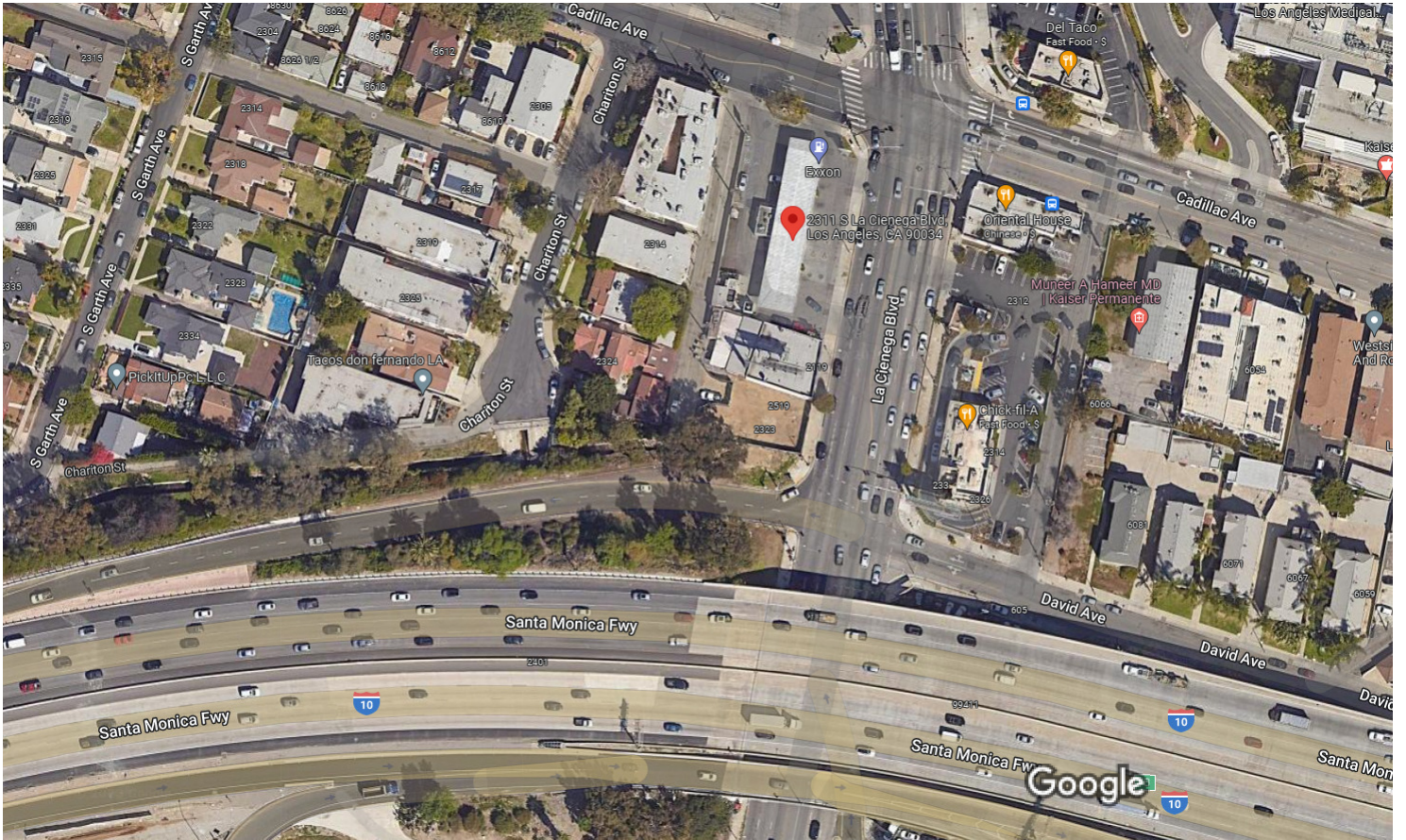


Google Maps 2311 S La Cienega Blvd



Imagery ©2023 CNES / Airbus, Maxar Technologies, U.S. Geological Survey, USDA/FPAC/GEO, Map data ©2023 50 ft



2311 S La Cienega Blvd



Directions



Save



Nearby



Send to phone



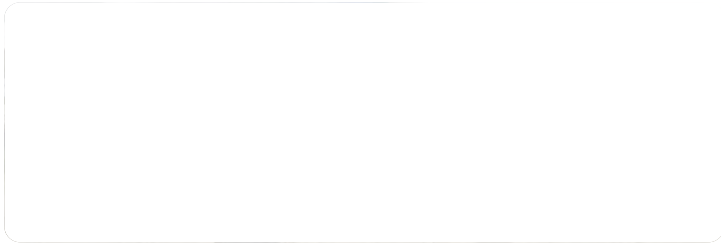
Share



2311 S La Cienega Blvd, Los Angeles, CA 90034

2JQC+5X Los Angeles, California

Photos



NEW CARWASH WITHIN EXISTING GAS STATION CONVENIENCE MARKET, JOB AT: 2305 & 2319 S. LA CIENEGA BLVD LOS ANGELES, CA 90034



VICINITY MAP		PROJECT SUMMARY	
OWNER	Neptune Land LLC 2305 & 2319 S La Cienega Blvd Los Angeles, CA 90034	TOTAL BUILDING SQFT SCHOOL DISTRICT	2400 SQFT
JOB ADDRESS	TRACT TR 6447 BLOCK H L104 16-80/03 46,47,48,49,50,51 AND 53 7th 46N,50N, 0271, 0291, 0293, 0294, 0295 AND 0296	TOTAL BUILDING SQFT ZONING CODE	2400 SQFT
LEGAL DESCRIPTION	NEW CARWASH WITHIN EXISTING GAS STATION TANKET	TOTAL BUILDING SQFT BUILDING FLOOR AREA CODE	2400 SQFT
PROPOSED	2305 SQFT 2319 SQFT	ZONE	C2-1VL-CF10
LAND AREA	2488 SQFT	TYPE OF CONST	V B
A PORTION OF THE CANOPY TO BE DEMOLISHED	6,76 SQFT	OCCUPANCY GROUP	
REMAINING CANOPY SQFT	538 SQFT	OCCUPANCY GROUP MARKET	M
EXISTING MARKET SQFT TO REMAIN BUILDING TO BE DEMOLISHED AT 2319 LA CIENEGA BLVD SQFT	2875 SQFT (PER ASSESSORS)	OCCUPANCY GROUP CANOPY	M
NEW CARWASH TANKET AT 1ST FLOOR SQFT	15%	OCCUPANCY GROUP CAR WASH	M
BUILDING COVERPAGE		OCCUPANCY LOAD CARWASH	12 PERSON
TOTAL PARKING SPACES REQUIRED	12 SPACES	LANDSCAPING REQUIRED	22487%10% 2248 SQFT
TOTAL PARKING SPACES REQUIRED FOR MARKET 4175%10%	4 SPACES	LANDSCAPING PROVIDED	2250 SQFT
TOTAL PARKING SPACES REQUIRED FOR CANOPY 4150%	3 SPACES	STORIES	ONE
TOTAL PARKING SPACES REQUIRED FOR CARWASH 4150%	5 SPACES	HEIGHT	26'-0"
TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 12 SPACES), 2 BICYCLES OUT DOOR AND 4 BICYCLES INDOOR	2 SPACES	LOADING SPACES PROVIDED	400 SQFT
TOTAL BICYCLE PARKING SPACES PROVIDED	4 LONG TERM 4 SHORT TERM SPACES	FLAME SPREAD CLASSIF	III 16-2000
PARKING SPACES PROVIDED STANDARD	(72-21) 12 SPACES		
COMPACT	5 SPACES (833'X8')		
DISABLE	4 SPACES (73'X8')		
	1 SPACE (17'X8')		

PROJECT SUMMARY		PROJECT SUMMARY	
PROPOSED	2305 SQFT 2319 SQFT	TOTAL BUILDING SQFT SCHOOL DISTRICT	2400 SQFT
LAND AREA	2488 SQFT	TOTAL BUILDING SQFT ZONING CODE	2400 SQFT
A PORTION OF THE CANOPY TO BE DEMOLISHED	6,76 SQFT	TOTAL BUILDING SQFT BUILDING FLOOR AREA CODE	2400 SQFT
REMAINING CANOPY SQFT	538 SQFT	ZONE	C2-1VL-CF10
EXISTING MARKET SQFT TO REMAIN BUILDING TO BE DEMOLISHED AT 2319 LA CIENEGA BLVD SQFT	2875 SQFT (PER ASSESSORS)	TYPE OF CONST	V B
NEW CARWASH TANKET AT 1ST FLOOR SQFT	15%	OCCUPANCY GROUP	
BUILDING COVERPAGE		OCCUPANCY GROUP MARKET	M
TOTAL PARKING SPACES REQUIRED	12 SPACES	OCCUPANCY GROUP CANOPY	M
TOTAL PARKING SPACES REQUIRED FOR MARKET 4175%10%	4 SPACES	OCCUPANCY GROUP CAR WASH	M
TOTAL PARKING SPACES REQUIRED FOR CANOPY 4150%	3 SPACES	OCCUPANCY LOAD CARWASH	12 PERSON
TOTAL PARKING SPACES REQUIRED FOR CARWASH 4150%	5 SPACES	LANDSCAPING REQUIRED	22487%10% 2248 SQFT
TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 12 SPACES), 2 BICYCLES OUT DOOR AND 4 BICYCLES INDOOR	2 SPACES	LANDSCAPING PROVIDED	2250 SQFT
TOTAL BICYCLE PARKING SPACES PROVIDED	4 LONG TERM 4 SHORT TERM SPACES	STORIES	ONE
PARKING SPACES PROVIDED STANDARD	(72-21) 12 SPACES	HEIGHT	26'-0"
COMPACT	5 SPACES (833'X8')	LOADING SPACES PROVIDED	400 SQFT
DISABLE	4 SPACES (73'X8')	FLAME SPREAD CLASSIF	III 16-2000
	1 SPACE (17'X8')		

PROJECT SUMMARY		PROJECT SUMMARY	
PROPOSED	2305 SQFT 2319 SQFT	TOTAL BUILDING SQFT SCHOOL DISTRICT	2400 SQFT
LAND AREA	2488 SQFT	TOTAL BUILDING SQFT ZONING CODE	2400 SQFT
A PORTION OF THE CANOPY TO BE DEMOLISHED	6,76 SQFT	TOTAL BUILDING SQFT BUILDING FLOOR AREA CODE	2400 SQFT
REMAINING CANOPY SQFT	538 SQFT	ZONE	C2-1VL-CF10
EXISTING MARKET SQFT TO REMAIN BUILDING TO BE DEMOLISHED AT 2319 LA CIENEGA BLVD SQFT	2875 SQFT (PER ASSESSORS)	TYPE OF CONST	V B
NEW CARWASH TANKET AT 1ST FLOOR SQFT	15%	OCCUPANCY GROUP	
BUILDING COVERPAGE		OCCUPANCY GROUP MARKET	M
TOTAL PARKING SPACES REQUIRED	12 SPACES	OCCUPANCY GROUP CANOPY	M
TOTAL PARKING SPACES REQUIRED FOR MARKET 4175%10%	4 SPACES	OCCUPANCY GROUP CAR WASH	M
TOTAL PARKING SPACES REQUIRED FOR CANOPY 4150%	3 SPACES	OCCUPANCY LOAD CARWASH	12 PERSON
TOTAL PARKING SPACES REQUIRED FOR CARWASH 4150%	5 SPACES	LANDSCAPING REQUIRED	22487%10% 2248 SQFT
TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 12 SPACES), 2 BICYCLES OUT DOOR AND 4 BICYCLES INDOOR	2 SPACES	LANDSCAPING PROVIDED	2250 SQFT
TOTAL BICYCLE PARKING SPACES PROVIDED	4 LONG TERM 4 SHORT TERM SPACES	STORIES	ONE
PARKING SPACES PROVIDED STANDARD	(72-21) 12 SPACES	HEIGHT	26'-0"
COMPACT	5 SPACES (833'X8')	LOADING SPACES PROVIDED	400 SQFT
DISABLE	4 SPACES (73'X8')	FLAME SPREAD CLASSIF	III 16-2000
	1 SPACE (17'X8')		

PROJECT SUMMARY		PROJECT SUMMARY	
PROPOSED	2305 SQFT 2319 SQFT	TOTAL BUILDING SQFT SCHOOL DISTRICT	2400 SQFT
LAND AREA	2488 SQFT	TOTAL BUILDING SQFT ZONING CODE	2400 SQFT
A PORTION OF THE CANOPY TO BE DEMOLISHED	6,76 SQFT	TOTAL BUILDING SQFT BUILDING FLOOR AREA CODE	2400 SQFT
REMAINING CANOPY SQFT	538 SQFT	ZONE	C2-1VL-CF10
EXISTING MARKET SQFT TO REMAIN BUILDING TO BE DEMOLISHED AT 2319 LA CIENEGA BLVD SQFT	2875 SQFT (PER ASSESSORS)	TYPE OF CONST	V B
NEW CARWASH TANKET AT 1ST FLOOR SQFT	15%	OCCUPANCY GROUP	
BUILDING COVERPAGE		OCCUPANCY GROUP MARKET	M
TOTAL PARKING SPACES REQUIRED	12 SPACES	OCCUPANCY GROUP CANOPY	M
TOTAL PARKING SPACES REQUIRED FOR MARKET 4175%10%	4 SPACES	OCCUPANCY GROUP CAR WASH	M
TOTAL PARKING SPACES REQUIRED FOR CANOPY 4150%	3 SPACES	OCCUPANCY LOAD CARWASH	12 PERSON
TOTAL PARKING SPACES REQUIRED FOR CARWASH 4150%	5 SPACES	LANDSCAPING REQUIRED	22487%10% 2248 SQFT
TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 12 SPACES), 2 BICYCLES OUT DOOR AND 4 BICYCLES INDOOR	2 SPACES	LANDSCAPING PROVIDED	2250 SQFT
TOTAL BICYCLE PARKING SPACES PROVIDED	4 LONG TERM 4 SHORT TERM SPACES	STORIES	ONE
PARKING SPACES PROVIDED STANDARD	(72-21) 12 SPACES	HEIGHT	26'-0"
COMPACT	5 SPACES (833'X8')	LOADING SPACES PROVIDED	400 SQFT
DISABLE	4 SPACES (73'X8')	FLAME SPREAD CLASSIF	III 16-2000
	1 SPACE (17'X8')		

PROJECT SUMMARY		PROJECT SUMMARY	
PROPOSED	2305 SQFT 2319 SQFT	TOTAL BUILDING SQFT SCHOOL DISTRICT	2400 SQFT
LAND AREA	2488 SQFT	TOTAL BUILDING SQFT ZONING CODE	2400 SQFT
A PORTION OF THE CANOPY TO BE DEMOLISHED	6,76 SQFT	TOTAL BUILDING SQFT BUILDING FLOOR AREA CODE	2400 SQFT
REMAINING CANOPY SQFT	538 SQFT	ZONE	C2-1VL-CF10
EXISTING MARKET SQFT TO REMAIN BUILDING TO BE DEMOLISHED AT 2319 LA CIENEGA BLVD SQFT	2875 SQFT (PER ASSESSORS)	TYPE OF CONST	V B
NEW CARWASH TANKET AT 1ST FLOOR SQFT	15%	OCCUPANCY GROUP	
BUILDING COVERPAGE		OCCUPANCY GROUP MARKET	M
TOTAL PARKING SPACES REQUIRED	12 SPACES	OCCUPANCY GROUP CANOPY	M
TOTAL PARKING SPACES REQUIRED FOR MARKET 4175%10%	4 SPACES	OCCUPANCY GROUP CAR WASH	M
TOTAL PARKING SPACES REQUIRED FOR CANOPY 4150%	3 SPACES	OCCUPANCY LOAD CARWASH	12 PERSON
TOTAL PARKING SPACES REQUIRED FOR CARWASH 4150%	5 SPACES	LANDSCAPING REQUIRED	22487%10% 2248 SQFT
TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 12 SPACES), 2 BICYCLES OUT DOOR AND 4 BICYCLES INDOOR	2 SPACES	LANDSCAPING PROVIDED	2250 SQFT
TOTAL BICYCLE PARKING SPACES PROVIDED	4 LONG TERM 4 SHORT TERM SPACES	STORIES	ONE
PARKING SPACES PROVIDED STANDARD	(72-21) 12 SPACES	HEIGHT	26'-0"
COMPACT	5 SPACES (833'X8')	LOADING SPACES PROVIDED	400 SQFT
DISABLE	4 SPACES (73'X8')	FLAME SPREAD CLASSIF	III 16-2000
	1 SPACE (17'X8')		

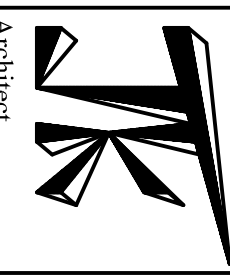
VICINITY MAP

PROJECT SUMMARY

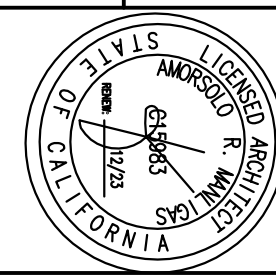
PROJECT SUMMARY

SHEETS INDEX

CONSULTANTS



Architect
 Amosado R. Manjares
 License No. 12583
 License Office
 1756 Berry Ave
 Los Angeles California
 90025
 (310) 920-2626



NEW CARWASH WITHIN EXISTING GAS STATION
 CONVENIENCE MARKET,
 JOB AT: 2305 S. LA CIENEGA BLVD
 LOS ANGELES CA 90034

1/26/2021



VIEW TO WEST
ENTIRE GAS STATION BUILDING
2305 LA CIENEGA BLVD
LOS ANGELES CA 90034



VIEW TO WEST
RETAIL BUILDING TO BE DEMOLISHED
2319 LA CIENEGA BLVD
LOS ANGELES CA 90034



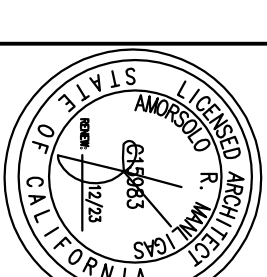
VIEW TO SOUTH
GAS STATION AND RETAIL BUILDINGS
2305 & 2319 LA CIENEGA BLVD
LOS ANGELES CA 90034



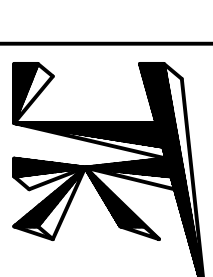
VIEW TO SOUTH
ENTIRE GAS STATION BUILDING
2305 LA CIENEGA BLVD
LOS ANGELES CA 90034



VIEW TO NORTH
RETAIL & GAS STATION BUILDING
2305 & 2319 LA CIENEGA BLVD
LOS ANGELES CA 90034



Architect
Amosilo R. Manligsa
LIC #C15983
Nevada office
1120 little rock way
Las Vegas NV 89123
Los Angeles office
1756 Barry ave
Los Angeles California
90025
(310) 920-2026



NEW CARWASH WITHIN EXISTING GAS STATION
CONVENIENCE MARKET.
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

11/26/2021

A1a

GENERAL NOTES

- THE BEARING N 20°35'45" E BEING THE CENTERLINE OF CHARLTON STREET AS SHOWN MAP ON FILE IN BOOK 979, PAGES 99 & 100 OF MAPS, RECORDS OF LOS ANGELES COUNTY, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.
- THIS PROPERTY HAS AN AREA OF 17,490 SQUARE FEET OR 0.4015 ACRES.
- THIS PROPERTY IS DESIGNATED AS TAX MAP PARCELS 4301-020-32, 33, 34, 35 & 36.
- THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
- THE SUBJECT PROPERTY HAS DIRECT ACCESS TO LA CIENEGA BOULEVARD, CADILLAC AVENUE AND AN ALLEY, BEING PAVED PUBLIC RIGHTS OF WAY.
- INTERIOR ROADWAYS APPEAR TO BE PRIVATE, VARIABLE WIDTH AND UNNAMED UNLESS OTHERWISE SHOWN.

