

### Motion to adopt proposed budget for FY 2020-2021

Agenda Item: GB061820 - 01

Date: June 18, 2020

Proposed By: Jon Liberman

Include motion in N

Consent Agenda?

#### Background

The neighborhood council needs to adopt a budget prior to July 1, 2020 for the upcoming fiscal year. Enclosed is a copy of the current years budget ,the proposed budget for the upcoming fiscal year and an accounting of the present years spending compared to the current year's budget.

#### Proposed Motion

The neighborhood council will adopt the budget for fy 2020-2021 as proposed...

Martin Epstein President

Ken Blaker Vice-President

Jon Liberman

(vacant) Secretary

Charlie Stein

#### Considerations

Committee review: (highly recommended) Votes For. n/a

Against n/a:

\$ n/a

Amount previously allocated in Committee's working budget:

(applies to funding motions only)

1. Budget as proposed can be

amended if the board decides to revise the budget...

Arguments for:

Arguments against:

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South Robertson Neighborhoods Council

soronc.org



\$ 2,800.00

# LY Busgot

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South Robertson Neighborhoods Council Preliminary Budget for Fiscal Year 2019-2020 Approved on :

Funds		
Total Annual Allocation		\$42,000.00
Carry Forward from FY 2018-2019		\$10,000.00
Total Funds as of July 1, 2019		\$52,000.00
Budget Code	Category	Total
	100 Operations	
AUD	Audio Visusi	5
100	Training B d Rebeat	\$ 1,000.00
FAC	Facilities Related	\$
MEE	Meeting Exp erree/ food	\$ 2,400 .00
MIS	Mac Expense	\$ 6,000.00
OFF	Office Equip/Supplies	\$ 1,000.00
P08	Postage	\$ 200.00
TAC	Temp Staff	\$
TAL	Translation/Transcription	S
	Sub Total	\$10,600.00
	200 Outreach	
EVE	Town Hail	\$ 750.00
ADV	Social Media	\$ 2,000.00
ADV	Website	\$ 5,000.00
ADV	JoForn	\$ 450.00
MIS	General Outreach	\$ 2,000.00
EVE	Speaker Series	\$ 3,000.00
EVE	CPR Training	\$ 4,000.00
MIS	Peace Picric	\$ 500.00
MIS	Homeres a Count Refreshment s	\$ 200.00
	Sub Total	\$17,900.00
	300 Community Improvement	
CIP	Community Improvement s	\$ 4,000.00
CIP	Hami Garden	\$ 500.00
CIP	Car Said Event	\$ 300.00
CIP	Safety Expo	\$ 400.00
CIP	NC Support- Congress/Bud . Adv .	\$ 1,500.00
	Sub Total	\$ 6,700.00
	400 Neighborhood Purpose Grant	
NPG	Fresh Fruit an Frid wy	\$ 2,000.00
NPG	Soro feet 2020	\$7,500.00
NPG	Movies in the Park	\$
	Computer Lab Shenendoeh ES NP(	\$4,500.00
	Sub Total	\$14,000.00
ELE	500 Elections	
	Sub Total	\$
	Grand Total	\$49,200.00

