

Nov 20, 2022

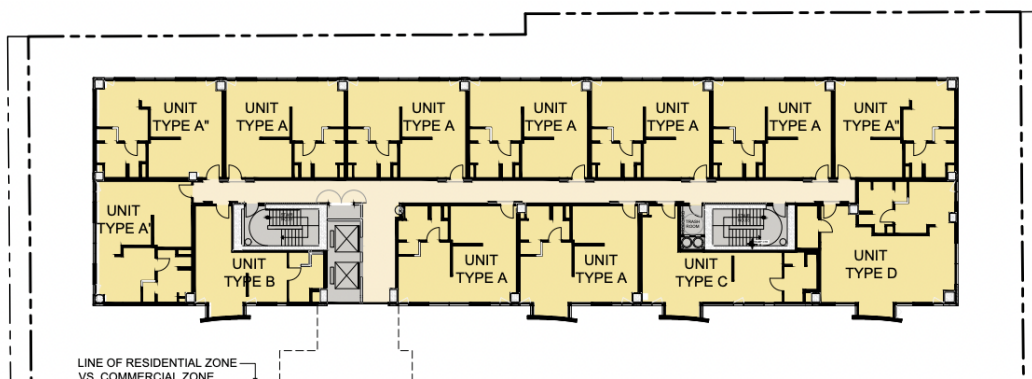
Dear Los Angeles City Planning,

Recently, the neighbors in the Helms Neighborhood were able to see the proposed building plans at 8787 W. Venice Blvd. We had not seen or even heard of this project, much less had time to consider its implications before the SoRo Neighborhood Council voted to approve it. We are also aware it falls into the [WEST ADAMS – BALDWIN HILLS – LEIMERT COMMUNITY PLAN IMPLEMENTATION OVERLAY \(CPIO\) zone](#). It is much taller than allowable.

There is a proposed 6-story building where no buildings at all over 2 stories exist with 73 **one** bedroom apartments with 148,488 sf total in the size (including retail) on a street-to-street lot where mostly single family homes are present in an earthquake fault zone. According to the West Adams - Baldwin Hills- Leimert Community plan the height is restricted to 55 feet tall.

As a stakeholder in the area, I would like all planning committees and the SORO Board to consider the following concerns regarding this development.

1) 2 and 3 bedroom units should be offered: Offering only one bedroom units excludes families, people with disabilities that need caregivers, and professionals that work from home (that need a home office) from living here. This neighborhood is filling up with professional, executive, tech, film oriented jobs that demand more space. This would encourage people to be able to make homes **long-term** in the area in which they work. Only small one-bedroom units (approx. 600sf with no outdoor space) don't address the needs of our community. It causes people to be more transient as there is no space to grow within their apartments. Please note that the current 1-bedroom apartments in the area at Access and Ivy have many vacancies as they are too small for the price. We do not need more of the same, we need to offer comfortable, spacious, affordable housing for professionals, roommates to share costs, and families so they don't have to commute to work.