SCHEDULE B TITLE EXCEPTION NOTES

THIS SURVEY IS BASED ON A TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. 315377, DATED JANUARY 3, 2011 AT 7:30 A.M.
 ITEMS NOT LISTED BELOW ARE STANDARD TITLE EXCEPTIONS AND/OR ARE NOT MATTERS OR ISSUES THAT PERTAIN TO THIS SURVEY.

- AN EASEMENT FOR POLE LINES AND RIGHTS INCIDENTAL THERETO, RECORDED SEPTEMBER 3, 1925 IN BOOK 4428 PAGE 305, OF OFFICIAL RECORDS. THIS ITEM IS NOT PLOTTED HEREON BECAUSE IT IS AMBIGUOUS, THEREFORE THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD.
- AN EASEMENT FOR PIPES, ELECTRICITY, STORM DRAINS AND OTHER PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, RECORDED APRIL 11, 1928, IN BOOK 7747 PAGE 383, OF OFFICIAL RECORDS. THIS ITEM IS NOT PLOTTED HEREON BECAUSE IT IS AMBIGUOUS, THEREFORE THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD.
- AN EASEMENT FOR LAYING AND INSTALLING WATER AND GAS, ELECTRICITY, SEWER STORM DRAINS AND OTHER PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, RECORDED APRIL 30, 1929 IN BOOK 8151 PAGE 86, OF OFFICIAL RECORDS. THIS ITEM IS NOT PLOTTED HEREON BECAUSE IT IS AMBIGUOUS, THEREFORE THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD.
- ANY EASEMENT OR LESSER RIGHTS FOR POLE LINES, CONDUITS AND INCIDENTAL PURPOSES, RECORDED JANUARY 14, 1938 IN BOOK 15499 PAGE 271, OF OFFICIAL RECORDS. THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.
- AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT FOR PUBLIC STREET, RECORDED OCTOBER 5, 1970 AS INSTRUMENT NO. 1810 OF OFFICIAL RECORDS. THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.
- A COVENANT AND AGREEMENT, RECORDED OCTOBER 13, 1970 IN BOOK M-3590 PAGE 888, OF OFFICIAL RECORDS, AS INSTRUMENT NO. 4785. THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.
- A COVENANT AND AGREEMENT, RECORDED JUNE 15, 1988 AS INSTRUMENT NO. 88-95132 OF OFFICIAL RECORDS. THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.

POTENTIAL ENCROACHMENT NOTES

- A** BUILDING LIES FROM 1.6' TO 1.7' ONTO THE SCHEDULE "B" ITEM NO. 7.

ZONING NOTES

ZONED: C2-1 (COMMERCIAL)

PERMITTED USE CLASSIFICATION: RETAIL WITH LIMITED MANUFACTURING; SERVICE STATIONS AND GARAGES; RETAIL CONTRACT BUSINESS; CHURCHES; SCHOOLS; AUTO SALES

OBSERVED USE(S): GAS STATION W/ CONVENIENCE STORE

EXISTING SITE CONDITIONS APPEAR (FROM OUTSIDE OBSERVATIONS) TO FALL WITHIN PERMITTED USES AS LISTED ABOVE IN THE CITY OF LOS ANGELES'S ZONING REGULATIONS: ARTICLE 2, SECTION 12.14

ZONING REGULATIONS ARE SUBJECT TO CHANGE AND INTERPRETATION, FOR FURTHER INFORMATION CONTACT: CITY OF LOS ANGELES - PLANNING DIVISION (<http://zimas.lacity.org/>) CONTACT'S NAME: PUBLIC COUNTER

SITE RESTRICTIONS:

- MINIMUM BUILDING SETBACKS:
 FRONT: 0' (MIN PROVIDED: 36.3')
 SIDE: 0' (MIN PROVIDED: 0.3')
 REAR: 0' (MIN. PROVIDED: N/A)
- MINIMUM LOT SIZE: NONE (MIN. PROVIDED: 17,490 SQUARE FEET)
- MINIMUM LOT FRONTAGE: NONE (MIN. PROVIDED: 275.8')
- MAXIMUM BUILDING HEIGHT: NO LIMIT (MAX. PROVIDED: 10.4')
- MAXIMUM FLOOR AREA RATIO: 1.5 : 1 (MAX. PROVIDED: 6% LOT COVERAGE)

PARKING TABULATION:

- REGULAR PARKING SPACE CALCULATIONS ARE BASED ON EXTERIOR FOOTPRINT OF BUILDING AT GROUND LEVEL AND ARE FURTHER CALCULATED USING THE FORMULA OF: 1 PER 250 SQUARE FEET OF THE GROSS FLOOR AREA.
- HANDICAP SPACES ARE CALCULATED BASED ON THE ADA REQUIREMENTS OR LOCAL REQUIREMENTS, WHICHEVER IS GREATER, THERE ARE NO LOCAL REQUIREMENTS FOR THIS SITE, ADA REQUIREMENTS: 1 SPACES

TOTAL REGULAR SPACES REQUIRED:	4	PROVIDED:	0
TOTAL HANDICAP SPACES REQUIRED:	1	PROVIDED:	0
TOTAL COMBINED SPACES REQUIRED:	5	PROVIDED:	0

NOTE: GROSS FLOOR AREA WAS CALCULATED BASED ON EXTERIOR DIMENSIONS ONLY.

FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 06037C-1595-F, WHICH BEARS AN EFFECTIVE DATE OF 9-26-08 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. BY TELEPHONE CALL TO THE NATIONAL FLOOD INSURANCE PROGRAM (800-638-6620) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE "X" DENOTES AREAS OUTSIDE OF THE 500 YEAR FLOOD PLANE.

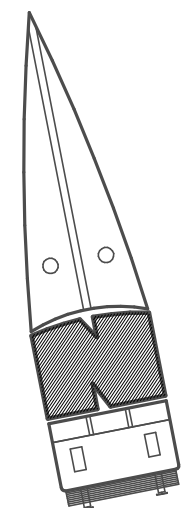
Survey Prepared By:



SURVEYOR'S DRAWING NO.:	204-10
SURVEYOR'S SITE REF.:	
CHECKED BY:	SEO

BUILDING DETAIL:

- B1** BUILDING
 2305 S. LA CIENEGA BOULEVARD
 1 STORY METAL BUILDING
 (HEIGHT = 10.4')
 (AREA = 951 ± SQUARE FEET)
- B2** BUILDING
 1 STORY STUCCO BUILDING
 (HEIGHT = 8')
 (AREA = 165 ± SQUARE FEET)

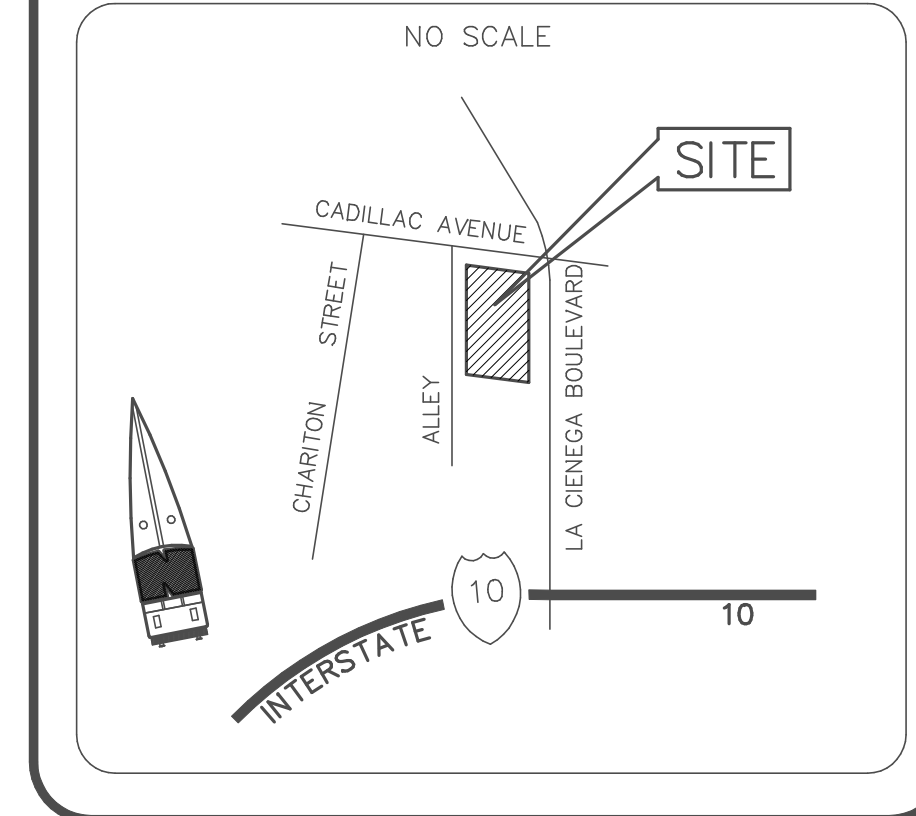


SEE GENERAL NOTES NO. 1

LEGEND:

- N. - NORTH
- S. - SOUTH
- E. - EAST
- W. - WEST
- TYP. - TYPICAL
- DIA. - DIAMETER
- P.L. - PROPERTY LINE
- T.E.P. - TRASH ENCLOSURE
- A.C.P. - ASPHALT CONCRETE
- S.F. - SQUARE FEET
- C.G. - COVERED GRATE
- P.O.B. - POINT OF BEGINNING
- CONC. - CONCRETE
- FD. - FOUND
- W. - WITH
- M.W. - MONITORING WELL
- - PROPERTY LINE

VICINITY MAP



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, CITY OF LOS ANGELES, AND DESCRIBED AS FOLLOWS:

PARCEL A:
 LOTS 52, 53 AND 54 IN BLOCK H OF TRACT NO. 6447, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75, PAGES 80 THROUGH 83, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:
 LOTS 48, 49, 50 AND 51 IN BLOCK H OF TRACT NO. 6447, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75, PAGES 80 THROUGH 83, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SURVEYOR'S DESCRIPTION:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 48 IN BLOCK H OF TRACT NO. 6447, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75, PAGES 80 THROUGH 83, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE NORTH 11°04'29" EAST 175.00 FEET; THENCE SOUTH 71°30'36" EAST 100.80 FEET; THENCE SOUTH 11°04'29" WEST 175.00 FEET; THENCE NORTH 71°30'36" WEST 100.77 FEET TO THE POINT OF BEGINNING.

CONTAINED WITHIN SAID BOUNDS, 17,490 SQUARE FEET, 0.4015 ACRES.

BEING THE SAME TRACT OF LAND DESCRIBED IN A TITLE REPORT PREPARED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. 315377, DATED JANUARY 3, 2011 AT 7:30 A.M.

THE ABOVE SURVEYOR'S DESCRIPTION IS PROVIDED AS A CONVENIENCE ONLY AND IS NOT INTENDED TO REPLACE NOR SUPERSEDE THE DESCRIPTION OF RECORD.

ALTA / ACSM LAND TITLE SURVEY

EXXONMOBIL
 SS#11888
 2305 S. La Cienega Boulevard
 Los Angeles, CA

SURVEYOR'S CERTIFICATION

TO: EXXON MOBIL CORPORATION, EXXONMOBIL OIL CORPORATION, CIRCLE K STORES INC., A TEXAS CORPORATION, STEWART TITLE GUARANTY COMPANY AND MKASSOCIATES, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 2-4, 6, 7(A), 7(B), 7(C), 8, 9, 10, 11(A), 13 AND 14 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

Scott E. Ohana
 SCOTT E. OHANA PLS 7526
 In the State of California
 DATE OF LAST FIELD SURVEY: 8-24-10
 DATE OF LAST REVISION: 8-2-11

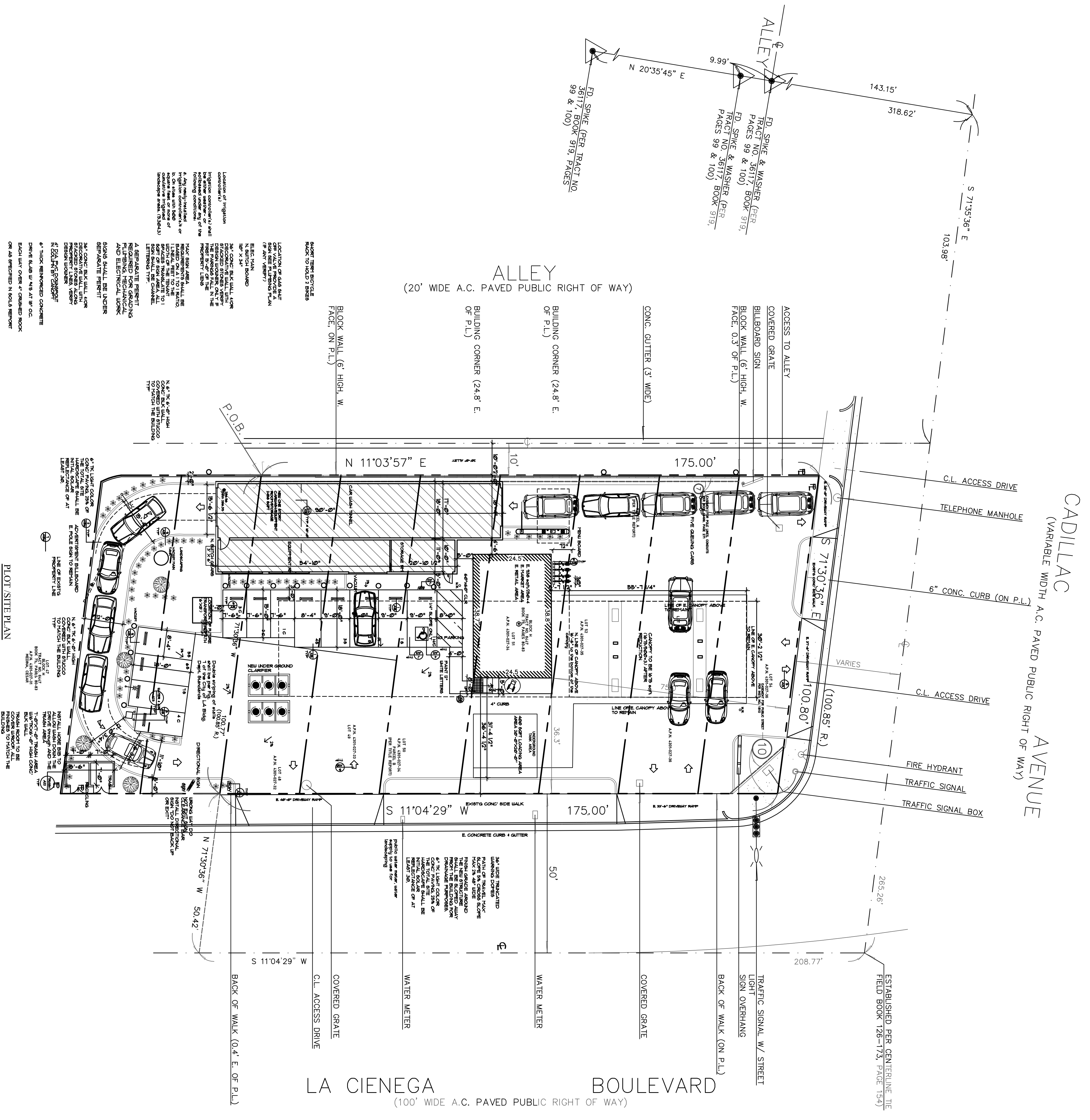


PROJECT NAME: EXXONMOBIL MKA PROJECT No.: 1099-10-1925-158
 ADDRESS: 2305 S. LA CIENEGA BOULEVARD CITY: LOS ANGELES STATE: CALIFORNIA

For Inquiries Concerning This Survey Contact MKA
 National Coordinators of Land Survey Services

MKA
 A National Land Services Group

6593 Commerce Court - Warrenton, Virginia 20187
 Phone: (540)428-3550 Fax: (540)428-3560
www.mkassociates.com



LOCATION OF IRIGATION
 INJECTION COMPONENTS SHALL
 BE SHOWN WITH THE
 FOLLOWING CONDITIONS:
 a. Any newly-installed
 injection components shall
 be shown with the
 following conditions:
 b. On sites with existing
 injection components, the
 location of the injection
 components shall be
 shown with the following
 conditions:
 c. On sites with existing
 injection components, the
 location of the injection
 components shall be
 shown with the following
 conditions:
 d. On sites with existing
 injection components, the
 location of the injection
 components shall be
 shown with the following
 conditions:

LOCATION OF GAS METER
 SHALL BE SHOWN WITH THE
 FOLLOWING CONDITIONS:
 a. Any newly-installed
 gas meters shall be
 shown with the following
 conditions:
 b. On sites with existing
 gas meters, the location
 of the gas meters shall
 be shown with the
 following conditions:
 c. On sites with existing
 gas meters, the location
 of the gas meters shall
 be shown with the
 following conditions:
 d. On sites with existing
 gas meters, the location
 of the gas meters shall
 be shown with the
 following conditions:

LOCATION OF SIGNAGE
 SHALL BE SHOWN WITH THE
 FOLLOWING CONDITIONS:
 a. Any newly-installed
 signage shall be shown
 with the following
 conditions:
 b. On sites with existing
 signage, the location of
 the signage shall be
 shown with the
 following conditions:
 c. On sites with existing
 signage, the location of
 the signage shall be
 shown with the
 following conditions:
 d. On sites with existing
 signage, the location of
 the signage shall be
 shown with the
 following conditions:

LOCATION OF TRAFFIC SIGNAL
 SHALL BE SHOWN WITH THE
 FOLLOWING CONDITIONS:
 a. Any newly-installed
 traffic signals shall be
 shown with the
 following conditions:
 b. On sites with existing
 traffic signals, the
 location of the traffic
 signals shall be shown
 with the following
 conditions:
 c. On sites with existing
 traffic signals, the
 location of the traffic
 signals shall be shown
 with the following
 conditions:
 d. On sites with existing
 traffic signals, the
 location of the traffic
 signals shall be shown
 with the following
 conditions:

LOCATION OF WATER METER
 SHALL BE SHOWN WITH THE
 FOLLOWING CONDITIONS:
 a. Any newly-installed
 water meters shall be
 shown with the
 following conditions:
 b. On sites with existing
 water meters, the
 location of the water
 meters shall be shown
 with the following
 conditions:
 c. On sites with existing
 water meters, the
 location of the water
 meters shall be shown
 with the following
 conditions:
 d. On sites with existing
 water meters, the
 location of the water
 meters shall be shown
 with the following
 conditions:

LOCATION OF FIRE HYDRANT
 SHALL BE SHOWN WITH THE
 FOLLOWING CONDITIONS:
 a. Any newly-installed
 fire hydrants shall be
 shown with the
 following conditions:
 b. On sites with existing
 fire hydrants, the
 location of the fire
 hydrants shall be
 shown with the
 following conditions:
 c. On sites with existing
 fire hydrants, the
 location of the fire
 hydrants shall be
 shown with the
 following conditions:
 d. On sites with existing
 fire hydrants, the
 location of the fire
 hydrants shall be
 shown with the
 following conditions:

1/30/2021
 1/26/21

NEW CARWASH WITHIN EXISTING GAS STATION
 CONVENIENCE MARKET.
 JOB AT: 2305 S. LA CIENEGA BLVD
 LOS ANGELES CA 90034

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

1/26/21
 1/26/21

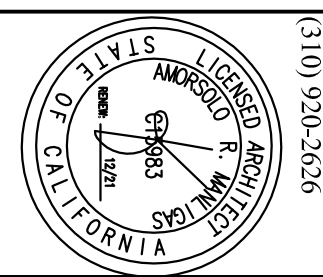
1/26/21
 1/26/21

1/26/21
 1/26/21

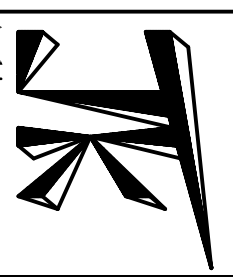
CADILLAC
 (VARIABLE WIDTH A.C. PAVED PUBLIC RIGHT OF WAY)
 AVENUE
 (100' WIDE A.C. PAVED PUBLIC RIGHT OF WAY)

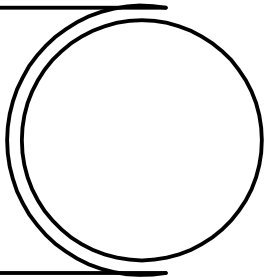
LA CIENEGA BOULEVARD
 (100' WIDE A.C. PAVED PUBLIC RIGHT OF WAY)

