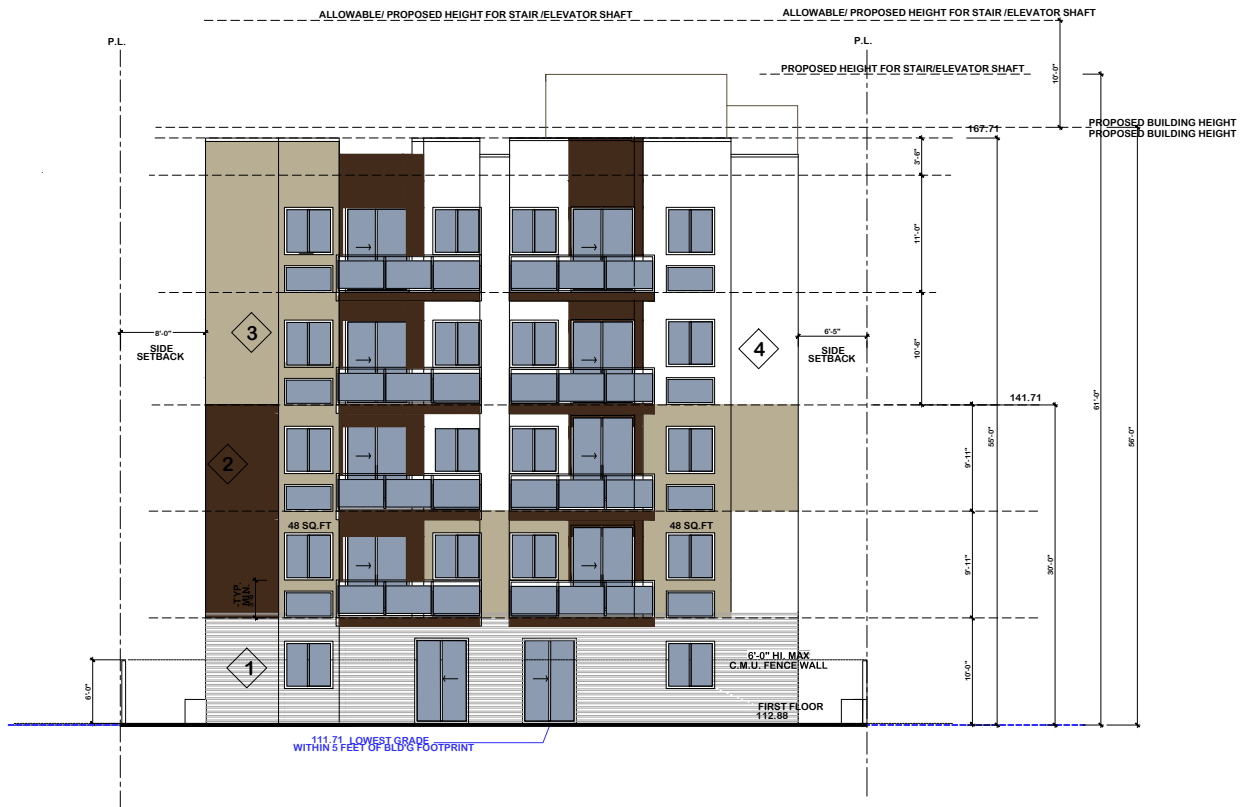
NO.	DESCRIPTION	BY	DATE
Δ			
Δ			
Δ			
Δ			



CALIFORNIA DEVELOPMENT & DESIGN INC.
 PRINCIPAL: BABAK BARDI CHAMARAMMALI, AIA (REGISTERED ARCHITECT)
 CALIFORNIA LIC.#C-34450, OKLAHOMA LIC.#AS-576, TEXAS LIC.#20020
 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025
 TEL:310.430.2595 FAX:310.477.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

ELEVATIONS A3.3
 SHEET TITLE: SHEET NO.