unallocated

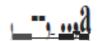
#### South Robertson NC

# -f'-.t...<u>pedJa</u>

#### Preliminary Budget for FY 2020-2021 approved a/o General <u>Meeting</u>

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				y 2.00,
Funds		\$	32,000.00	•
Rollover 201	9-2020	\$	10,000.00	
total		\$	42,000.00	
Cat 100	Training/Bd Retreat	s	750.00	cut \$250 from ly
	Meeting Exp/food	\$	2,400.00	same as ly
	Misc Exp	\$	4,500.00	cut \$1500 from ly
	Off Exp/supplies	\$		\$1000 prefunded fy 2019-2020 funds
	Postage	\$		\$200 prefunded fy 2019-2020 funds
	subtotal Cat 100	\$	7,650.00	
Cat 200				
	Town Hall	5	500.00	cut \$250 from ly
	Social Media	5	2,000.00	same as ly
	Website	5	6,000.00	up \$1000 from ly
	JotForm	5		\$450 prefunded by 2019-2020 funds
	General Outreach	s	2,000.00	same as ly
	CPR Training	5	2,000.00	cut from 2 sessions to one
	Peace Picnic	\$	500.00	same as ly
	Homeless Count	\$	200.00	same as ly
	subtotal Cat 200	\$ 1	13,200.00	
Cat 300	Community Improv	5	2,000.00	cut \$2000 from ly
	Hami Garden	5	500.00	same as ly
	Car Seat event	5	300.00	same as ly
	Safety Expo	5	400.00	same as ly
	NC support BA	\$	750.00	same as orig budget ly -adj up ly as no congress
	NC support Congress	\$	750.00	same as orig budget ly- adj downward ly as no congress
	subtotal Cat 300	\$	4,700.00	
Cat 400	Fresh Fruit Shenandoah	2		\$3800 prefunded by fy 2019-2020
	Sorofest 2021		10,000.00	up \$2500 from ly
	Movies in the Park		1,200.00	amt requested by Outreach
	subtotal Cat 400	\$	11,200.00	
Cat 500	Election Exp	\$	5,000.00	
	subtotal Cat 500	\$	5,000.00	
Total Cat 10	0-500	2	36,750.00	
		\$ 4	41,750.00	
Unallocated		s	250.00	
		-		







## 019-2020 FY Budget as of June is, 2020 , :

itial Amount a/o July 1, 2019	\$	42,000.00	
arry Fwd 18-19	\$	10,937.05	
otal amount July 1, 2019	\$	52,937.05	
ess amounts paid 7/1/19-6/3/20	\$	17,914.72	
ess amountd paid 6/4/20-Today	\$	6,529.98	note a
ess June 11 Spec Mtg Funding Motions App	proved:		
Prepay Public Storage	\$	3,240.00	
>) Prepay Vonage	\$	516.00	
:) Prepay USPS PO Box	\$	200.00	
I) Prepay Jotform	\$	450.00	
) encumber Office Supplies	\$	1,000.00	
) NPG Shenandoah Sch Computers	\$	5,000.00	
t) NPG Canfield Sch Beautification/mural	\$	3,400.00	
,) NPG Shenandoah Fresh Fruit	\$	3,800.00	
) Reimburse Mike Lynn	\$	29.98	note b
ubtotal (a)-(i)	\$	17,635.98	
urplus a/o 7/1/20 after deductions	\$	10,856.37	
iss rollover w/o need to justify	\$	10,000.00	
lus adj for Mike Lynn dupl req pymt	\$	29.98	
alance subject to transfer back to city	\$	886.35	

>tea: Office Reimb Mike Lynn (29.98)

Outreach: (BA \$1500+jfs/Sova \$1667+ LA Reg FB \$3333= \$6500)

>te b: Duplicate payment request already paid needs to be reversed



### Motion to affirm CM Huizar to resign

Agenda Item: GB061820-2

Date: June 18, 2020

Proposed By: Terrance Gomes
Include motion in If possible (NO)

Consent Agenda?

#### Background

The South Robertson Neighborhoods Council is gravely concerned that it has taken 2 years since the Los Angeles Neighborhood Council Coalition asked for Councilmember Jose Huizar to resign that the Los Angeles Times Editorial Board, Mayor Garcetti, Council President Martinez, and Controller Ron Galperin have asked him to step down. It is offensive that Mr. Huizar is allowed to collect a paycheck during these times, when Angelenos do not have jobs because of COVID-19 and the current riots, from the taxpayers while not having to attend committee or council meetings and represent the good people of Council District 14. Mr. Huizar, do the right thing for the people of Los Angeles and RESIGN.

https://www.latimes.com/california/story/2020-05-28/garcetti-l-a-city-councilpresident-martinez-huizar-resign

#### Martin Epstein

Ken Blaker

Jon Liberman

Vacant

Charile Stein Corresponding Secretary

#### Proposed Motion

- I. The SORONC takes a position to request that Councilmember Huizar resigns.
- II. The SORONC transmit a statement via email to Council President Martinez that SORONC supports her request for Councilmember Huizar to resign.
- III. The SORONC transmit a statement via email to Councilmember Huizar to resign.