ALLEY
 (20' WIDE A.C. PAVED PUBLIC RIGHT OF WAY)

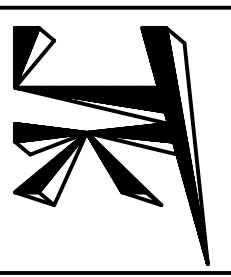


Architect
 Antonio R. Manligas
 LIC#13983
 Nevada office
 1120 Little rock way
 Las Vegas NV 89123
 736.677.9000
 Los Angeles California
 90025
 (310) 920-2626

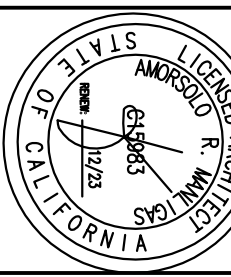




3/29/2012 changed
by dmp

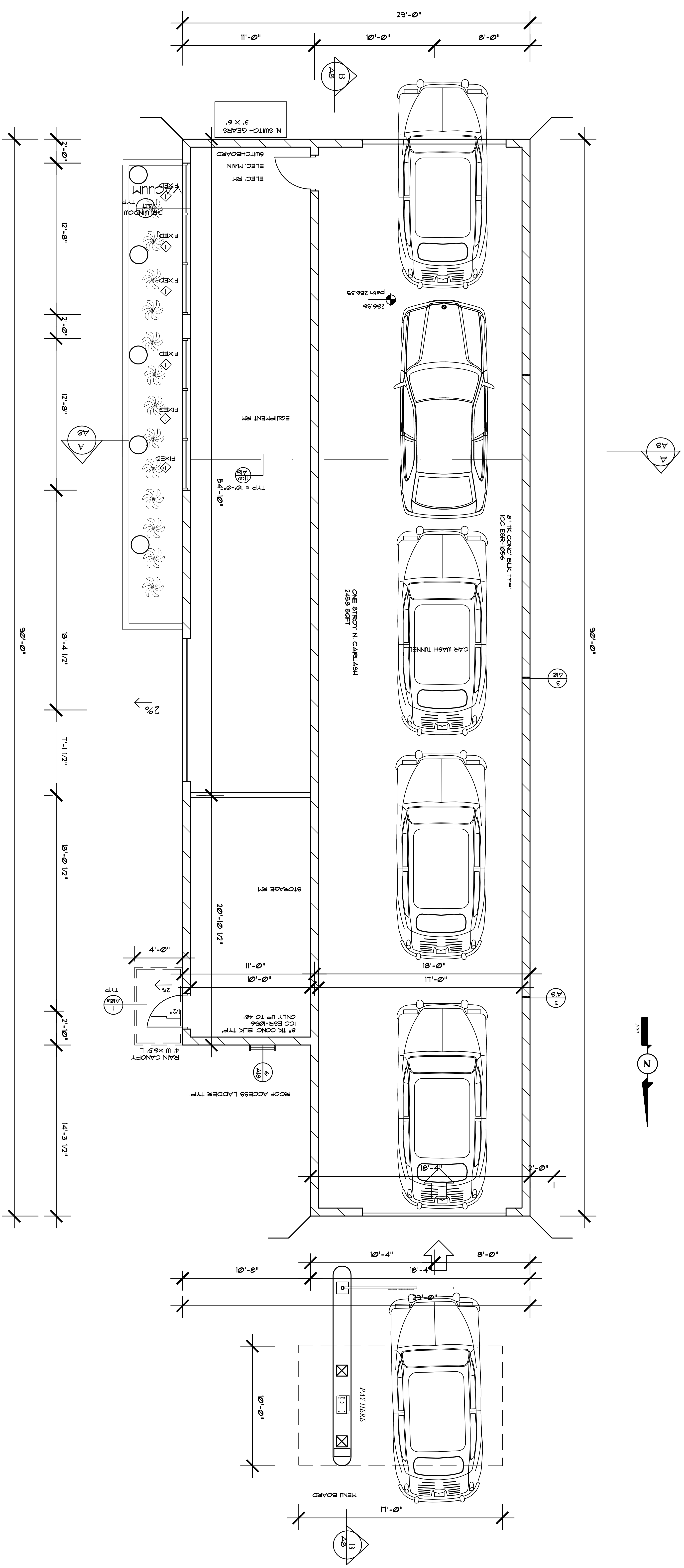


Architect
Amosodo R. Mantigas
LIC#C15983
Nevada office
1230 Hiller rock way
Las Vegas office
1756 merry ave
Los Angeles California
90025
(310) 920-2626



NEW CARWASH WITHIN EXISTING GAS STATION
CONVENIENCE MARKET.
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

1/29/2011
1/4"=1'-0"



FLOOR PLAN

NOTE: ALL MEASUREMENTS
LINES ARE FROM FACE OF
PLYWOOD AS SHOWN IN
STRUCTURAL PLAN WHERE
OCCUR

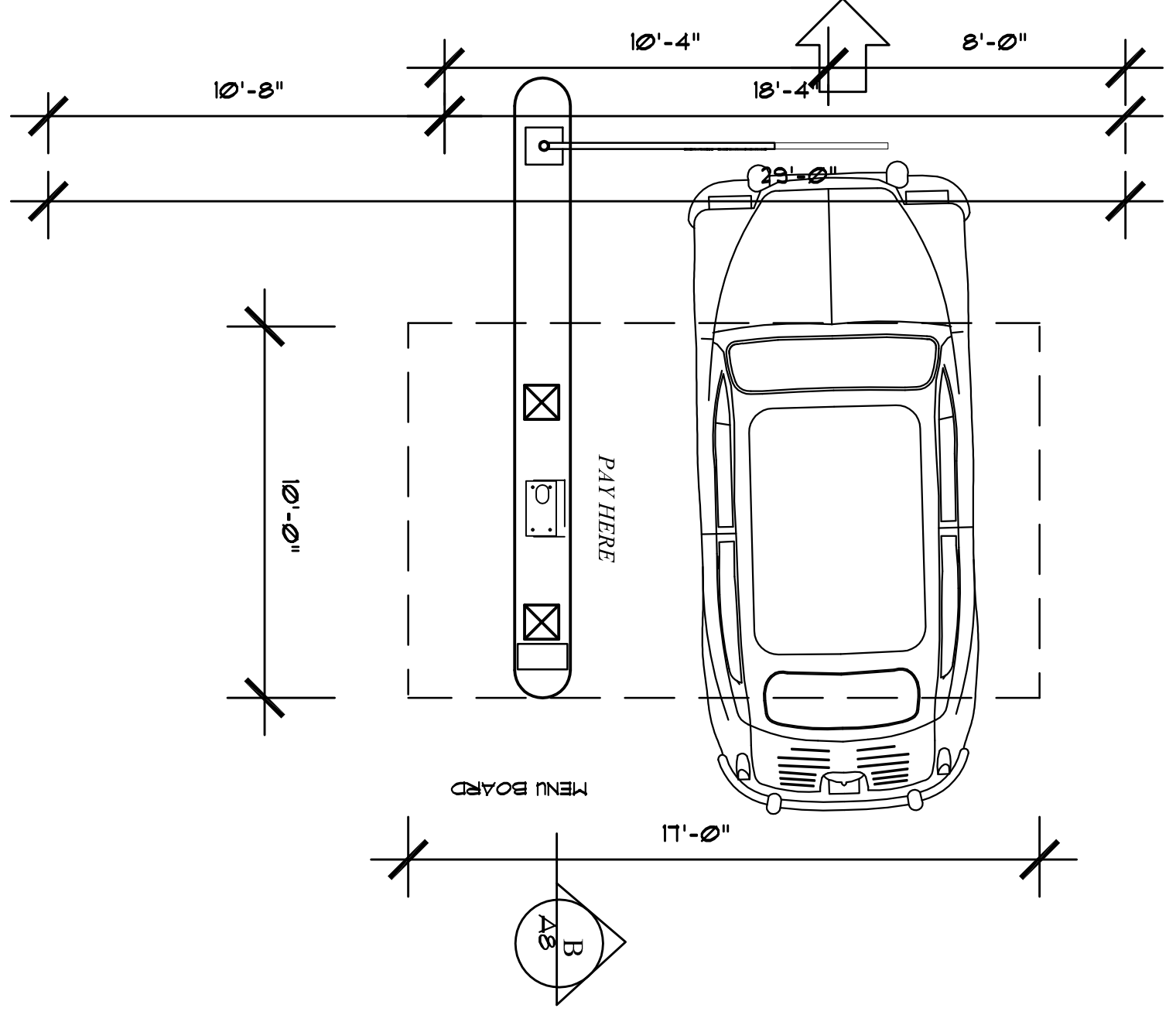
Location of irrigation
conduits (1)
Irrigation controller(s) shall
be either weather or non-weather
type and shall be installed under
the following conditions:
1. All conduits shall be
2. All conduits shall be
3. All conduits shall be
4. All conduits shall be
5. All conduits shall be

1. IR STAIR CASE THRU OUT
UNDER THE STAIR THRU OUT TYP

RAV MAX 4'-3/8" MAX WITH LESA THEN 4" CLR
BETWEEN INTERMEDIATE RAILS & 6'-8" MIN
HEAD ROOM CLEARANCE VERIFY DESIGN
OWNER

HAND GRIP PORTION OF HANDRAIL SHALL NOT
BE LESS THAN 1/4" NOR MORE THAN 1/4"-1/2"
IN DIAMETER AND SHALL REMAIN THE
SAME THROUGHOUT THE ENTIRE LENGTH
HAVING A SMOOTH SURFACE WITH NO SHARP
CORNERS

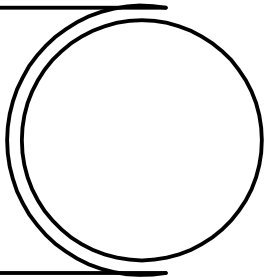
42" HIGH RAILING WITH MAX INTERMEDIATE
RAILS DESIGNED FOR 201 LB/FT LATERAL LOAD
VERIFY DESIGN OWNER



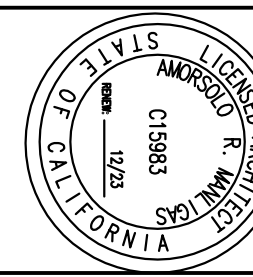
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS
AND ARRANGEMENTS REPRESENTED HEREBY ARE AND SHALL REMAIN THE
PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED,
DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT
OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN
PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS,
SPECIAL CONTRACTORS AND/OR OTHERS. ANY REVISIONS TO THESE DRAWINGS
SHALL BE INDICATED BY A CIRCLED NUMBER AND DATE. ANY REVISIONS
CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER
SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR,
ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE AND/OR ANY OF
OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE
DRAWINGS AND CONDITIONS SHOWN BY THESE DRAWINGS BEFORE
PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING
WALLS



Architect
 Amosordo R. Mantigas
 L/C#C15983
 Nevada office
 1120 Inlet Rock Way
 Las Vegas, NV 89122
 Las Vegas office
 1756 Harry Ave.
 Las Angeles California
 90025
 (310) 200-2626



NEW CARWASH WITHIN EXISTING GAS STATION
 CONVENIENCE MARKET.
 JOB AT: 2305 S. LA CIENEGA BLVD
 LOS ANGELES CA 90034

1/26/2021

INSTALL WATER PROOF MEMBRANE AND SHEET OF ALL WALLS AND ROOF ON TOP OF HOT TOP AS SPECIFIED IN WATER ROOMING ROOF NOTE

INSTALL FLASHING 5"x5" AT EA CORNER OF WALLS AND PARAPETS TYP

HVAC EQUIPMENT SHALL BE SCREENED FROM VIEW, VERIFY TERMINATION ON OF PATH WITH SITE DRAWING

MIN 30" HIGH PARAPET TYP • ALL SIDE SEE ELEVATION FOR EXACT HEIGHT

CONTINUE BATHUBS UNDER BLDG PAPER WALL INTERSECTION

Location of the metal conduit (1" minimum) termination for future solar use. The termination point shall be located at an area designated for future installation of electrical solar panels

location for inverters and metering equipment and a pathway for routing from the solar zone to the main service panel.

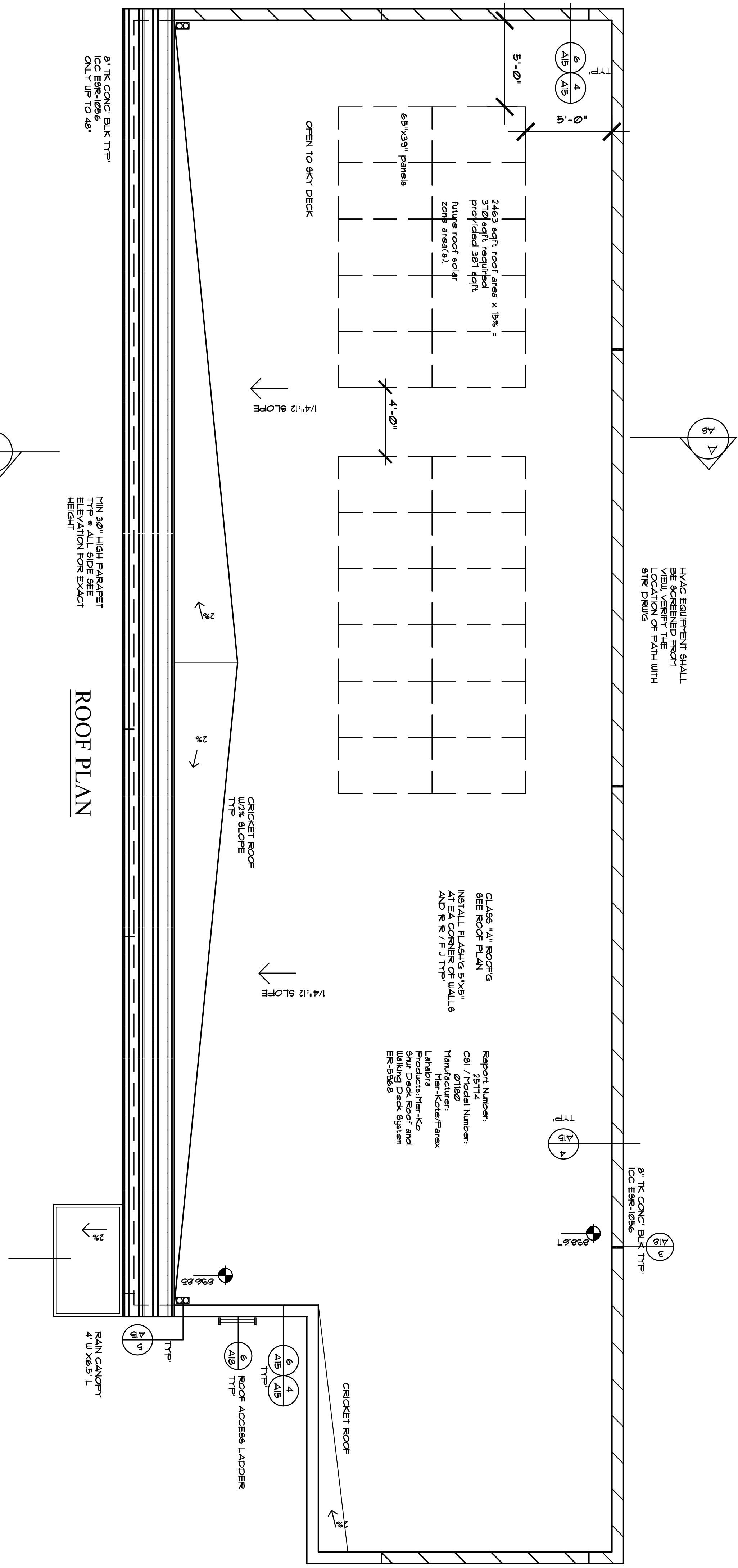
pathway for routing of plumbing from the solar zone to the water-heating system. (S211), Energy Code §102(b)

CLASS 1/4" ROOF'G
 SEE ROOF PLAN
 AT EA CORNER OF WALLS AND R/R / F / J TYP

Report Number: 25114
 CSI / Model Number: Her-Koat/Parx
 Manufacturer: Lambda
 Lambda Her-Koat
 5hr Deck Roof and Walking Deck System
 ER-5968

CLASS 1/4" ROOF'G
 SEE ROOF PLAN
 AT EA CORNER OF WALLS AND RATHERS TYP

Report Number: 25114
 CSI / Model Number: Her-Koat/Parx
 Manufacturer: Lambda
 Lambda Her-Koat
 5hr Deck Roof and Walking Deck System
 ER-5968



ROOF PLAN

ENERGY EFFICIENCY

9. For nonresidential buildings of three stories or less, comply with the following:

a. Designate on the roof plan solar zone area(s) with total area equal to or greater than 15% of the building's roof area. The solar zone shall be comprised of areas that have not dimension less than 5 feet and each area shall not be less than:

1. 80 sq ft for roof areas of 10,000 sq ft or less
- 11, 60 sq ft for roof areas over 10,000 sq ft.
- b. For roof slopes E 2:12 (35° from horizontal) 10' and 1'10" of the roof.

c. The solar zone shall be free of obstructions and be setback at least two times the height of any obstruction, including but not limited to vents, chimneys, and equipment.

d. Plans shall indicate a location for inverters and metering equipment and a pathway for routing from the solar zone to the main service panel.

e. Plans shall indicate a pathway for routing of plumbing from the solar zone to the water-heating system. (S211), Energy Code §102(b)

9. 1/4. A copy of the construction documents or a comparable document indicating the information from Energy Code section 102(b) through 102(c) shall be provided to the occupant. (Energy Code §102(d))

CLASS 1/4" ROOF'G
 INSTAL FIBER CANT STRIPS AS NECESSARY NAIL DOWN NEW 2LB GLASS BASE SHEET HOT TOP UNWOLLEN ASPHALT AND INSTAL SECOND LAYER 1LB GLASSPLY SHEET AGAIN AND INSTAL 3RD LAYER 1LB GLASSPLY SHEET HOT TOP AGAIN REPEAT NEW 2LB MINERAL SURFACE FIBER GLASS SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT FOR PITCH ROOF

INSTAL BASE PRE MANUF'G SPECIFICATIONS, MCA CLAY ROOF'G TILE REZY4956

CLASS 1/4" ROOF'G
 INSTAL FIBER CANT STRIPS AS NECESSARY NAIL DOWN NEW 2LB GLASS BASE SHEET HOT TOP UNWOLLEN ASPHALT AND INSTAL SECOND LAYER 1LB GLASSPLY SHEET AGAIN REPEAT NEW 2LB MINERAL SURFACE FIBER GLASS SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT

INSTAL 3/4" GUTTER AND DOWN SPOT AS NECESSARY AT EACH CORNER

GUTTER SHALL BE ANODIZED ALUMINUM WHITE OR COLOR TO MATCH THE BUILD'G

INSTAL 24 GA GI FLASHING ON ALL PARAPETS TYP

INSTAL 5"x5 PARAPET METAL AT ALL CONNECTIONS OF WALLS AND ROOF

1" STUCCO ON ALL EXTERIOR WALLS OVER WATER PROOF PAPER AND LATE 5/8" GYP BRD TRFEE "X" OVER ALL WALLS AND CEILING

INSTAL WEEP SCREED "2" STRAP FLASHING AT END OF STUCCO

R13 INSUL AT ALL EXTERIOR WALLS

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORCED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENING PROVIDED AGAINST THE ENTIRANCE OF RAIN AND WATER INTO THE SPACE. VENTILATION SHALL BE PROVIDED BY EITHER CAP SHEET UNKAP ALL PARAPET WALLS W/ONE LAYER 2LB GLASS BASE SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT