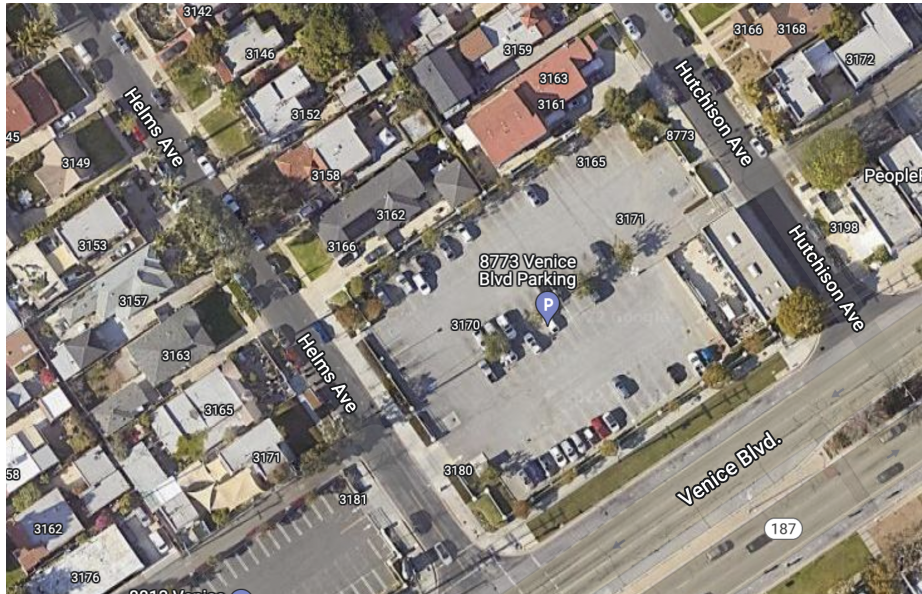


These are very small units with no outdoor space to offer a pleasant quality of life. These units are almost like hotel rooms more than apartments. Also with bedrooms next

to living rooms, noise will cause these people to be constantly moving out.

Almost 13 units per floor on 6 floors is too much! Can they exit with 2 stairways and 2 elevators from 6 stories in the event of a fire or earthquake?

2) No bonus density: This project has applied for bonus density, but our streets can't handle it. With our very narrow streets built in the early 1900s as the only ingress and egress, I do not think even 1/2 of 73 units + retail worth of cars can be served traveling here without backing up substantially onto Venice and the residential streets.



See how little space there is at the corners of the building site? I have to make a three point turn to exit my driveway. It is very tight for just two cars; only one car traveling can pass at a time safely. Additionally, there is a center island on Venice so traffic can only go right at Hutchison, and now that is obstructed with a protected bike lane that forces people turning right to slow Venice's traffic. It is a very sharp turn now.

VI.2. Development Standards

A. Building Height

1. Overall height:

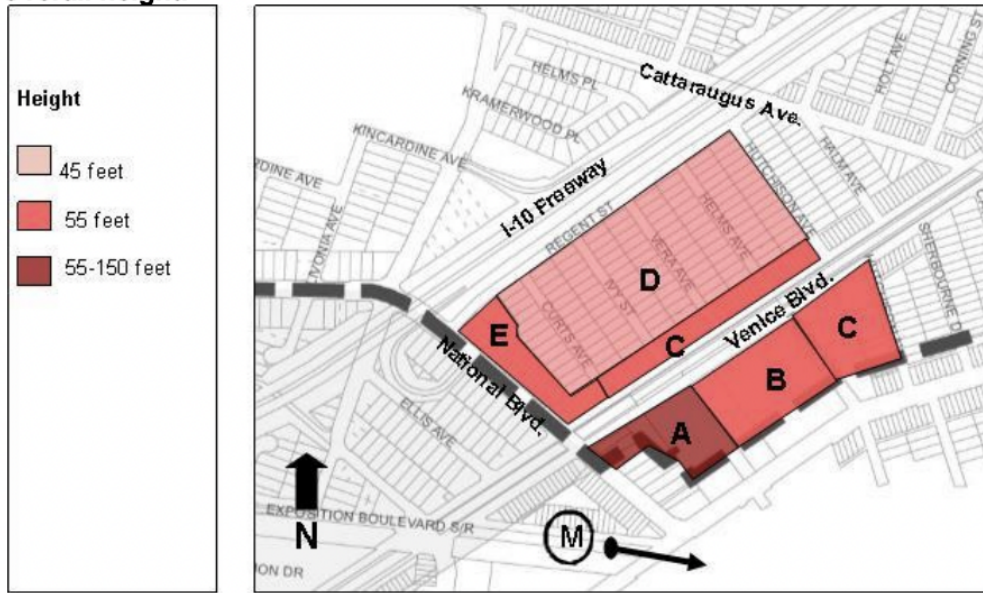


Figure VI-2 (CPIO, p. 71)

*Please check the Parcel Group that applies to the Project:

A; B; C; D; E.