#### South Robertson Neighborhoods Council

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#### Considerations

Committee review: Votes For: 0 Against: (highly recommended)

Amount previously allocated in Committee's working budget: \$
(applies to funding motions only)

Arguments for: Arguments against:

Residents need to hold our elected officials accountable

Could create a special election





Transmitted Statement: The South Robertson Neighborhoods Council is gravely concerned that it has taken 2 years since the Los Angeles Neighborhood Council Coalition asked for Councilmember Jose Huizar to resign that the Los Angeles Times Editorial Board, Mayor Garcetti, Council President Martinez, and Controller Ron Galperin have asked him to step down. It is offensive that Mr. Huizar is allowed to collect a paycheck during these times, when Angelenos do not have jobs because of COVID-19 and the current riots, from the taxpayers while not having to attend committee or council meetings and represent the good people of Council District 14. Mr. Huizar, do the right thing for the people of Los Angeles and RESIGN.





#### Martin Epstein

Ken Blaker

Jon Liberman

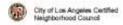
Vacant

Charlle Stein

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## Motion to adopt and submit Bylaws

updates

Proposed By:

Agenda Item: GB061820-3

By Laws Committee

Date: June 18, 2020

Include motion in NA Consent Agenda?

#### Background

The NC is currently non-compliant with its Bylaws due to coronavirus meeting rules, election cycle updates imposed by the city, and other changes in BONC policies. The draft changes correct the non-compliance along with other changes agreed to unanimously by the committee members.

#### Proposed Motion

The NC shall adopt the attached draft Bylaws changes and submit the draft to DONE.

#### Considerations

Committee review: (highly recommended) Votes For Against: 0

Amount previously allocated in Committee's working budget: (applies to funding motions only)

Arguments for: Arguments against:

Addresses current non-compliance issues Different mitigations of the current nonand improves NC transparency. compliance should be adapted.





Krystal Návar

Ken Blaker

Jon Liberman

Martin Epstein

Charile Stein Corresponding Secretar

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### **General Board Meeting Minutes**

Thursday, May 21, 2020, 8:00pm Via Zoom

- I. Call to Order & Roll Call -
  - SORO NC Board President Krystal Nåvar called the meeting to order at 8:05 p.m. Meeting held via Zoom
  - Board Members Present: Charlie Stein, Richard Bloom, Jared Weston, Linda Theung, Michael Lynn, Jon Liberman, Ken Blaker, Jessica Barclay-Strobel, Krystal Navar, Jason Van Over, Barry Levine, Martin Epstein, Gideon Pardo, Gloria Dioum, Adam Rich, Bianca Cockrell, Terrence Gomes, David Menkes, David Reiman, Paula Peng
  - Board Members Absent: Jonathan Brand, Gary Kasbarian, Susan Burden: Steve Chocron; Dan Fink
- II. General Public Comment & Board Announcements
- III. Community Partner Reports
  - a. Office of Councilmember Wesson (Carlin)
  - Department of Neighborhood Empowerment (Elbarbary)
- IV. Consent Agenda (6 minutes)
  - a. Draft meeting minutes of February 20, 2020 (Epstein / GB052120-1)
- V. Election of President (GB052120-2)
  - a. Krystal Navar resigns as President
  - b. Martin Epstein 11 votes
  - c. Jon Liberman 8 votes
  - Martin elected as new President of SORONC until General Election scheduled for May/June 2021
- VI. Possible Election of Secretary) (GB052120-3)
  - a. No candidates Motion Withdrawn
- VII. Election of Student Representative Board Member (School Seat 2) (GB052120-4)
  - a. Nominees Gideon Pardo and Sarah Nachimson
  - b. Gideon Pardo 12 votes
  - c. Sarah Nachimson 7 votes
  - Gideon is elected for one year term for School Seat 2
- VIII. Selection of two Budget Representatives for FY 2020-2021 (10 minutes) (GB052120-5)
  - a. Martin Epstein and Gloria Dioum
  - Yes 18; No 1; Abstentions 0
- IX. Committee Reports
  - a. Changes to Board committee membership
    - Gideon requests to be added to Education
  - b. President's Report
  - c. Treasurer's report
    - January 2020 Monthly Expenditure Report (MER) (Liberman / GB052120-6)
      - Moved by Jon Liberman
      - Seconded by Barry Levine
      - Yes 19; No 0; Abstentions 0
    - February 2020 Monthly Expenditure Report (MER) (Liberman / GB052120-7)
      - Moved by Krystal Navar
      - · Seconded by Michael Lynn
      - Yes 19; No 0; Abstentions 0