INSTAL 3/4" GUTTER AND DOWN SPOT AS NECESSARY AT EACH CORNER

GUTTER SHALL BE ANODIZED ALUMINUM WHITE OR COLOR TO MATCH THE BUILD'G

INSTAL 24 GA GI FLASHING ON ALL PARAPETS TYP

INSTAL 5"x5 PARAPET METAL AT ALL CONNECTIONS OF WALLS AND ROOF

1" STUCCO ON ALL EXTERIOR WALLS OVER WATER PROOF PAPER AND LATE 5/8" GYP BRD TRFEE "X" OVER ALL WALLS AND CEILING

INSTAL WEEP SCREED "2" STRAP FLASHING AT END OF STUCCO

R13 INSUL AT ALL EXTERIOR WALLS

CLASS 1/4" ROOF'G
 INSTAL FIBER CANT STRIPS AS NECESSARY NAIL DOWN NEW 2LB GLASS BASE SHEET HOT TOP UNWOLLEN ASPHALT AND INSTAL SECOND LAYER 1LB GLASSPLY SHEET AGAIN AND INSTAL 3RD LAYER 1LB GLASSPLY SHEET HOT TOP AGAIN REPEAT NEW 2LB MINERAL SURFACE FIBER GLASS SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT

INSTAL BASE PRE MANUF'G SPECIFICATIONS, MCA CLAY ROOF'G TILE REZY4956

CLASS 1/4" ROOF'G
 INSTAL FIBER CANT STRIPS AS NECESSARY NAIL DOWN NEW 2LB GLASS BASE SHEET HOT TOP UNWOLLEN ASPHALT AND INSTAL SECOND LAYER 1LB GLASSPLY SHEET AGAIN REPEAT NEW 2LB MINERAL SURFACE FIBER GLASS SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT

INSTAL 3/4" GUTTER AND DOWN SPOT AS NECESSARY AT EACH CORNER

GUTTER SHALL BE ANODIZED ALUMINUM WHITE OR COLOR TO MATCH THE BUILD'G

INSTAL 24 GA GI FLASHING ON ALL PARAPETS TYP

INSTAL 5"x5 PARAPET METAL AT ALL CONNECTIONS OF WALLS AND ROOF

1" STUCCO ON ALL EXTERIOR WALLS OVER WATER PROOF PAPER AND LATE 5/8" GYP BRD TRFEE "X" OVER ALL WALLS AND CEILING

INSTAL WEEP SCREED "2" STRAP FLASHING AT END OF STUCCO

R13 INSUL AT ALL EXTERIOR WALLS

CLASS 1/4" ROOF'G
 INSTAL FIBER CANT STRIPS AS NECESSARY NAIL DOWN NEW 2LB GLASS BASE SHEET HOT TOP UNWOLLEN ASPHALT AND INSTAL SECOND LAYER 1LB GLASSPLY SHEET AGAIN AND INSTAL 3RD LAYER 1LB GLASSPLY SHEET HOT TOP AGAIN REPEAT NEW 2LB MINERAL SURFACE FIBER GLASS SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT

INSTAL BASE PRE MANUF'G SPECIFICATIONS, MCA CLAY ROOF'G TILE REZY4956

CLASS 1/4" ROOF'G
 INSTAL FIBER CANT STRIPS AS NECESSARY NAIL DOWN NEW 2LB GLASS BASE SHEET HOT TOP UNWOLLEN ASPHALT AND INSTAL SECOND LAYER 1LB GLASSPLY SHEET AGAIN REPEAT NEW 2LB MINERAL SURFACE FIBER GLASS SHEET AND FINAL LAYER 2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT

INSTAL 3/4" GUTTER AND DOWN SPOT AS NECESSARY AT EACH CORNER

GUTTER SHALL BE ANODIZED ALUMINUM WHITE OR COLOR TO MATCH THE BUILD'G

INSTAL 24 GA GI FLASHING ON ALL PARAPETS TYP

INSTAL 5"x5 PARAPET METAL AT ALL CONNECTIONS OF WALLS AND ROOF

1" STUCCO ON ALL EXTERIOR WALLS OVER WATER PROOF PAPER AND LATE 5/8" GYP BRD TRFEE "X" OVER ALL WALLS AND CEILING

INSTAL WEEP SCREED "2" STRAP FLASHING AT END OF STUCCO

R13 INSUL AT ALL EXTERIOR WALLS

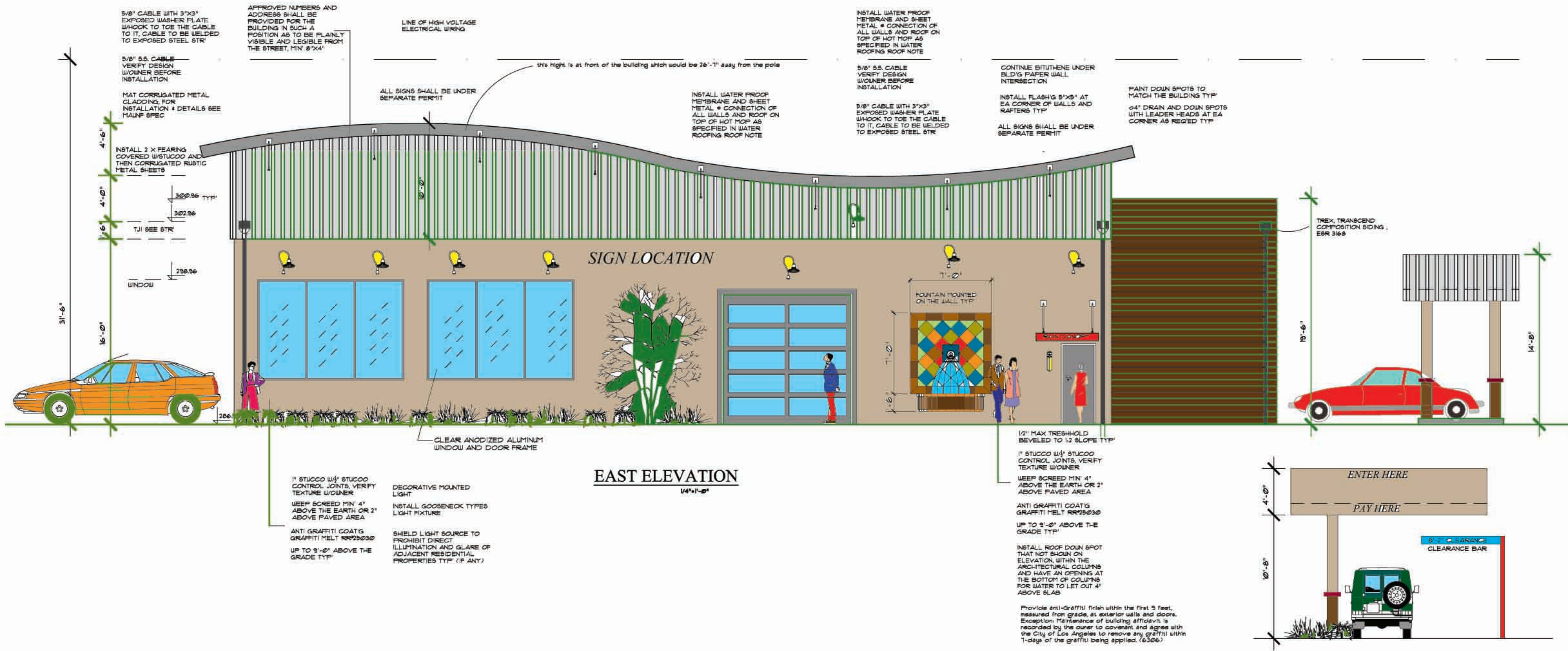


Architect
 Amoroso R. Manigault
 LIC#C15983
 Nevada office
 1120 little rock way
 las vegas nv 89123
 Los Angeles office
 1756 hurry ave
 los angeles california
 90025
 (310) 920-2626



NEW CARWASH WITHIN EXISTING GAS STATION
 CONFERENCE MARKET
 JOB #7- 2305 S. LA CIENEGA BLVD
 LOS ANGELES CA 90034

1/30/2021



EAST ELEVATION
 1/4"=1'-0"

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSION. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS



LINE OF HIGH VOLTAGE ELECTRICAL WIRING

26'-1"

31'-6"

4'-0"

ROOF ACCESS LADDER TYP

11" STUCCO W/ STUCCO CONTROL JOINTS (EIR) SYSTEM (EIR) SEE ALSO WEIR SCHEDULE MIN. 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA ANTI GRABBIT COATS, GRAFFITI HELT REMEDIOS UP TO 9'-0" ABOVE THE GRADE TYP

DECORATIVE WALL MOUNTED LIGHT

INSTALL GOOSENECK TYPES LIGHT FIXTURE

TAPERED ROOF FIXTURE

SHIELD LIGHT SOURCE TO PROHIBIT DIRECT ILLUMINATION AND GLARE OF ADJACENT RESIDENTIAL PROPERTIES TYP

CULTURED STONE VENEER WAINSCOTT WEATHER EDGE LEDGESTONE (C8V-209)

20'-0" ALLEY

14'-0"

19'-6"

26'-0"

this height is at front of the building which would be 26'-1" away from the pole

31'-6"

26'-0"

this height is at front of the building which would be 26'-1" away from the pole

19'-6"

14'-0"

20'-0" ALLEY

286.52

286.56

133.53

DECORATIVE WALL MOUNTED LIGHT

INSTALL GOOSENECK TYPES LIGHT FIXTURE

TAPERED ROOF FIXTURE

SHIELD LIGHT SOURCE TO PROHIBIT DIRECT ILLUMINATION AND GLARE OF ADJACENT RESIDENTIAL PROPERTIES TYP

CLEAR ANODIZED ALUMINUM WINDOW AND DOOR FRAME

INSTALL WATER PROOF MEMBRANE AND SHEET METAL CONNECTION OF ALL WALLS AND ROOF ON ROOF OR HOT TOP AS SPECIFIED IN THE ROOFING ROOF NOTE ALL SIGNS SHALL BE UNDER SEPARATE PERMIT

64 G1 20 SHEET METAL AT ALL CONNECTIONS

INSTALL FLASHING 5X6" AT CORNER OF WALLS AND RAFTERS TYP

CONTINUE BUTTHERE UNDER BLDG RAFTER WALL INTERSECTION

HAT CORNERED METAL INSTALLATION * DETAILS SEE MAIN SPEC

ALL SIGNS SHALL BE UNDER SEPARATE PERMIT

APPROVED NUMBERS AND POSITIONS FOR THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET (MIN 8' X4' INSTALL GOOSENECK TYPES LIGHT FIXTURE

4'-0"

RAIN CANOPY

TYP

11" TYP

11" TYP

ANT GRABBIT COATS, GRAFFITI HELT REMEDIOS UP TO 9'-0" ABOVE THE GRADE TYP

11" STUCCO W/ STUCCO CONTROL JOINTS (EIR) SYSTEM (EIR) SEE ALSO WEIR SCHEDULE MIN. 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA ANTI GRABBIT COATS, GRAFFITI HELT REMEDIOS UP TO 9'-0" ABOVE THE GRADE TYP

OR Exterior Insulation Finish System (EIFS) SEE ALSO WEIR SCHEDULE MIN. 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA

NATURAL GRADE

64" DRAIN AND DOWN SPOTS WITH LEADER HEADS AT EA CORNER AS RELED TYP

AUTOMATIC SENSOR DOOR WITH 64" DRAIN AND DOWN SPOTS AT THE CAR EXIT OR ENTRIED

NORTH ELEVATION

SOUTH ELEVATION

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, TRANSMITTED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE CONSULTANTS. PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS

NEW CARWASH WITHIN EXISTING GAS STATION CONVENIENCE MARKET.
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

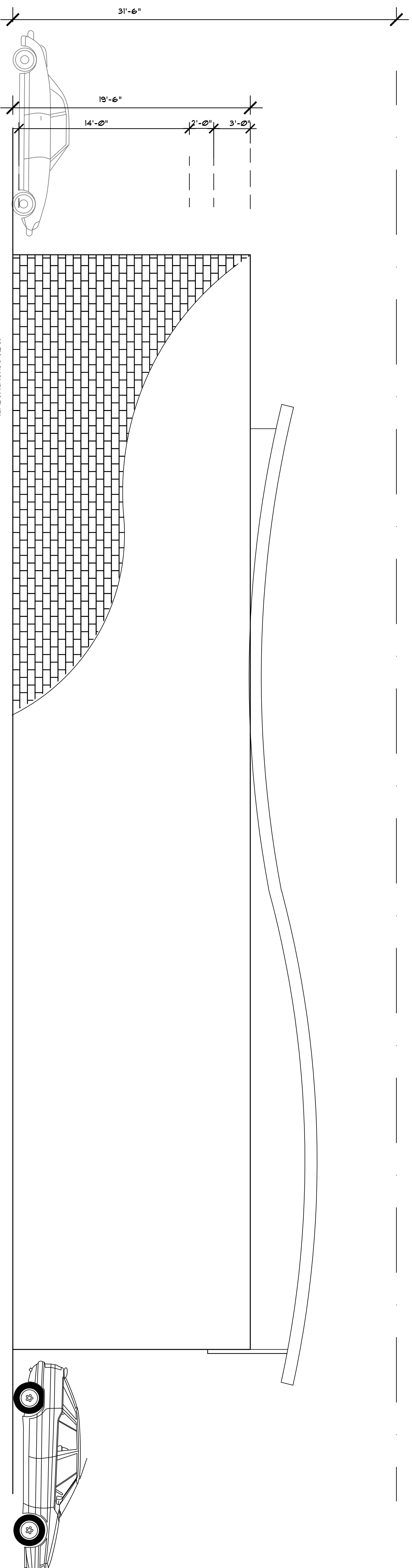
1/26/2021

46

Architect
Amoroso R. Mantigas
LIC#C15983
Nevada office
1120 Hill rock way
Las Vegas NV 89102
Los Angeles office
1756 Perry ave
Los Angeles California
90025
(310) 920-2626

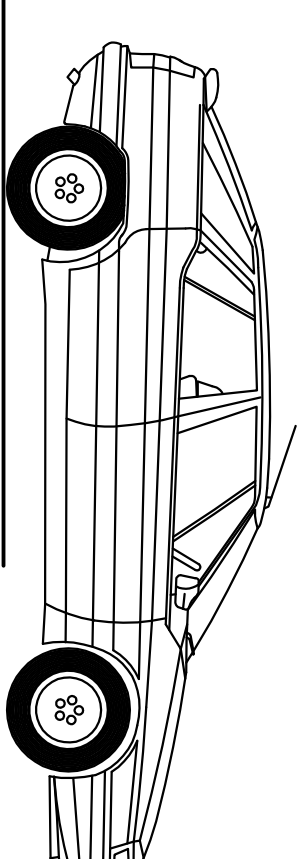


LINE OF HIGH VOLTAGE
ELECTRICAL WIRE TO BE
VERIFIED BY DUP



8 1/2" CONC. BLK TYP
ICC BRK-858
USE WATER PROOFING
MEMBRANE FOR ALL EXPOSED
CMU

WEST ELEVATION

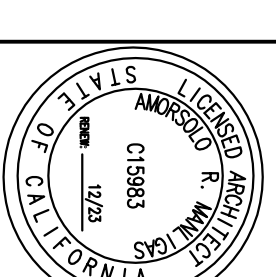


THE ABOVE DRAWINGS AND SPECIFICATIONS AND DETAILS DESIGN DETAILS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED UNDER THE WRITTEN CONSENT OF CONSULTANTS. CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT UNLESS AND UNLESS OTHERWISE SPECIFICALLY STATED IN WRITING. CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT UNLESS AND UNLESS OTHERWISE SPECIFICALLY STATED IN WRITING. CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT UNLESS AND UNLESS OTHERWISE SPECIFICALLY STATED IN WRITING.

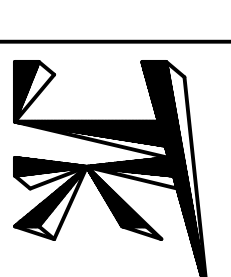
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE AND/OR ANY OF ITS CONSULTANTS AND/OR SUBSIDIARIES SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS UNLESS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS

NEW CARWASH WITHIN EXISTING GAS STATION
CONVENIENCE MARKET.
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

1/29/2011

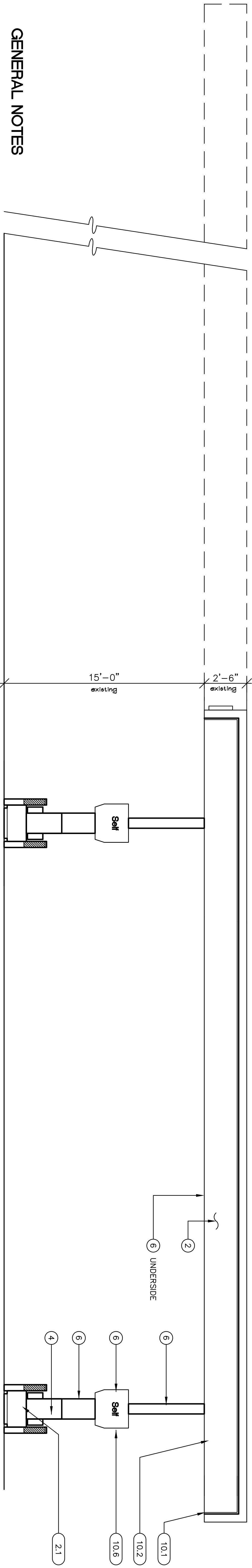


Architect
Amosodo R. Mantigas
License No. C15983
Nevada office
1230 Hiller rock way
Las Vegas NV 89102
Los Angeles office
1756 merry ave.
Los angeles california
90025
(310) 920-2626



to be demolded and reduced

existing



GENERAL NOTES

1. ALL ITEMS ABOVE ROOF DECK SHOWN WITH SOLID LINES
2. ALL ITEMS BELOW ROOF DECK SHOWN WITH DASHED LINES
3. ALL RACEWAYS ABOVE ROOF DECK TO BE EMT, EXCEPT WHERE NOTED. ALL JUNCTION BOXES, CONNECTORS, COUPLINGS, AND FITTINGS SHALL BE RAIN-TIGHT. RACEWAYS SHALL COMPLY WITH LATEST EDITION OF NATIONAL ELECTRICAL CODE. MINIMUM CONDUIT SIZE 3/4". MINIMUM SIZE OF JUNCTION BOX 4"x4"x2".
4. PROVIDE & INSTALL #10 EQUIPMENT GROUNDING CONDUCTOR IN ALL RACEWAYS. BOND EQUIPMENT GROUNDING CONDUCTOR TO EACH LIGHTING FIXTURE AND SIGN FRAME.
5. LIGHT FIXTURES ARE RECESSED MOUNTED, 320 WATT SUPER METAL HALIDE. LSI MODEL EC-S-320-LG-MT-WHT-TH, SUPPLIED BY OTHERS, UNLESS OTHERWISE NOTED.
6. ALL WIRING SHALL BE #10 AWG. COPPER, THWN, SEE E03 AND E51.
7. REFER TO SIGN AND CANOPY REFERENCE DRAWINGS FOR INSTALLATION DETAILS.
8. VENT ANTENNA IS LOCATED ON REMOTE MARKETER INSTEAD OF CANOPY.
9. PROVIDE ACCESS COVER PLATE FOR SEAL-OFFS TO MATCH CANOPY COLUMN CLADDING. IF SPECIAL ARCHITECTURE, TREATMENT COLOR TO BE PROVIDED BY C.C.