- In Parcel Group A, the maximum building height is 150 feet and shall transition as provided in Section 2, below. (See Figures VI-3 - VI-6 below).
- In Parcel Groups B, C and E, the maximum building height is 55 feet.
- In Parcel Group D, the maximum height is 45 feet.
- Architectural Features may exceed the maximum building height by up to 20%.
- Individual stories may not exceed 14 feet in height from finished floor to finished ceiling, except the ground floor, which shall have a maximum finished floor to finished ceiling height of 25 feet. The ground floor shall have a minimum finished floor to finished ceiling height of 11 feet.
- Parapet walls and guard rails utilized to enclose roof uses, such as terraces, gardens or green roofs, shall be permitted to exceed the maximum allowable building height by up to 42 inches or as required by the Building Code. Guard rails shall not be located within five feet of a lot line abutting a residential use.
- Rooftop equipment, structures, and improvements may exceed the maximum building height when authorized pursuant to LAMC Section 12.21.1.B.3 (a) so long as it is screened from public view using non-reflective materials or otherwise made compatible with the overall design of the building.

This project is located in Parcel Group C.

NOTE: We are not fighting low income housing at all. We want people to have safe, comfortable, affordable dwellings in Los Angeles. This is not our issue with the building at all. But they need to have 2-3 bedrooms for families, caregivers and expense-sharing for affordability. By having only

one-bedroom units, we are not helping the least fortunate such as single mothers move into a good area.

Currently we have 3 babies under 1 years old and 2 pregnant women, and 4 single women living alone on our block of Hutchison. We need family housing options here.

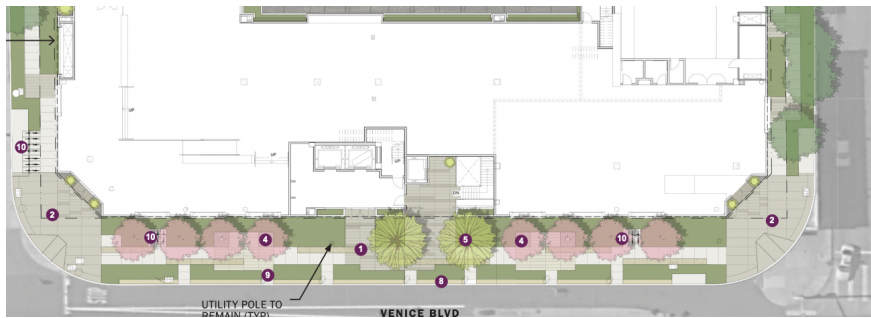
3) Stagger construction: We will also have another construction project already approved at 8833 National that will limit our access (we have only Regent and Venice) and quality of life. Even if you do approve a huge unconfirming building such as this, please stagger the construction of these two developments. We will be facing 2 years of construction without access to our streets.

4) Traffic Survey needed: As they are changing the traffic lanes (Venice just added protected bike lane and is considering a bus lane), new projects that have not been fully scaled with tenants (Ivy and Apple have many empty offices, apartments and shops) so it is impossible to know what the traffic impact will be in one year. However, we do know traffic is currently backed up at many points during each day. We have a freeway entrance at Robertson that gets very backed up onto our streets and Hamilton High school which backs up our area when the children go to and from school. Because we are directly affected by the convergences of Venice, Culver, Washington, Robertson, National, this area is nearly un navigable without the buildings we have being fully occupied.



Look at all of the current large buildings that are not to capacity in the area now. We need a traffic study once they are all built and filled before adding more projects. Note how the streets converge here.