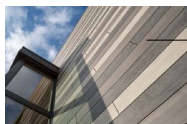
PROJECT NUMBER 21-12



1 REAR ELEVATION SCALE : 3/16"=1'-0"



1 CORRUGATED SHEET METAL DARK GREY



2 P U 22 EXTERIOR CLADDING COMPOSITE PANEL BY TRESPA

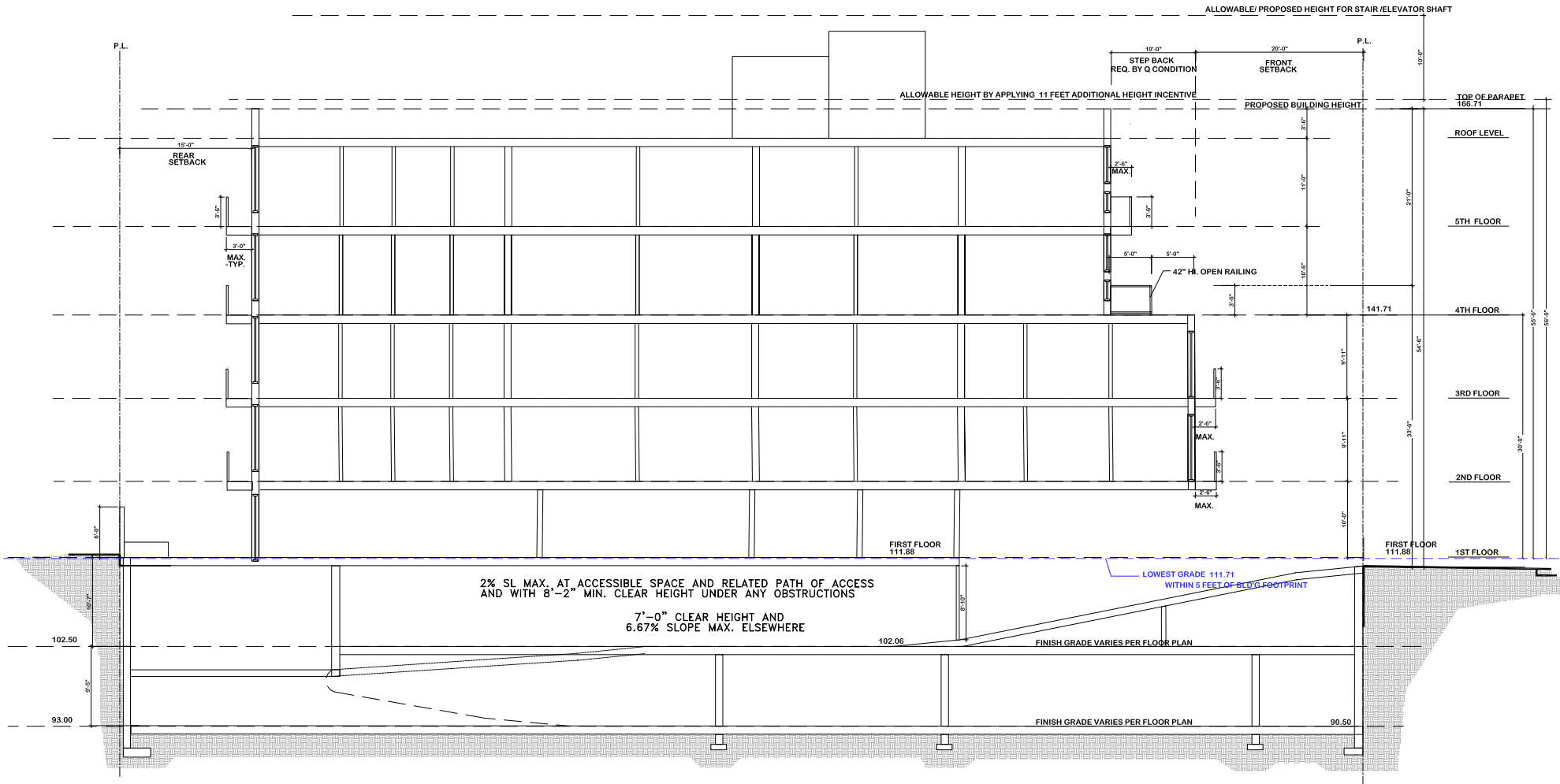


3 SMOOTH STUCCO BY LA HABRA #1582 CORAL CABLES (BASE 100)



4 Lettabre Exterior Stucco Colors SMOOTH STUCCO BY LA HABRA X-40 DOVE GREY (BASE 200)

<p>NEW 5-STORY 29- UNIT RESIDENTIAL BUILDING PROJECT ADDRESS: 8521 HORNER STREET, LOS ANGELES, CA 90035 DEVELOPER: HORNER PROPERTY LLC 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210</p>	<p>CONFORMITY STATEMENT: THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 650, HOLDEN ARCHITECTS SEC. 9536.4</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE	Δ				Δ				Δ				Δ						<p>CALIFORNIA DEVELOPMENT & DESIGN INC. PRINCIPAL: BABAK BARDI CHAHARMAHALL, AIA (REGISTERED ARCHITECT) CALIFORNIA LIC.#34450, OKLAHOMA LIC.#AR0376, TEXAS LIC.#28090 11022 SANTA MONICA BLVD., #200, LOS ANGELES, CA 90025 TEL:310.430.5565 FAX:310.427.7746 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM</p>	<p>ELEVATIONS</p>	<p>A3.4</p>
NO.	DESCRIPTION	BY	DATE																								
Δ																											
Δ																											
Δ																											
Δ																											
PROJECT NUMBER 21-12				SHEET TITLE:		SHEET NO.																					



SECTION A-A

SCALE: 3/16"=1'-0"

1

NEW 5-STORY 29- UNIT APARTMENT BUILDING
 PROJECT ADDRESS: 8521 HORNER ST, LOS ANGELES, CA 90035
 DEVELOPER: HORNER PROPERTY LLC
 1040 MAYBROOK DRIVE, BEVERLY HILLS, CA 90210

REVISIONS	
NO.	DESCRIPTION
1	AS SHOWN
2	AS SHOWN
3	AS SHOWN
4	AS SHOWN
5	AS SHOWN

CONFIDENTIALITY STATEMENT:
 THE USE OF THESE PLANS AND SPECIFICATIONS
 FOR ANY OTHER PROJECT WITHOUT THE WRITTEN
 CONSENT OF CDD INC. IS STRICTLY PROHIBITED.
 ANY VIOLATION OF THIS STATEMENT WILL BE
 CONSIDERED A BREACH OF THE CONTRACT.



CALIFORNIA DEVELOPMENT AND DESIGN INC.
 11022 SANTA MONICA BLVD, SUITE 200
 LOS ANGELES, CA 90025
 TEL: 310.430.5588 FAX: 310.427.7448
 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM



DESIGNED BY:	B. BARDHI
CHECKED BY:	
DRAWN BY:	
DATE DRAWN:	
JOB NUMBER:	CDD-2121
SCALE:	

SECTION A4.1

SHEET TITLE:

SHEET NO.