KEY NOTES

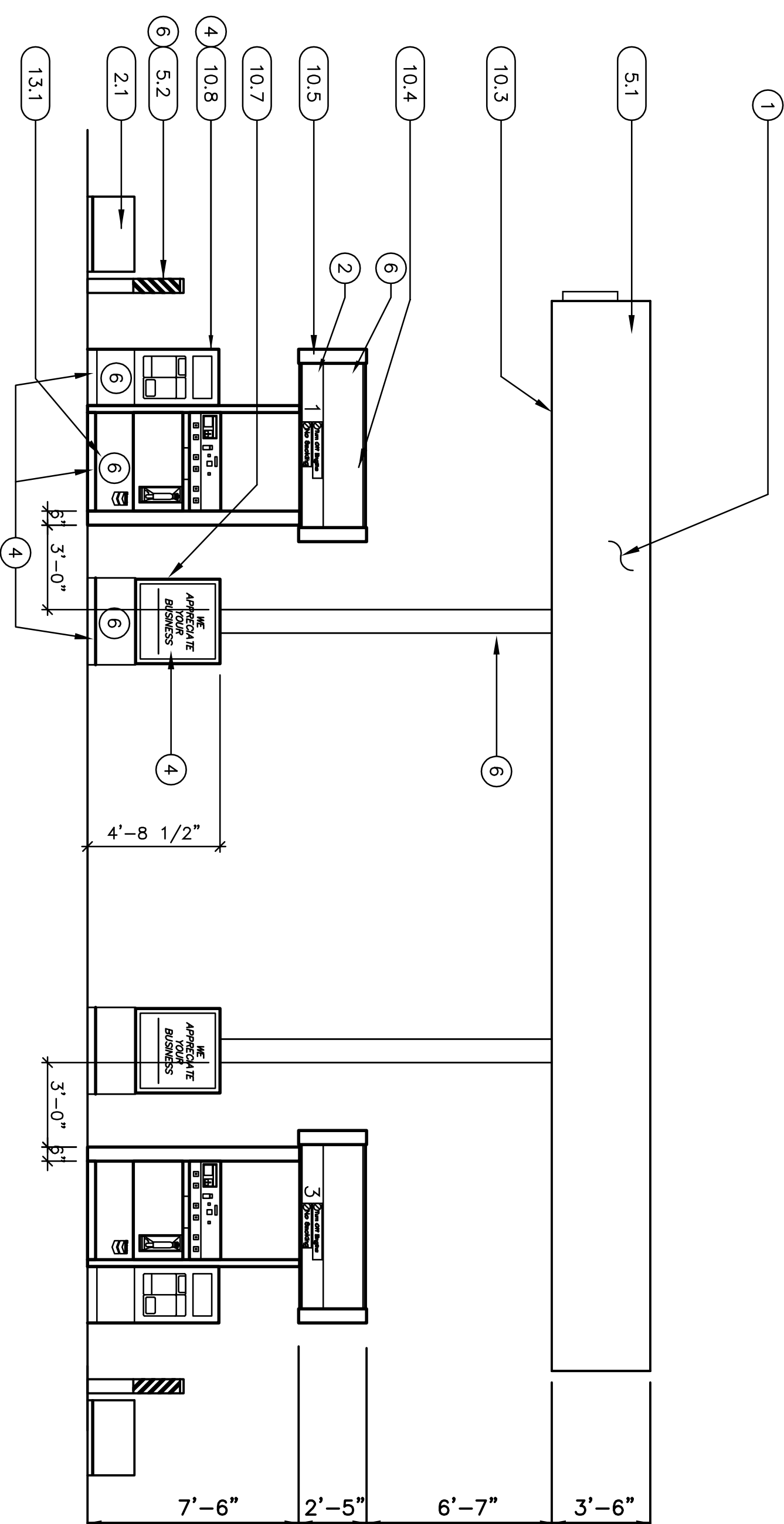
- DIVISION 5 - METALS**
- 5.1 see plan x see plan CANOPY, CANOPY COLUMNS AND FOUNDATIONS, FOR MORE INFORMATION/DESIGN SEE STEEL FABRICATOR DRAWINGS
 - 5.2 6" SQ. STEEL GUARD POST
 - 5.3 COLUMN CLADDING
- DIVISION 10 - SPECIALTIES**
- 10.1 9 1/2" HIGH LIGHT GRAY AND WHITE EYEBROW STRIPE (OCL #411)
 - 10.2 INTERNALLY ILLUMINATED, 23 1/2" HIGH WHITE DIMENSIONAL "Chevron" LETTERS (TYP. OF 2)
 - 10.3 C-28 PLACARD MOUNT HALLMARK SIGN, 27" HIGH
 - 10.4 INTERNALLY ILLUMINATED SPANNER WITH CHEVRON LOGO
 - 10.5 INTERNALLY ILLUMINATED END CAP
 - 10.6 MODE OF SERVICE DIRECTIONAL SIGN WITH DARK GRAY LETTERS ("Self" LETTERS 6" HIGH)
 - 10.7 P.O.S. FRAME
 - 10.8 TRASH VALET WITH FRONT WINDSHIELD SERVICE
- DIVISION 13 - SPECIAL CONSTRUCTION**
- 13.1 MULTI-PRODUCT FUEL DISPENSER

COLOR LEGEND

OFF-WHITE	(MH740)	①
BLUE	(BL370)	②
LIGHT GRAY	(GY450)	③
DARK GRAY	(GY210)	④
RED	(RE360)	⑤
WHITE	(WH835)	⑥

ALL PAINT TO BE V.O.C. COMPLIANT URETHANE

WEST (EAST SIMILAR)



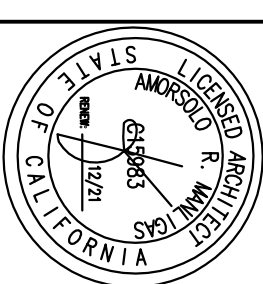
CANOPY ELEVATIONS

see sheet A14a-d for accessibility

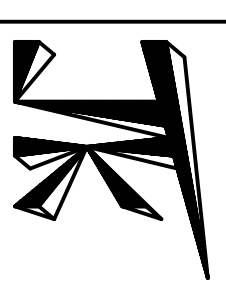
1. DOWNSPOUTS ARE DESIGNED TO BE TIGHTLINED TO THE SITES UNDERGROUND STORM DRAINAGE SYSTEM. IF UNDERGROUND STORM SYSTEM IS NOT REQUIRED, DOWNSPOUTS SHALL BE ROUTED TO DAYLIGHT BEYOND DRIVE SLAB AREA. GRADING SHALL BE DESIGNED TO COMPENSATE TO PERMIT DAYLIGHTING OF PIPE IN SAFE LOCATION AS PERMITTED BY THE LOCAL JURISDICTION.
 2. DRIVE SLAB SHALL HAVE A MEDIUM BROOM FINISH PERPENDICULAR TO ISLAND LAYOUT W/EXPANSION AND CONTROL JOINTS AS SHOWN.
 3. CANOPY CONTRACTOR SHALL PROVIDE DOWNSPOUTS AND CONDUITS FOR LIGHTING AND P.L.C UNITS IN COLUMNS WHERE SPECIFIED. COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION OF CONDUITS, AND HAND HOLES PRIOR TO FABRICATION.
 4. ISLAND HEIGHTS SHALL BE THE SAME IN EACH ROW.
 5. ISLAND FORMS SHALL BE PAINTED BLACK
 6. PAO CERTIFICATION SHALL BE REQUIRED AT TIME OF FOOTING INSPECTION.
- LIGHT FIXTURES ARE RECESSED MOUNTED, 320 WATT SUPER METAL HALIDE. LSI MODEL EC-S-320-LG-MT-WHT-TH, SUPPLIED BY OTHERS, UNLESS ALL WIRING SHALL BE #10 AWG. COPPER, THWN, SEE E03 AND E51.

NEW CARWASH WITHIN EXISTING GAS STATION
CONVENIENCE MARKET.
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

1/26/2021



Architect
Amosodo R. Mantigas
LC/C715983
Nevada office
1120 Hiller rock way
Las Vegas NV 89102
Los Angeles office
1756 berry ave.
los angeles california
90025
(310) 920-2626



6" KC LIGHT COLOR CONC PAVING 25% OF THE TOTAL SITE LANDSCAPE SHALL BE NITRAL SOLAR REFLECTANCE OF AT LEAST 25.



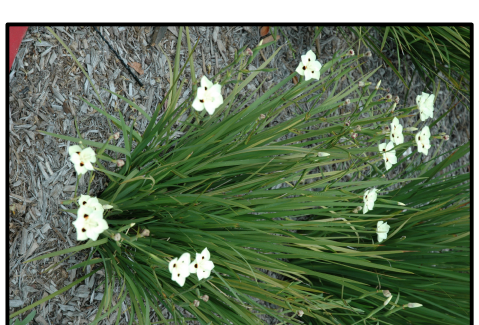
Westringia f. Morning Light / Coast Rosemary



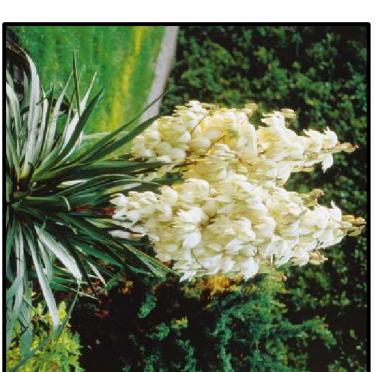
Grevillia lanudulces / Lavender Grevillia



Phormium t. Bronzea Baby / New Zealand Flax



Dielsia bicolor / Fortnight Lily



Yucca f. Bright Edge / Adams Needle



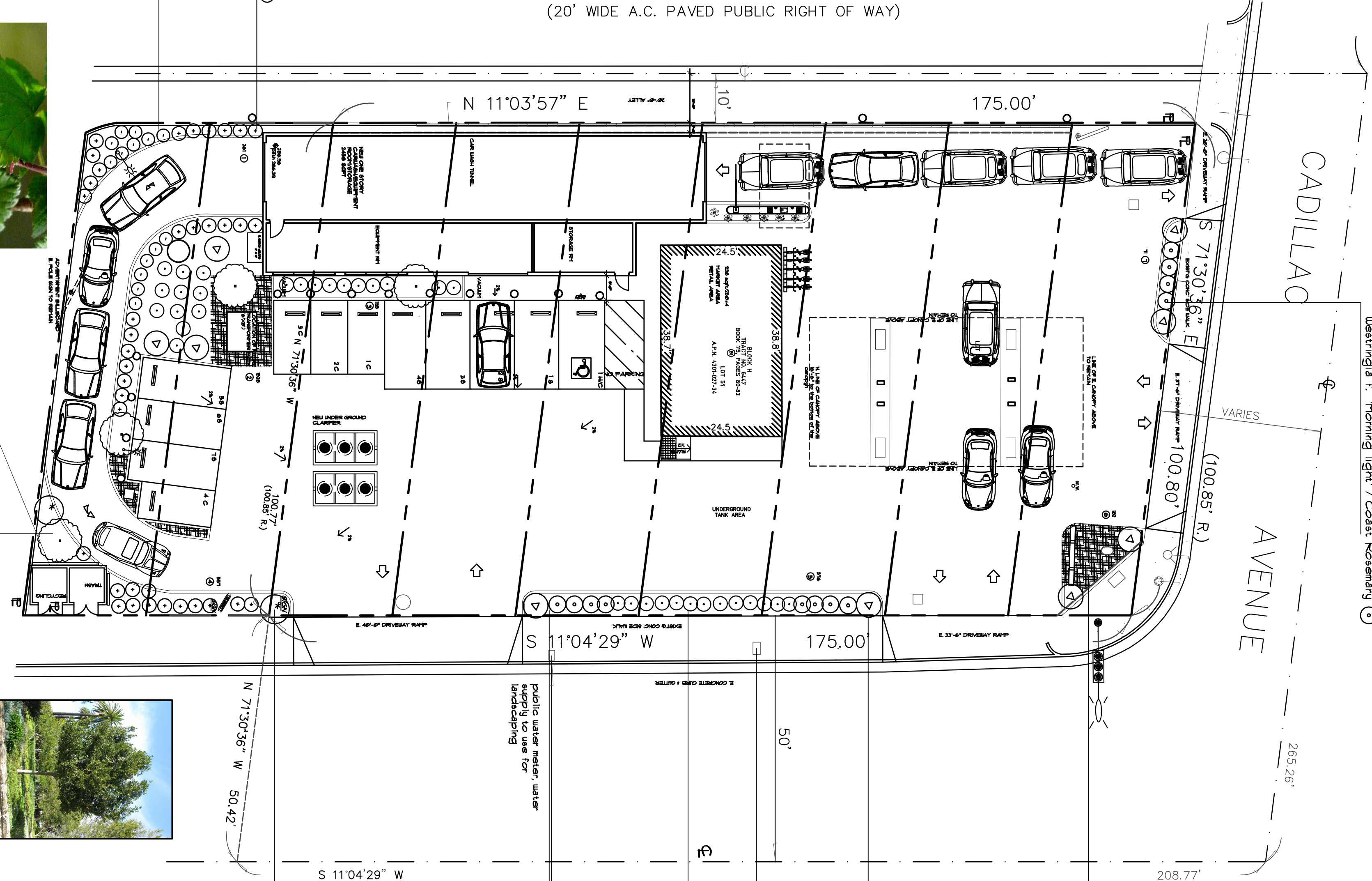
Senecio cylindricus



Senecio serpens / Blue Chicks Stricks

Location of irrigation controller(s) shall be either weather- or lockable under any of the following conditions:
 a. Any newly-installed irrigation controller(s) or b. On sites with 5000 square feet or more of cumulative irrigated landscape area. (93204.3)

ALLEY
 (20' WIDE A.C. PAVED PUBLIC RIGHT OF WAY)



Pink Flowered Currant (Ribes sanguineum glutinosum)



Laurus Nobilis Sweet Bay

PLANTING PLAN

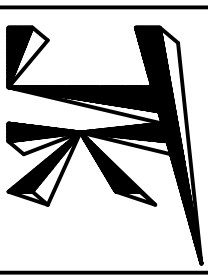
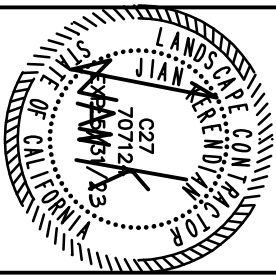
All trees to be planted with commercial root barriers.
 2" deep mulched cedar bark to spread between plants.
 NOTE:
 All groundcover areas where plants are 4' or greater in height shall be planted with a 2" deep finished grade w/ permeable fabric installed 2' below finished grade w/ shredded bark above to simulate weed ground.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN CONFIDENCE. ANY REPRODUCTION OR DISSEMINATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

NEW CARWASH WITHIN EXISTING GAS STATION CONVENIENCE MARKET.
 JOB AT: 2305 S. LA CIENEGA BLVD
 LOS ANGELES CA 90034

1/30/2021
 1/6" = 1'-0"

Know what's below.
 Call before you dig.
 Underground Service Alert
 811
 www.811.com



Architect
 Amosio R. Mantiga
 LIC#C15983
 Nevada office
 1120 Little rock way
 Las Vegas NV 89123
 Los Angeles office
 1750 bury ave
 Los angeles california
 (310) 920-2626

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SIZE AT MATURITY	TIME TO MATURITY	REMARKS	PLANT FACTOR
▽	Fromium f. 'Bronze Baby' /	New Zealand Flax	5-gal	9	To 4 feet tall and 4-1/2 feet wide	Late summer to fall		low 03
○	Uestringia f. 'Morning Light'	Coast Rosemary	5-gal	12	28" tall & wide grow	shorter winter days		low 03
○	Dietes bicolor	fortnight lily	5-gal	33	3' tall, 18" wide	third growing season		low 03
	Grevillea lavenderacea	Lavender Grevillea	5-gal	40c	1-12 inches a year	Late summer to fall		low 03
①	Senecio cylindricus	Blue Chalk Sticks	5-gal	14	Height: 1-1.5' width: 1-1.5' Bloom	Summer-Fall		low 03
+	Senecio serpens	Blue Chalk Sticks	5-gal	34	reaches heights of 12 to 18 inches, with a spread of 2 to 3 feet	Summer-Fall		low 03
⊗	Yucca f. 'Bright Edge'	Adams Needle	5-gal	2	1 foot tall and 2 feet wide			low 03
	Pink Flowered Currant	Ribes sanguineum glutinosum	5-gal	15	height (m): 1.00 to 2.00 width (cm): 13.00 to 18.00	Bloom February-April.		low 03

TREE LEGEND (Tree canopies are shown in full maturity)

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SIZE AT MATURITY	TIME TO MATURITY	REMARKS	PLANT FACTOR
	Laurus nobilis	Sweet Bay	30" box	4	about 15-20 feet in height			low 03

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER.
- FINISH GRADE TO BE 1" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1000 SQ. FT. OF SURFACE AREA: ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - 150 LBS. GRO-FOUER
 - 3 CU YDS NITROGENIZED FIBER BARK OR REDWOOD SHAVINGS
 - ADD 8 LBS OF GRO-FOUER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 40% FIBER BARK UNLESS OTHERWISE NOTED. PROVIDE GRO-FOUER PLANT TABLETS AT THE FOLLOWING RATES:

1 GAL.	2
5 GAL.	5
15 GAL.	10
24" BOX AND UP	14

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS.

10. "DEEP ROOT" BARRIERS ARE TO BE USED AROUND ALL TREES LOCATION WITHIN 5 FT. OF PAVING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

11. ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAFL / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS. A) IMMEDIATELY AFTER PLANTING. B) AT THE BEGINNING OF THE MAINTENANCE PERIOD. AND C) AT THE END OF THE MAINTENANCE PERIOD.

12. CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.

Table I
Points Required per Project

Square Footage of Project Site	Points Required
\$ 1500	10
1501-15000	15
15001-40000	20
40001-60000	30
60001-120000	50
12001-150000	60
150000+ square feet or fraction thereof	60 per each 150000 square feet or fraction thereof

Table II
Points Awarded per Feature/Technique

Features/Techniques

1. Street Trees to shade the street (street tree design must be pre-approved by the Street Tree Division before Street Tree Points can be claimed)

• Grouping of street trees in planting area, in lieu of regular file of street trees (C zones only)

• (minimum of 1 tree per 15' linear feet of frontage) (minimum of 50 square feet unpaved, planted area per tree) (per tree)

• understory trees (per tree)

• large tree, per tree

• 40' on center maximum, per tree

• 30' on center maximum, per tree

• Parkway planting, including medians, not otherwise credited, not Lawn Area

(per each 50 square feet or fraction thereof)

• street trees planted larger than 15 gallon size (per tree in addition to points earned above)

• 24" box

• 36" box

• larger than 36" box

• street tree pattern continued in the median, in addition to points earned above for each tree (per tree) (in new tracts, per block)

• double file (allee) of street trees, in addition to points earned above

(per tree) (in new tracts, per block)

• provision of more than 50 square feet unpaved, planted, parkway per street tree (per tree)

• continuously planted parkway (per linear foot of parkway)

Points Awarded

1

2 X 10 = 20

1

2 X 10 = 20

1

1

2

1

3

2 X 10 = 20

1

4

1

1

1

2

1

1 X 186 X 2 = 18000

All trees to be planted with commercial root barriers.
2" deep shredded Cedar bark to spread between plants.

NOTE:
All groundcover areas where plants are 4'oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

• provisions of street tree shading bus shelter or bus bench on the nonapproach side (shelter/bench must have final approval from Cultural Affairs, Bureau of Engineering and Street Tree Division before points can be claimed) (per tree)

• in residential zones, extension of the planted parkway into the parking lane of the roadway to provide space for street trees (must have final approval from Bureau of Engineering before points can be claimed) (per tree)

• No points are awarded for Ficus microcarpa nitida, or for palms, except when that plant continues an existing planting pattern.