5) Offer community spaces/setbacks: The other projects in the area all offer public spaces for the neighborhood to enjoy. This building has no setbacks on Venice. There is no room for a coffee shop with outdoor seating.... There is a dog grooming station, but no place for people to walk those dogs. They are removing the current sidewalk and putting in narrower sidewalks and reducing the parkway: currently this space is where most of the neighbors walk their dogs and play with kids. (They also might want to consider burying the power lines.)



6) Ensure affordable or free parking: The cost of the parking will be an issue if it is so expensive that people park on the residential streets to save money. The parking needs to be free for the building with no exceptions. 2 hours free might be an option for the retail.

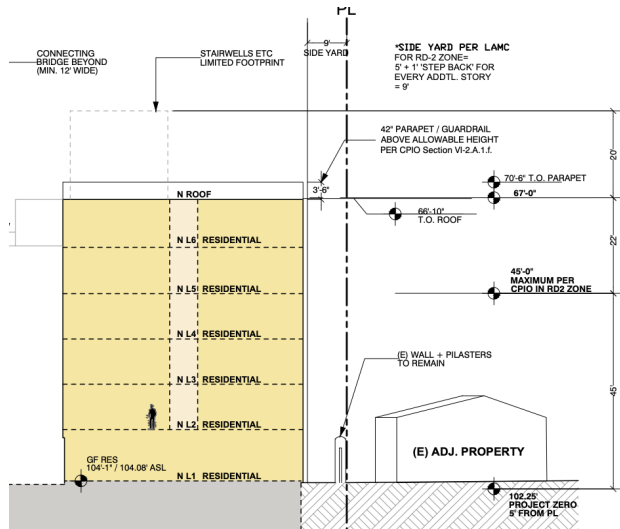
In addition, if it takes a long time for cars to be retrieved with the automated system, people will choose to park where they have better access to their cars. People choose the simplest access points.

Because our garages were built behind our houses, before people built fences, very few of us can access our garages, so parking is a big issue. Currently, with very narrow driveways, and lots of cars parked on the streets, it can take a 3 point turn just to exit our driveways. Even with permit parking, many times we can't park on our streets at night.

7) No permit parking: Will it be in writing that 73 new residents will not have access to get residential parking permits for our already crowded streets? How can we ensure we get this? It seems like the building on the residential side could easily have a Helms or Hutchison address as that is the entrance to the building.

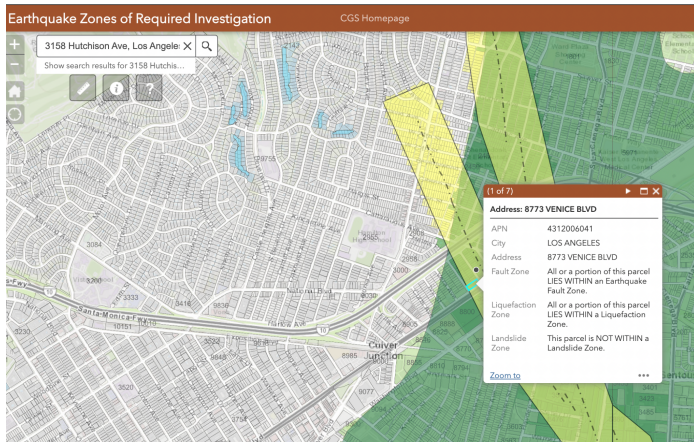
8) Are rentals conforming?: Does it matter to anyone that this area will be going from an area of primarily homeowners and stakeholders in the community to 73 individual people living in 600 sf one bedroom rentals? Is that worth at least a discussion? Please offer larger, more comfortable spaces so that people might stay longer and grow into their homes. Otherwise you can add monthly moving trucks to our traffic flow.

9) Is 6 stories conforming?: Is it worth asking if the renderings showing tiny houses next to a giant building is what this neighborhood is? There are no other buildings in this block over 2 stories. It hurts the look of the jewel of our neighborhood, Helm Bakery, which is 2 stories tall. It is overwhelming to the entire block. It does not conform to this area.