2. Grading
(grading plans must have final approval by Grading Division before grading points can be claimed)

• no grading (cut and fill) except required for required accessways, or equestrian corrals, in Tracts and Parcel Maps requiring dedication of new public ways or private streets in Hillside areas of Section 1203 LADC

• any amount of grading, all landform graded and landform planted, in Tracts and Parcel maps requiring dedication of new public ways or private streets in Hillside areas of Section 1203 LADC

3. Paving (commercial zones) (paving on public property must be approved by the Bureau of Engineering before paving points can be claimed)

• pervious paving in sidewalks and/or parking lots (per 100 square feet)

• widened sidewalk at bus shelter (24" minimum width of widening) (per bus shelter)

• pedestrian safe-cross

4. Utilities/fences
(C, M, and P Zones only) (and appurtenant piers, pilasters, niches, caps etc.)

• vines or espaliered plants on walls/fences (per 50 linear feet of wall/fence)

5. Street Furniture (plans must have final approval from Cultural Affairs and the Bureau of Engineering before points can be claimed)

• bus shelter planted with vines (per shelter)

6. Setbacks

• of setback line at least 18" beyond what is legally required, or of that typical for the frontages to provide planned space (per 100 square feet)

1. Overheads

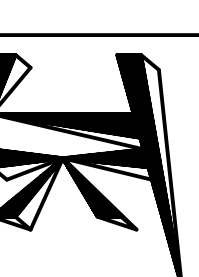
(plan must have final approval from Building and Safety and Cultural Affairs (if appropriate), before points can be claimed) (per 100 square feet)

2

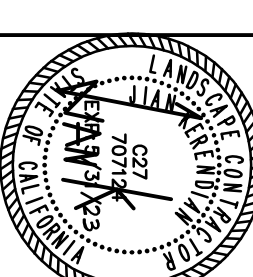
2

• In public right of way undergrounded (per 100 linear feet), when undergrounding not otherwise required

10



Architect
Amorsolo R. Manligas
DEC 1988
12044 N. Hollywood
Los Angeles office
1756 Burg Ave
Los Angeles California
90025
(310) 920-2026



40% of X 22487 = 8994.8
landscape points

80% of X 22487 = 12435
landscape points

3 X (22487-3170=19317) X (3) = 51981

NEW CARWASH WITHIN EXISTING GAS STATION
CONVENIENCE MARKET.
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

1/30/2021

JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.	ANNUAL
2.2	2.7	3.7	4.7	5.5	5.8	6.2	5.9	5.0	3.9	2.6	1.9	50.1

IRRIGATION SCHEDULE FOR ESTABLISHMENT PERIOD (QUANTITY)

VALVE NO.	VALVE SIZE	FLOW (GPM)	IRR EFFCY. (IE)	IRR. TYPE	AREA (SQ. FT.)	PLANT TYPE	RECP RATE (IN/MIN)	PLANT FACTOR (PF)	RUN TIME (MIN)	NO. OF CYCLE	FREQUENCY PER WEEK	TOTAL MONTHLY (GALLONS)
1	3/4"	166	0.81	D	722	SHRUB	0	0.2	8	1	7	371
2	3/4"	61	0.81	D	209	SHRUB	0	0.2	8	1	7	136
3	3/4"	149	0.81	D	641	SHRUB / GROUND COVER	0	0.2	8	1	7	333
4	3/4"	93	0.81	D	315	SHRUB	0	0.2	8	1	7	208
TOTAL											1,048	

IRRIGATION SCHEDULE FOR ESTABLISHED PERIOD (QUALITY)

VALVE NO.	VALVE SIZE	FLOW (GPM)	IRR EFFCY. (IE)	IRR. TYPE	AREA (SQ. FT.)	PLANT TYPE	RECP RATE (IN/MIN)	PLANT FACTOR (PF)	RUN TIME (MIN)	NO. OF CYCLE	FREQUENCY PER WEEK	TOTAL MONTHLY (GALLONS)
1	3/4"	166	0.81	D	722	SHRUB	0	0.2	8	1	2	106
2	3/4"	61	0.81	D	209	SHRUB	0	0.2	8	1	2	39
3	3/4"	149	0.81	D	641	SHRUB / GROUND COVER	0	0.2	8	1	2	95
4	3/4"	93	0.81	D	315	SHRUB	0	0.2	8	1	2	59
TOTAL											299	

PLANT TYPE	IRRIGATION METHOD
T TURF	D DRIP
H HIGH	S SPRAY HEAD
M MEDIUM	I LARGE ROTOR
LVL LOW, VERY LOW	B BUBBLER
O OTHER	M MICRO SPRAY
	O OTHER

* Based on Water Use Classification of Landscape Species (WUUCLS) published by State of CA Dep. of Water Resources

IRRIGATION NOTES

- THIS DESIGN IS PARAMETRIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. IT SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TIGHT SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SHD REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT ID NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE ID NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE SPECIFIC SITES AND CONDITIONS. ALL DIMENSIONS SHOWN BY THE IRRIGATION CONTRACTOR SHALL BE SHOWN ON THE DRAWINGS AND SHALL BE VERIFIED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READINGS AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT UTILIZE UTILITY. THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS SHALL BE INSTALLED IN THE EXISTING UTILITY TRENCHES. ALL DIMENSIONS OR GRADE DIFFERENCES IN THE AREA, DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS, AS PART OF THE SCOPE OF WORK. PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRING SHALL FOLLOW MANLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCAL VALVE CHART IN CONTROLLER. - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO DEFECTIVE OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.

IRRIGATION LEGEND

DESCRIPTION	SYMBOL	P.S.I.	R.A.D.	G.P.M.
TORONTO SB-90 BUBBLER 6" POP UP		10	7"	.49
'RAINBOW' CONTROL VALVE 68 SERIES				
'NIBCO' GATE VALVE 1-1/2" 1419				
'BROOKS' VALVE BOX SERIES				
'WILKINS' QUICK COUPLER 44 LFC-1"				
'WILKINS' BACKFLOW PREVENTER 375				
'HUNTER' SOLAR SYNC				
'HUNTER' I-CORE (ELECTRIC)				
SLEEVING SCH. 40 P.V.C.				
PRESSURE LINE CLASS 315 P.V.C.				
NON-PRESSURE LINE SCH. 40 P.V.C.				
POINT OF CONNECTION				
SEE PLAN FOR SIZE				
VERIFY LOCATION ON SITE				

NETAFIM LEGEND

DESCRIPTION	SYMBOL	P.S.I.	R.A.D.	G.P.M.
'NETAFIM' LVC210075-HF				
'NETAFIM' LINE FLUSH VALVE				
'NETAFIM' TECHLINE CV T104-18025				
NON-PRESSURE 1" SCH. 40 PVC HEADER				
CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.				

SIZE GPM

H-HYDROZONE

NO RECYCLED WATER IS TO BE USED FOR IRRIGATION SYSTEM

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	ETa	ETAF	AREA (sf)	CONVERSION	ETa
501 ETo FROM APPENDIX A					
3150 LANDSCAPE ARE INCLUDING SPECIAL LANDSCAPE AREA (SQUARE FOOT)					
0 PORTION OF LANDSCAPE AREA IDENTIFIED AS SPECIAL LANDSCAPE AREA (SQUARE FOOT)					
MAWA for LA	50.1	x	0.55	x	3170
				62	=
					54156.59 GALLONS

ESTIMATED TOTAL WATER USE (ETWU)

HYDROZONE	PLANT WATER USE TYPE(S)	PLANT FACTOR (PF)	HYDROZONE AREA (HA)	PF x HA (square feet)	% OF LANDSCAPE AREA (LA)	IRRIGATION EFFICIENCY IE	HYDROZONE ETWU
1-4	LOW	0.2	3170	634	100	0.81	51354
TOTAL							51354

ETWU = (ETa) (0.62) [(PF x HA) / IE = SLA]

WATER EFFICIENT LANDSCAPE WORK SHEET

REFERENCE EVALUATION (ETa)

Hydrozone/Planting description	Plant Factor	Irrigation method	Irrigation efficiency	ETAF (FE/IE)	landscape area	ETAF x area	estimated total water use
1 / water use	0.3	drrip	0.81	0.31	261	91	26
2 / water use	0.3	drrip	0.81	0.31	1528	565	131
3 / water use	0.3	drrip	0.81	0.31	195	72	18
4 / water use	0.3	drrip	0.81	0.31	551	206	50
5 / water use	0.3	drrip	0.81	0.31	316	139	34
6 / water use	0.3	drrip	0.81	0.31	182	61	16
7 / water use	0.3	drrip	0.81	0.31	11	26	6

plement §12.41 LANC, operational July 12, 1996.

GUIDELINES AA-WATER MANAGEMENT POINT SYSTEM

Refer to §12.41 B | LANC's

Excess Flow Meter--

Any device that senses excess water flow through the irrigation system (indicative of broken pipes or heads) and prevents activation of the affected part of the system.

Landscape Meter--

A water meter approved by the local water agency installed in addition to the meter serving building uses, which meters water for landscape irrigation as permitted by the local water agency.

Permeable Paving--

1. Paving material that permits water penetration to a soil depth of 18 inches or more, including non-porous surface material poured or laid in sections not exceeding one square foot in area, and locally laid material, such as crushed stone or gravel.
2. Any pervious paving provided that the coefficient of runoff is 0.6 or less.
Reclaimed water-water which as a result of treatment of wastewater is suitable for a direct beneficial use that would not otherwise occur. It is delivered through a reclaimed water distribution system.

Table II

Points Required per Project

Square Footage of Project Site	Points Required	PROVIDED
1,500	25	
1,501-3,000	50	
3,001-15,000	100	
15,001-50,000	200	
50,001-100,000	300	
100,001-200,000	400	400
200,001-500,000	600	
500,001-1,500,000	800	
1,500,000+	1000	

* Any project that is not required by the Los Angeles Municipal Code to have yards, and that is constructed with no plantings, is not required to secure water management points.

Guidelines AA-Water Management Point System

The following point system in Table II shall be used to determine the number of points awarded for yard use based on the project's existing features and techniques that will remain after the project is constructed per the standard points.

Table II

Points Awarded per Project

Technique Points

PROVIDED

1. Drip/trickle/micro irrigation/low precipitation sprinkler heads with low-control devices

5 per circuit

6000

2. Lawn area or swimming pool area

10

3170 SQFT

3. Automatic irrigation controller with cycling capability, and with watering schedules (minimum 5 number) (circled)

5

1

4. Soil moisture sensor/diagnostic/rain measuring device or sensing system/evapotranspiration data used with automatic controller

2 per device/ techniques minimum 10 points

5

3170 SQFT

5. Permeable paving (minimum 100 square feet)

5

3170 SQFT

6. Plants on site those that will, in the designed location, and properly established for 3 years, remain in good health with no more than monthly watering (plants included on the list maintained by the local chapter of the California Native Plant Society may not be counted--
<http://mulderson.org/invasive>) (a) Plant

2 per plant (as specified in gallon)

2250x2=4500 POINTS

(b) Hydroseeded

1 per 5,000 square feet of fraction thereof

10 per 5,000 square feet or fraction thereof on slopes 3:30%

3 per flat, up to 5 flats per 1000 square feet or fraction thereof

100% of required water management points

2250x2=4500 POINTS

(c) Flatted Plant

3 per flat, up to 5 flats per 1000 square feet or fraction thereof

100% of required water management points

2250x2=4500 POINTS

CITY WATER PRESSURE

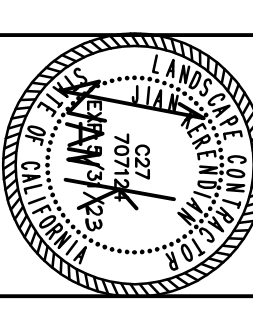
98 MIN 126 MAX

IRRIGATION CONTROL SHALL VERIFY STATIC WATER PRESSURE WITH SPRINKLER PRIOR TO INSTALLATION. IF DIFFERENT FROM ABOVE, NOTIFY OWNER. FAILURE OF IRRIGATION MAY RESULT IN FIELD DAMAGES AT NO ADDITIONAL COST TO THE OWNER.

HYDRAULIC CALCULATIONS

PRESSURE LOSS FOR CONTROL VALVE NO.	1
1" WATER METER @ 1.68GPM	= 10
1" BACKFLOW PREVENTER	= 17
200 FT OF 1" MAINLINE	= 1
1 GATE VALVE @ 1.0 PSI LOSS/VALVE	= 1
3/4" LATERAL LINE FRICTION LOSS	= 49
FITTINGS (20% OF MAINLINE LOSS)	= 10
SPRINKLER HEAD OPERATING PRESSURE	= 10
ELEVATION (LOSS OR GAIN)	=
TOTAL PRESSURE REQUIRED FOR OPERATION	= 22.66
WATER PRESSURE AT P.O.C.	= 80
PRESSURE REQUIRED FOR OPERATION	= 22.66
RESIDUAL WATER PRESSURE	= 57.34

WATER PRESSURE AT P.O.C. = 80
PRESSURE REQUIRED FOR OPERATION = 22.66
RESIDUAL WATER PRESSURE = 57.34

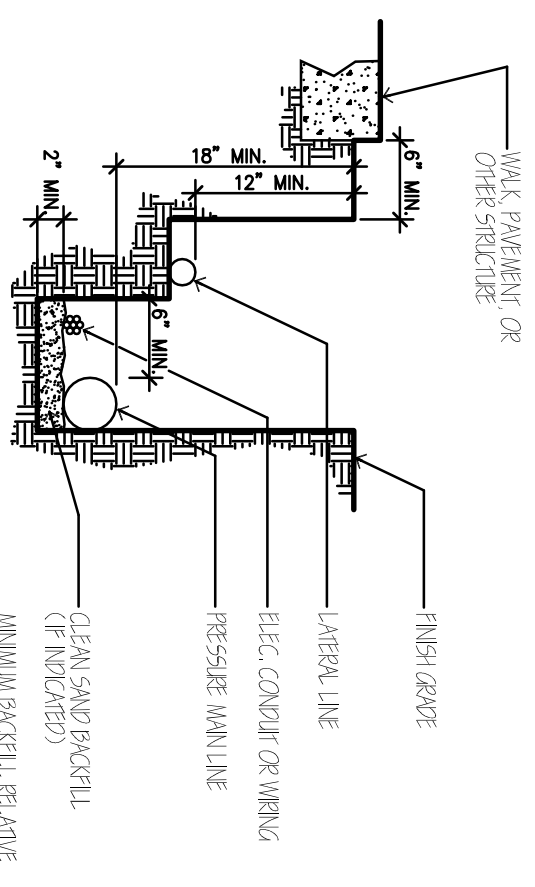


Architect
Andrew R. Manning
License No. 1200
1120 Wilshire Blvd
Los Angeles office
1756 Burg Ave
Los Angeles California
90025
(310) 202-2026

NEW CARWASH WITHIN EXISTING GAS STATION CONVENIENCE MARKET.
JOB AT: 2305 S. LA CENEGA BLVD
LOS ANGELES CA 90034

1/10/2011

L4

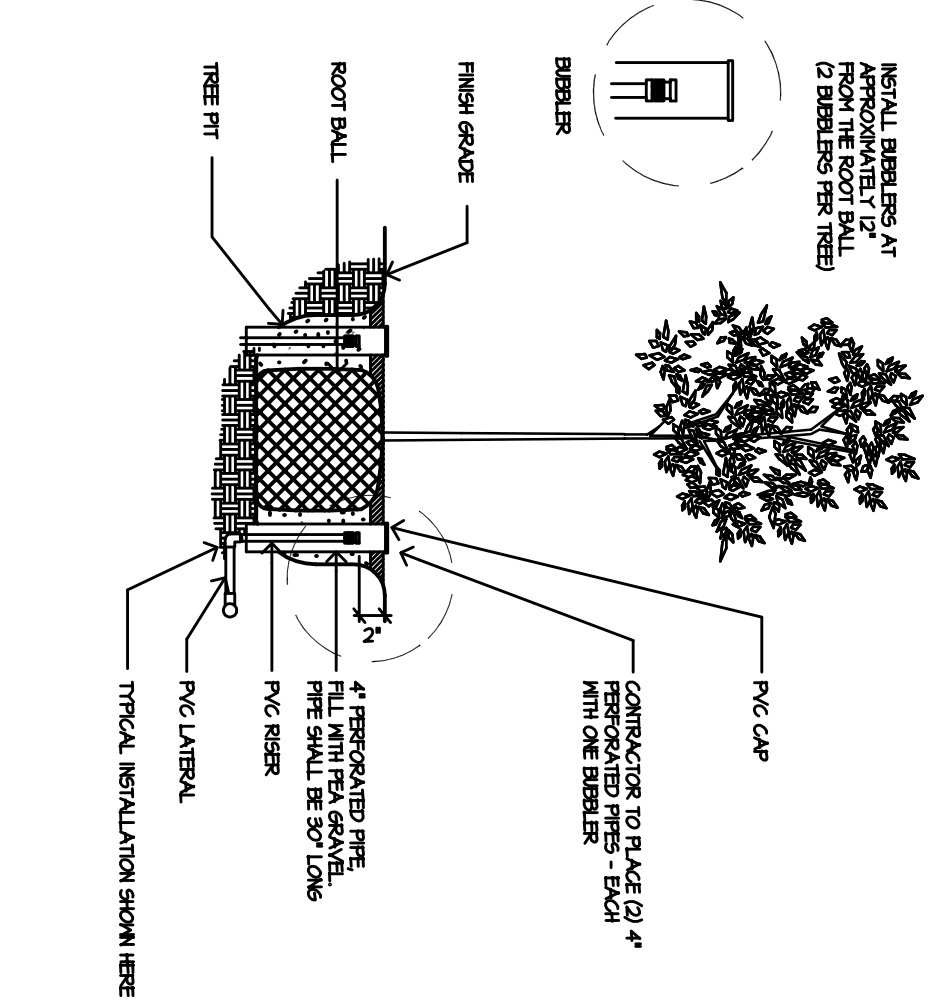


- NOTES:
1. PLACE 2\"/>
 - 2. GRADE & THE CONTROL WIRE AT 10\"/>
 - 3. FINISH GRADE TO BE 2\"/>
 - 4. INTERSECTING ALL PRESSURE LINES & WELLS SHALL BE 3\"/>
 - 5. W/ 50% OF PIPE & SHALL BE 2\"/>
 - 6. THE DEPTH OF ALL TRENCHES SHALL BE 2\"/>
 - 7. THE DEPTH OF ALL NON-PRESSURE LATERAL LINES SHALL BE 2\"/>
 - 8. THE DEPTH OF ALL NON-PRESSURE LATERAL LINES SHALL BE 2\"/>

TRENCHING DETAIL

SCALE: N=1/8\"/>

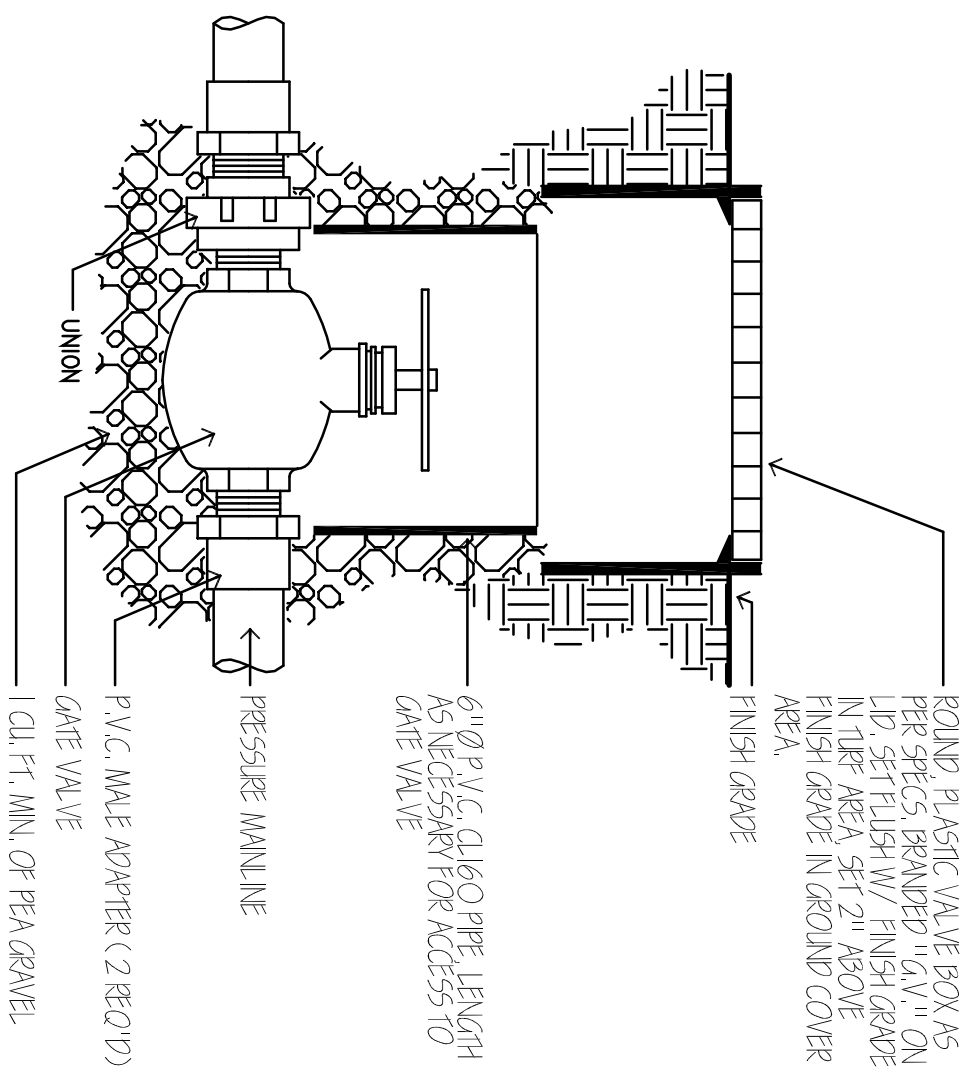
FILE: N=1000



TREE BUBBLER

SCALE: N=1/8\"/>

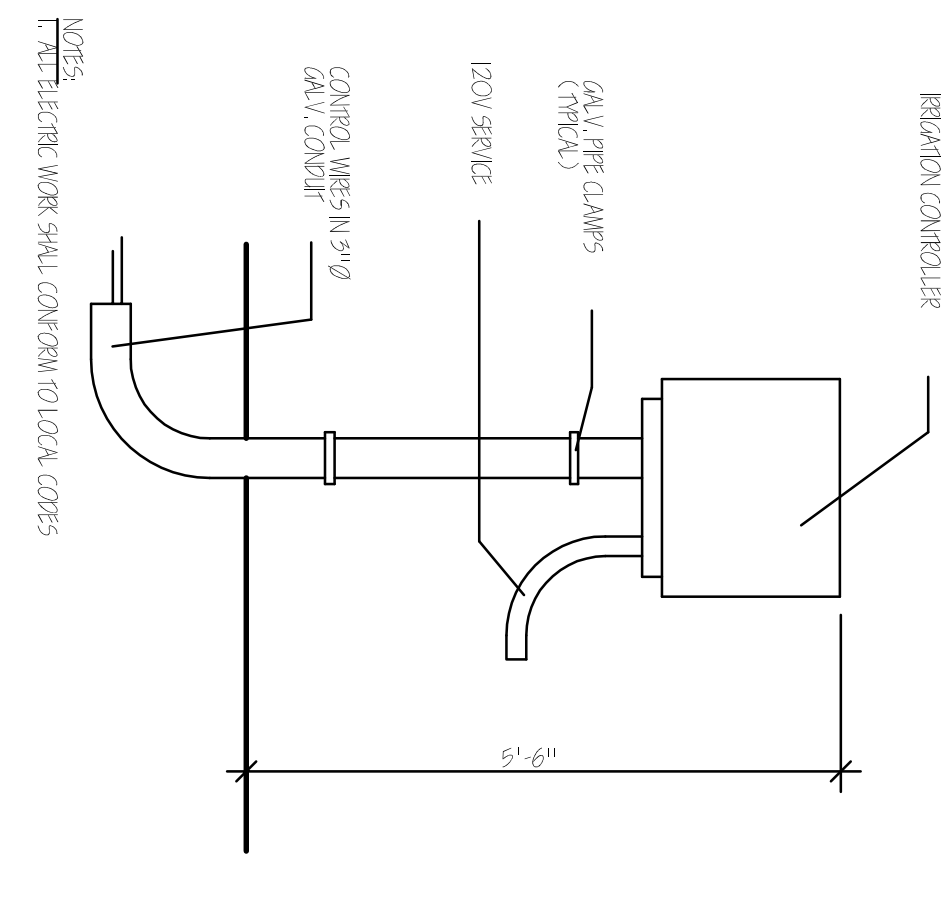
FILE: N=1000



GATE VALVE

SCALE: N=1/8\"/>

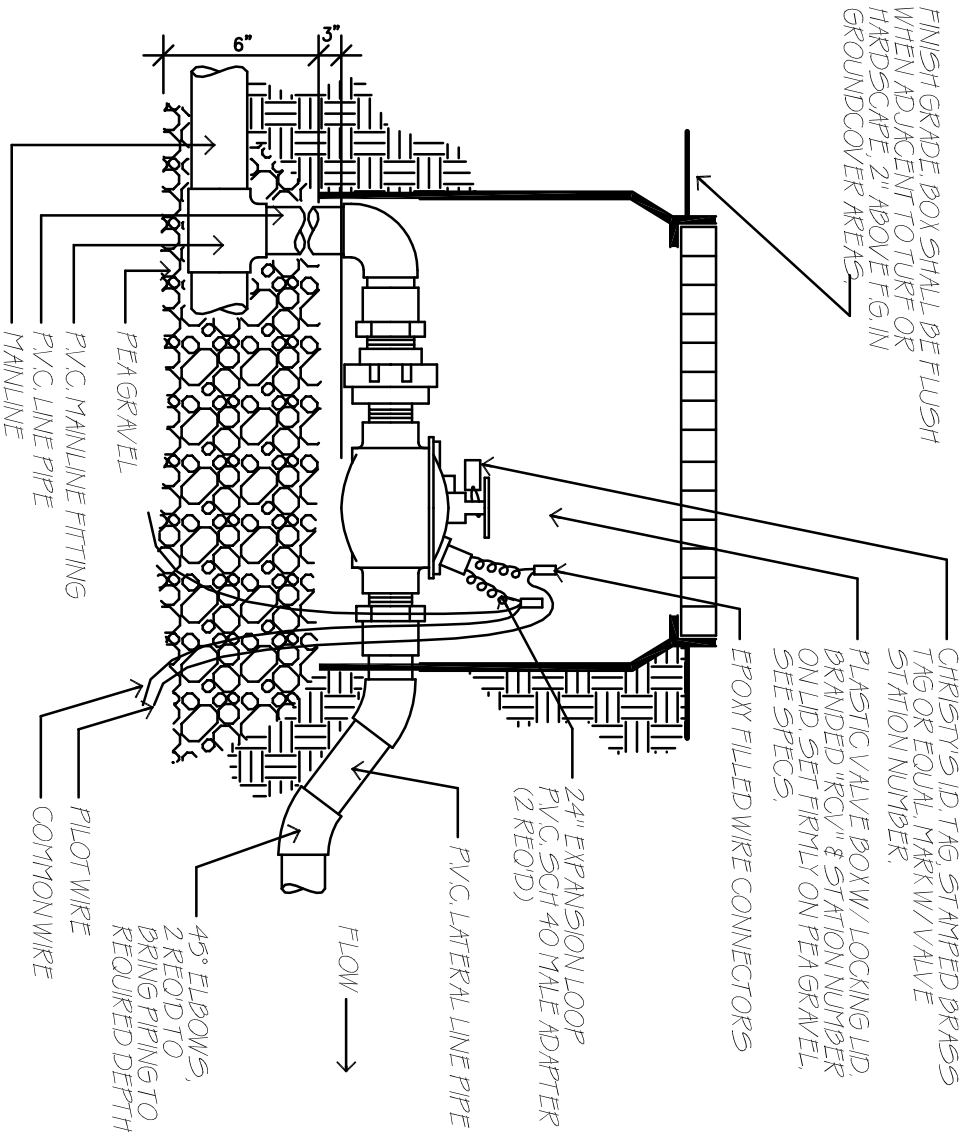
FILE: N=1000



WALL MOUNT CONTROLLER

SCALE: N=1/8\"/>

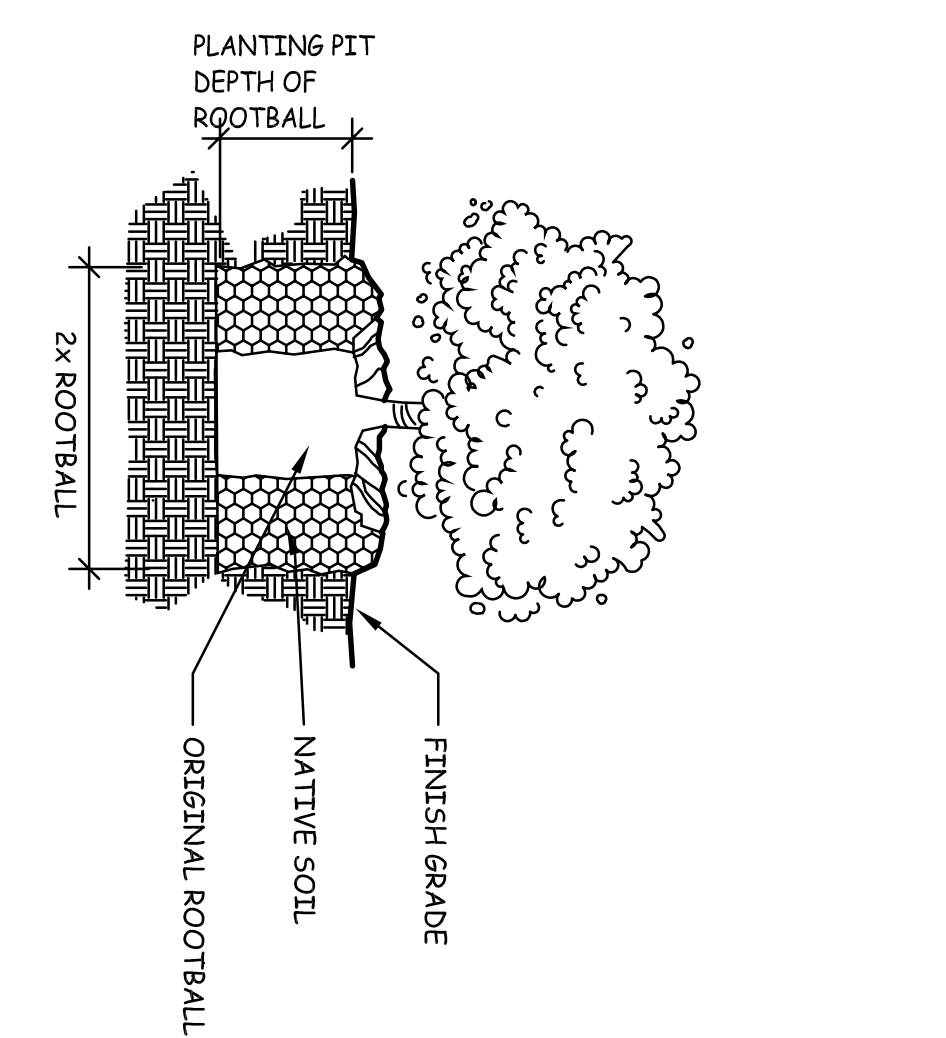
FILE: N=1000



CONTROL VALVE

SCALE: N=1/8\"/>

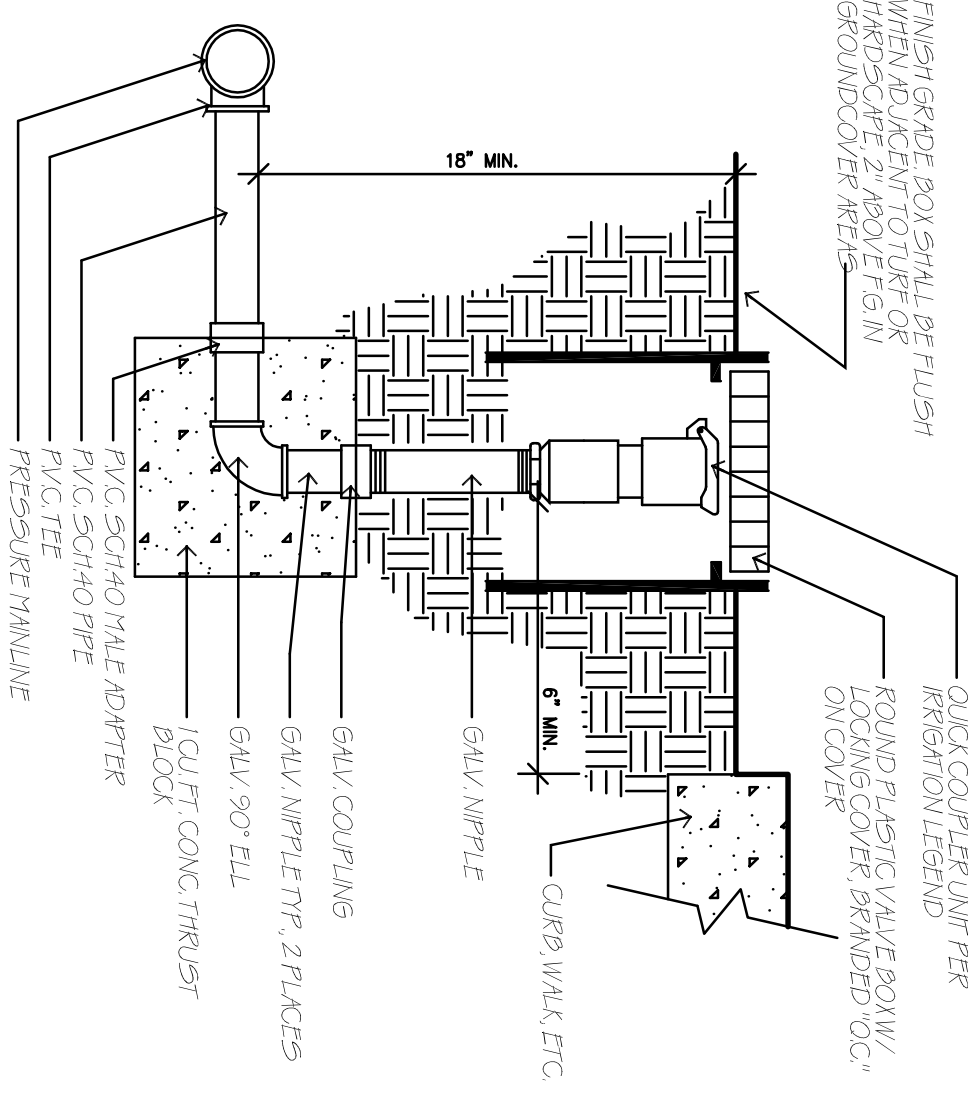
FILE: N=1000



SHRUB PLANTING

SCALE: N=1/8\"/>

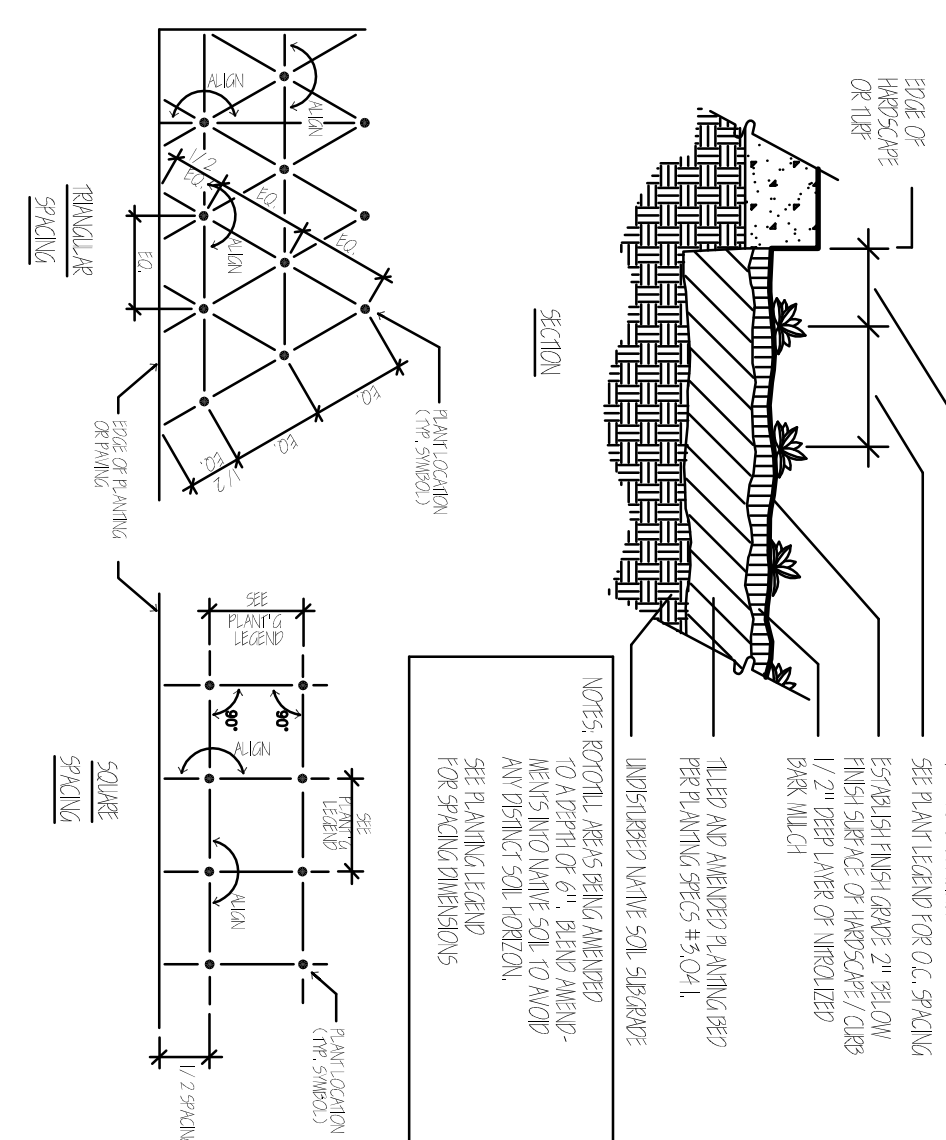
FILE: N=1000



QUICK COUPLER

SCALE: N=1/8\"/>

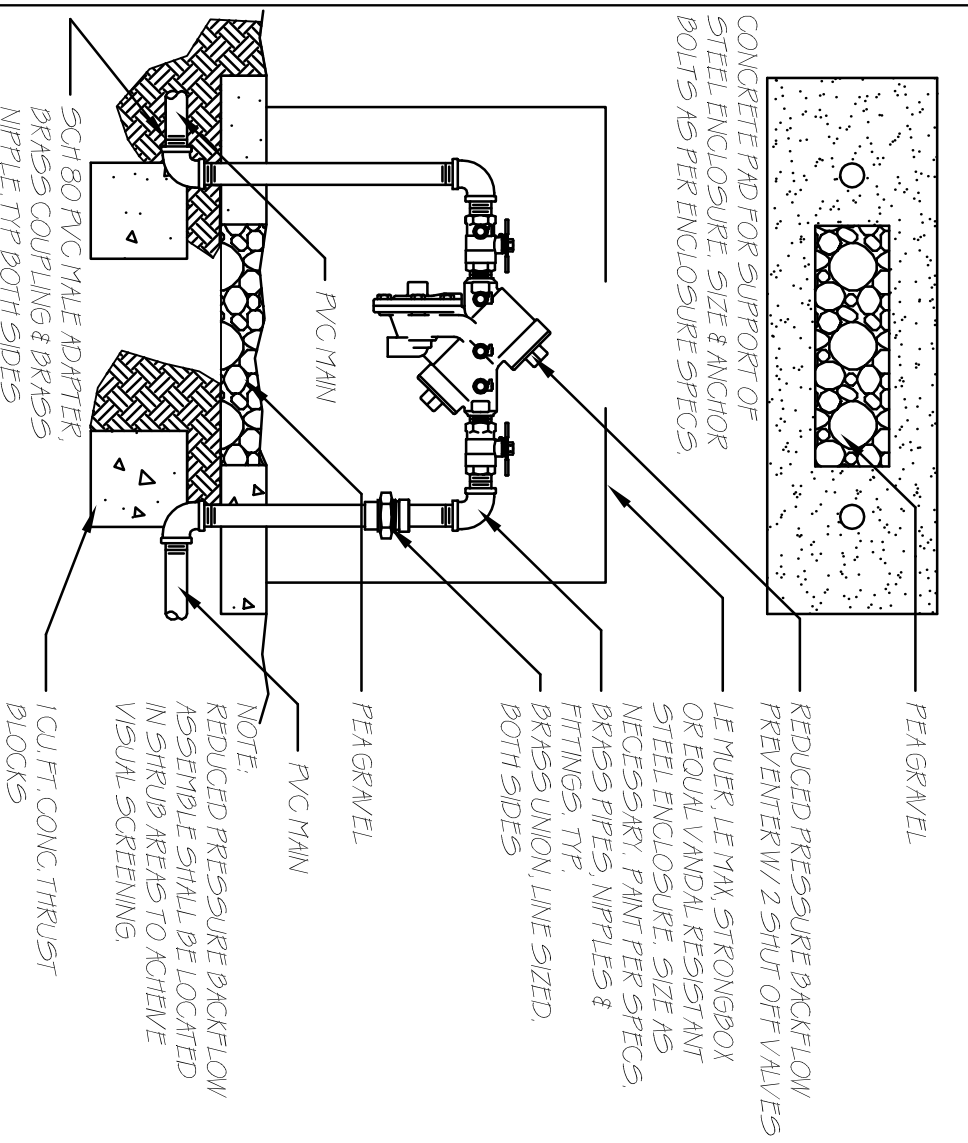
FILE: N=1000



GROUNDCOVER PLANTING

SCALE: N=1/8\"/>

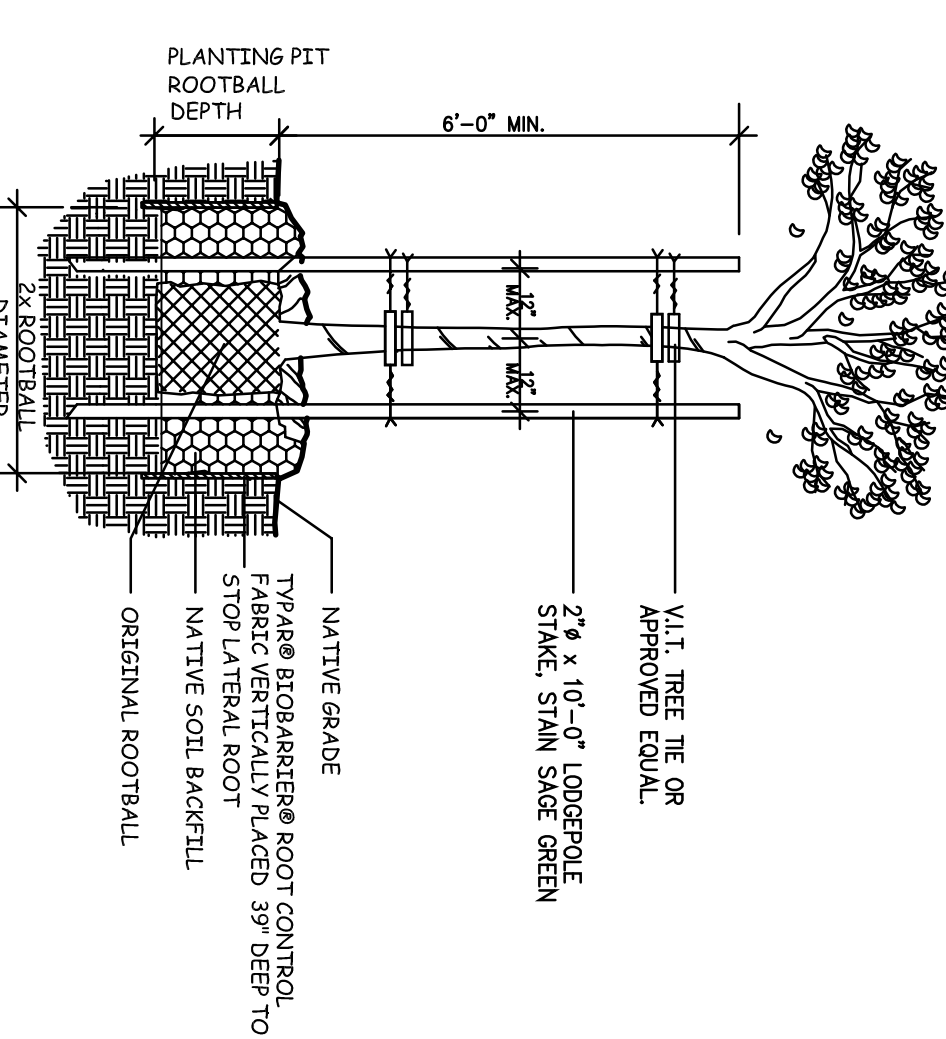
FILE: N=1000



BACKFLOW PREVENTER

SCALE: N=1/8\"/>

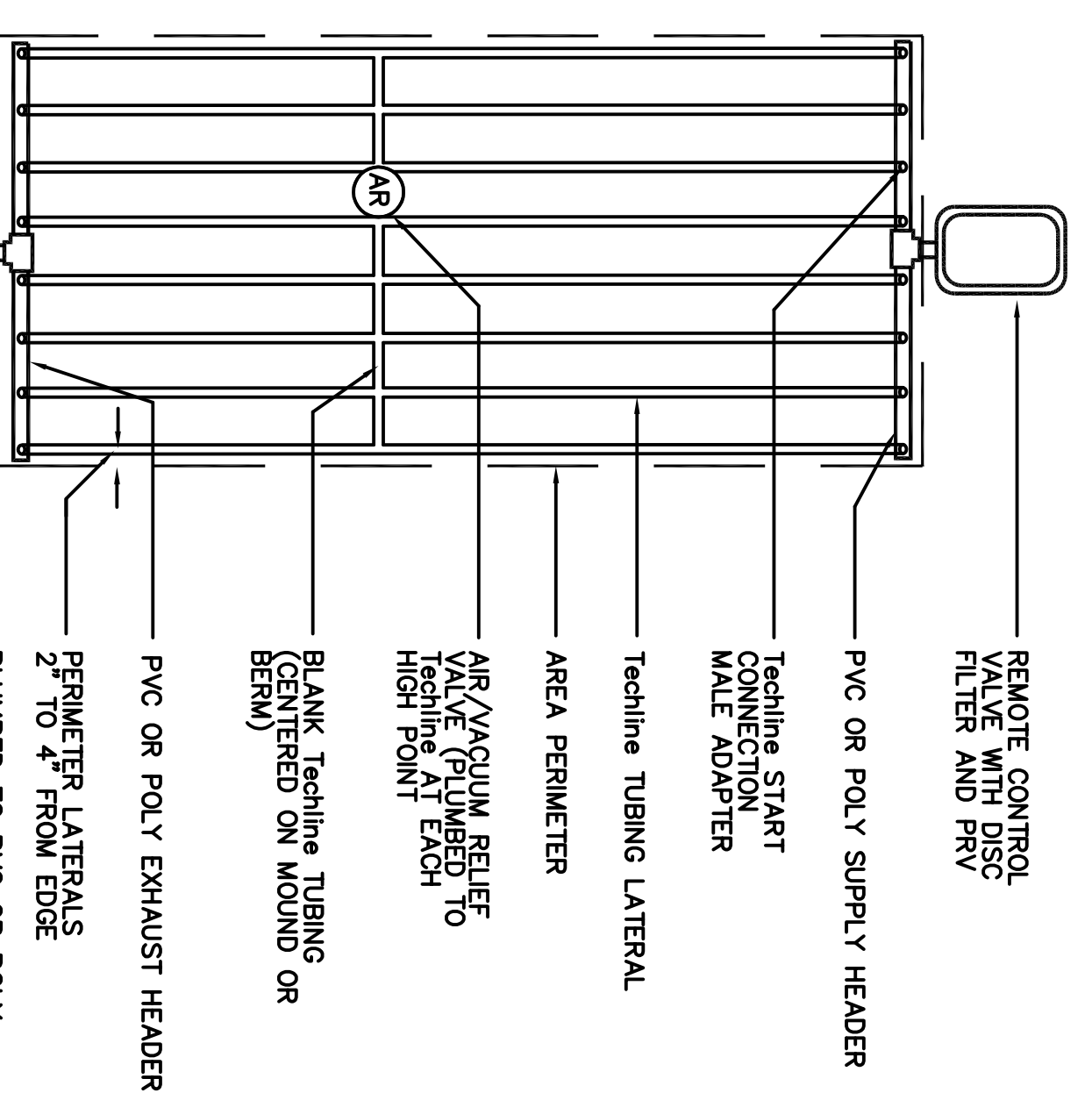
FILE: N=1000



TREE PLANTING & STAKING

SCALE: N=1/8\"/>

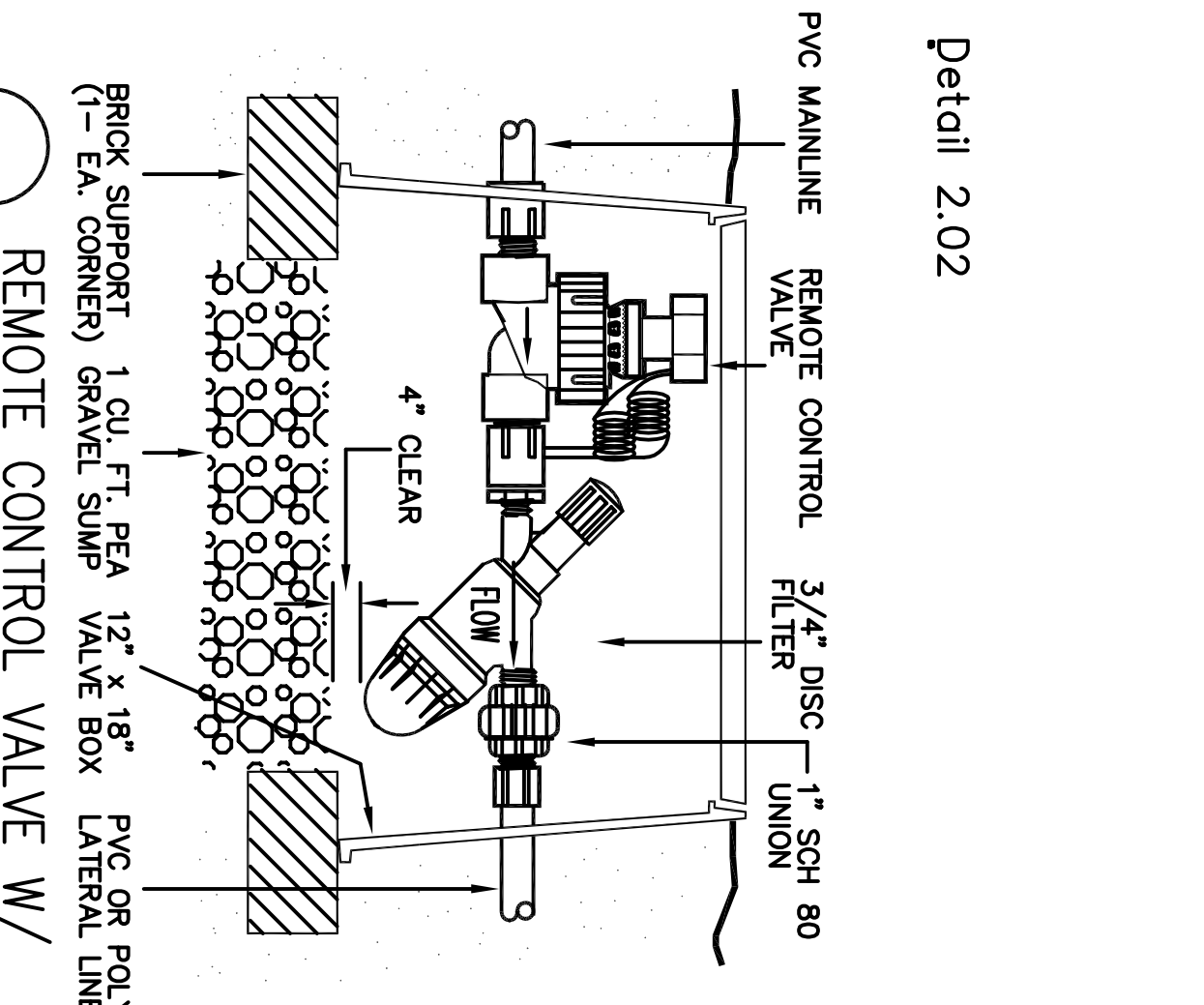
FILE: N=1000



Detail 1.01

SCALE: N=1/8\"/>

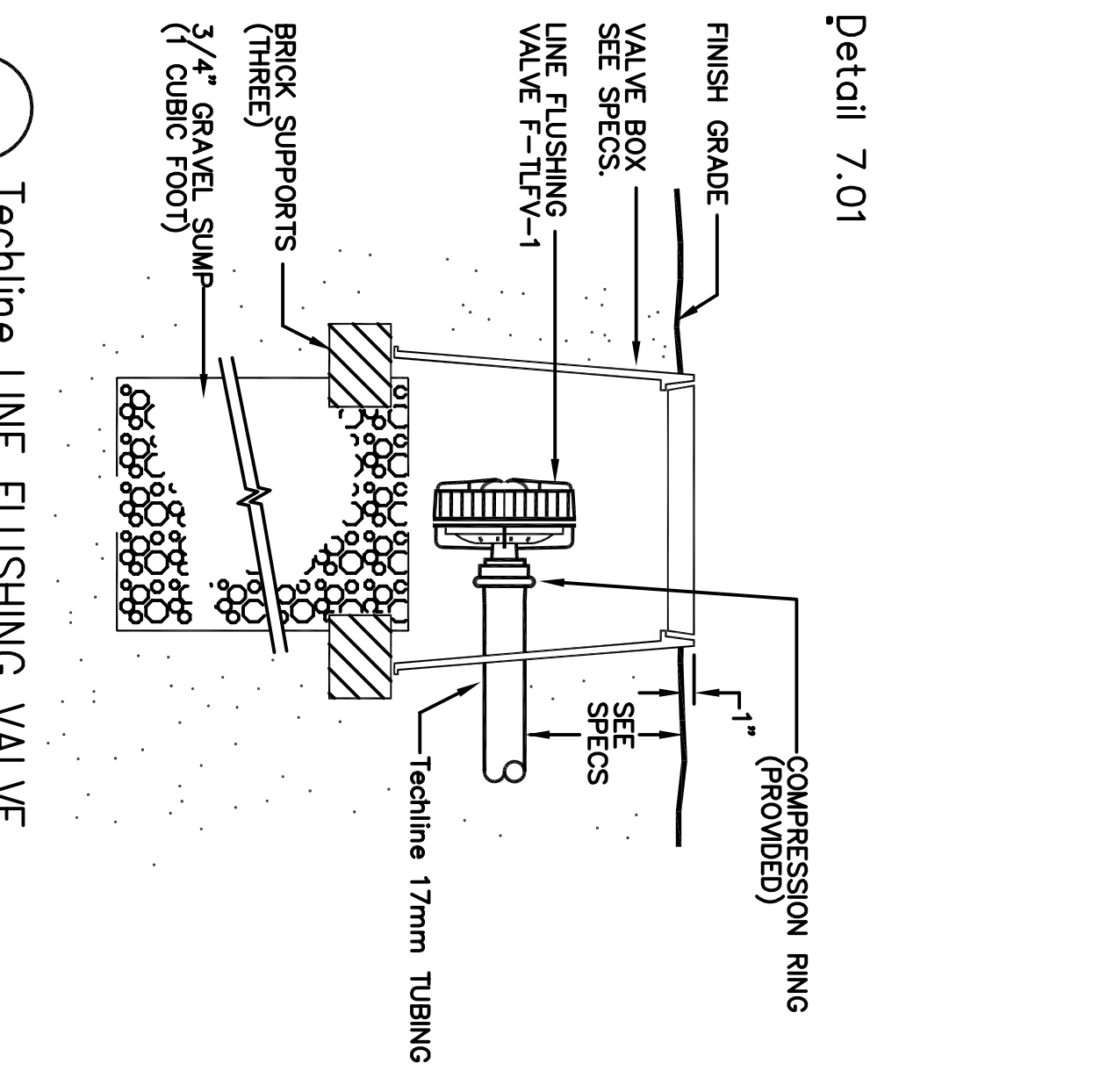
FILE: N=1000



Detail 2.02

SCALE: N=1/8\"/>

FILE: N=1000



Detail 7.01

SCALE: N=1/8\"/>

FILE: N=1000



Techline END FEED LAYOUT

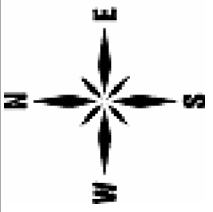
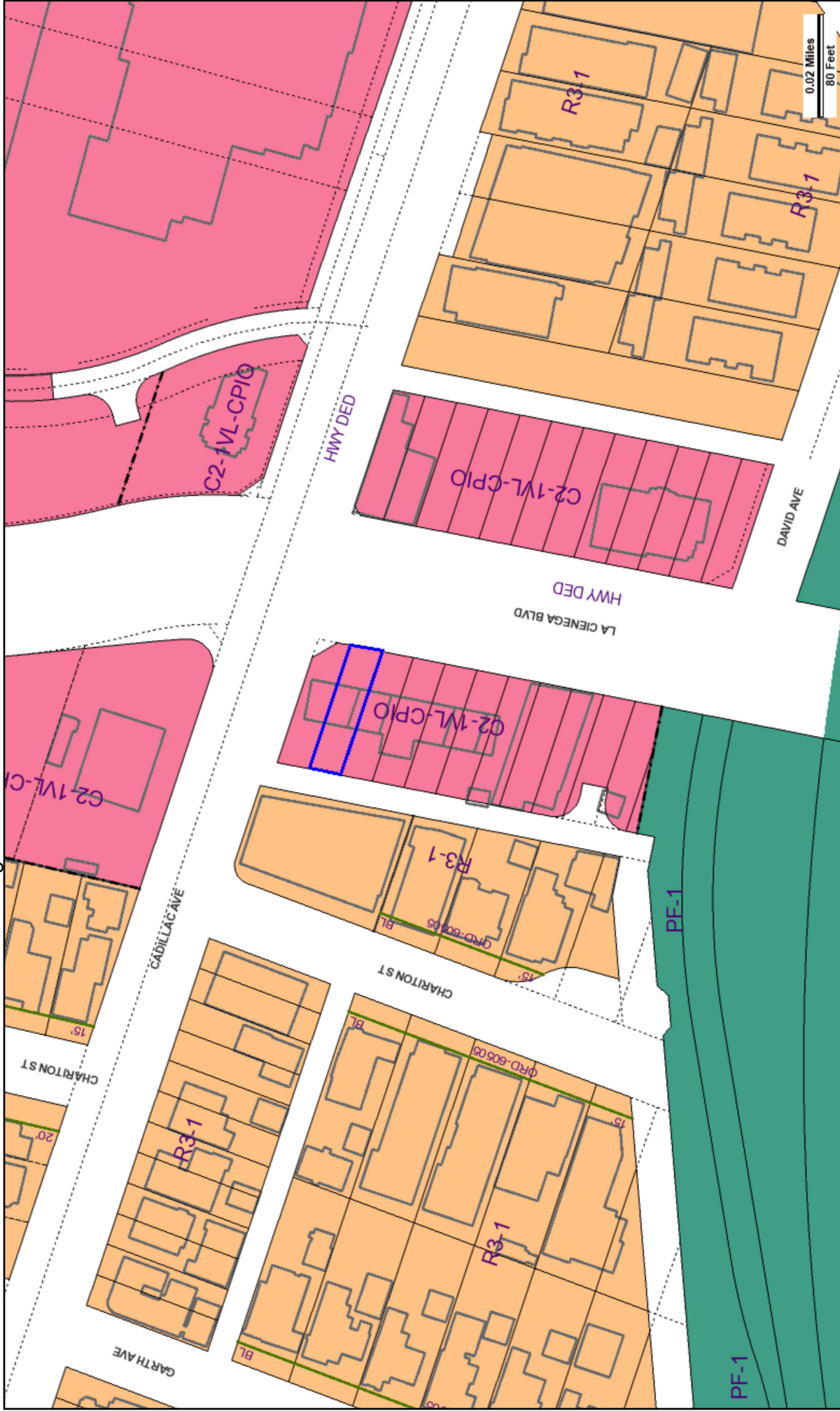
SCALE: N=1/8\"/>

FILE: N=1000

Architect
James R. Mangan
10000
1120 Little Rock way
Los Angeles CA 90023
1756 henny ave
los angeles california
90023
(310) 930-2036

NEW CARWASH WITHIN EXISTING GAS STATION
CONVENIENCE MARKET,
JOB AT: 2305 S. LA CIENEGA BLVD
LOS ANGELES CA 90034

1/19/2021











Zoning: C2-1VL-CPIO
 General Plan: Neighborhood Commercial

Tract: TR 6447
 Block: H
 Lot: 53
 Arb: None

Address: 2305 S LA CIENEGA BLVD
 APN: 4301027036
 PIN #: 126B173 979

LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL




-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




PARKING

-  Parking Buffer

PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES
















-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

















INDUSTRIAL

-  Limited Industrial
-  Light Industrial






CIRCULATION

STREET





































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway


























MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor





POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE



 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)





























 Tier 1	 Tier 3
 Tier 2	 Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells
 Building Outlines 2014	 Tract Map	
 Building Outlines 2008	 Parcel Map	