The perspective of this photo doesn't show the full monstrous effect of 6 stories next to a single story house.

10) Earthquake safety: This might be the MOST important factor. There is an earthquake fault line that runs up these streets. Is it safe to put a 6 story building on this site? I would be worried for all that live here and the safety on my street. This building lies within an Earthquake Fault Zone. My tiny house, I am sure I could get out and stand in my yard, but can people living up 6 stories with no outdoor space stand away from a building.... Will digging 4 stories down disturb the fault and cause an earthquake?



<https://www.latimes.com/local/lanow/la-me-ln-newport-inglewood-earthquake-20170321-story.html>



Draft earthquake fault zone map. The area to the south of the shaded area has been previously mapped. (Source: California Geological Survey | Credit: Raoul Rañoa / Los Angeles Times)

ZIMAS

Search

▼ Address/Legal

Site Address	8787 W VENICE BLVD
ZIP Code	<u>90034</u>
PIN Number	123B169 1049
Lot/Parcel Area (Calculated)	2,500.5 (sq ft)
Thomas Brothers Grid	PAGE 632 - GRID H7
Assessor Parcel No. (APN)	<u>4312006041</u>
Tract	TR 5500
Map Reference	M B 60-42
Block	None
Lot	92
Arb (Lot Cut Reference)	None
Map Sheet	<u>123B169</u>

▶ Jurisdictional

▶ Permitting and Zoning Compliance

▶ Planning and Zoning

▶ Assessor

▶ Case Numbers

▶ Citywide/Code Amendment Cases

▶ Additional

▼ Seismic Hazards

Active Fault Near-Source Zone

Nearest Fault (Distance in km)	Within Fault Zone
Nearest Fault (Name)	<u>Newport - Inglewood Fault Zone (Onshore)</u>
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Right Lateral - Strike Slip
Slip Type	Poorly Constrained
Down Dip Width (km)	13.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	90.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	<u>Yes</u>
Landslide	No
Liquefaction	<u>Yes</u>
Preliminary Fault Rupture Study	No



11) Vintage charm: Helms Bakery is a historical landmark and our neighborhood is full of vintage homes built in the 1920s-40s. That is **THE** motivating factor for [people purchasing in the neighborhood](#). This will hurt our property values. We would like to see the building be more conforming and look more similar to its protected landmark neighbor across the street, Helms Bakery. Right now it is very modern and cold glass and will tower over the neighborhood of single story homes.

The Ivy project is red and black on one side to match the building across the street and blue on the other to mirror its neighbor there. It conforms to the buildings around it. The Culver Steps are rounded at the corners to match Trader Joes. This project needs to pay heed to its surroundings as the other projects do. It will reduce the “weight” of our anchor architectural landmark, Helms Bakery, which is two stories tall. This is NOT a modern glass area at all.

I am not saying, don't do this at all. There is a lot I love about the project: green roof, automated parking, mixed use, dog grooming station (though no place to walk a dog), drought tolerant landscaping (at least on the parkways- as there are almost no setbacks), no balconies facing neighborhood (but I feel bad for residents with no outdoor space), ride sharing option to discourage car ownership; to name just a few great elements.... But I have serious concerns for the safety, quality of life, and conforming beauty of our neighborhood.

I would like: 4 stories on the residential side. 12-40 units total with half 2-3 bedroom units including some for low income residents. Public space, a coffee shop or simple gathering dining space for the neighborhood, a vintage design to fit with Helms Bakery, maybe a dog run if they are encouraging dog ownership.

Please do not let this project be built as proposed without the above stated changes.

Sincerely, your neighbor,
Heather Witt Leikin
Homeowner at
3158 Hutchison Ave.,
Los Angeles, CA 90034

Link to supporting docs: <https://www.soronc.org/committees/viewCommittee/land-use-committee>
<https://www.soronc.org/committees/viewCommittee/334>

Go to meeting agenda 10/13