- March 2020 Monthly Expenditure Report (MER) (Liberman / GB052120-8)
  - Moved by Martin Epstein
  - · Seconded by Jared Weston
  - Yes 19; No 0; Abstentions 0
- April 2020 Monthly Expenditure Report (MER) (Liberman / GB052120-9)
  - Moved by Michael Lynn
  - · Seconded by Terrence Gomes
  - Yes 19; No 0; Abstentions 0
- d. Committee and liaison reports, events, and legislative issues
  - i. CD10 Candidate Forum Recap Jessica Barclay-Strobel
  - ii. Soro Festival 2020 Update Martin Epstein
  - iii. WRAC Jason Van Over
  - iv. LANC + DWP + Public Works Terrence Gomes
  - Homelessness David Reiman, Terrence Gomes, + Gloria
     Dioum
  - vi. Purposeful Aging Jon Liberman

#### X. New Business

- Motion to fund up to \$1667 to Sova Food Pantry to aid in feeding those who need assistance (Liberman / GB052120-10)
   Motion Withdrawn
  - Motion to fund up to \$1667 to St. Mary Magdalen Catholic Church to aid in feeding those who need assistance (Liberman / GB052120-11)
  - . Motion Withdrawn
- Motion to fund up to \$1667 to St Mark Coptic Orthodox Church to aid in feeding those who need assistance (Liberman / GB052120-12)
  - i. Motion Withdrawn
- Motion to fund \$1500 for Budget Advocates (Liberman / GB052120-13)
  Motion tabled
- Motion to send letters to LA Mayor, LA City Council, LA County Department of Health and California Governor to remove work/business prohibition orders. (Public Safety / GB052120-14)
- Motion to send letters to LA Mayor and LA City Council to oppose further Urbanization Development in Los Angeles due to COVID-19 Health and Safety concerns (Public Safety / GB052120-15)
  - Tabling of d-f
- g. Krystal and Mike moved to extend meeting until 10:15
- SORO NC to support CIS for CF20-0491 (SB052120-1)
  - Motion Withdrawn

#### XI. Adjournment

a. The meeting was adjourned at10:05p.m.





### Vote Tally

1: moved | 2: seconded | Y: yes | N: no | A: abstain | R: recuse | X: missed vote | E: ineligible to vote | C: passed by general consent

Votes Taken	01	02	03	04	05	06	07	08
Charlie Stein	J	s	Y	Y	Y	Y	Y	N
Richard Bloom	M	9	Y	Y	Y	Y	Y	Y
Jonathan Brand	×	×	x	x	×	×	x	x
Jared Weston	M	G	Y	Y	Y	Y	Y	Y
Linda Theung	M	G	Y	Y	Y	Y	Y	N
Michael Lynn	J	G	Y:	Y	Y	Y	Y:	Y
Jon Liberman	J	G	Y	Y	Y	Y	Y	Υ
Gioria Dioum	M	G	Y	Y	Y	Y	Y	Y
Adam Rich	J	s	Y	Y	Y	Y	Y	N
Blanca Cockrell	M	G	Y	Y	Y	Y	Y	N
Ken Blaker	ા	s	Y	Y	Y.	Y	Y	Y
Jessica Barciay- Strobei	м	s	Y.	Y	Y	Y	Y.	Y
Krystal Návar	J	9	Y	Y	Y	Y	Y	Y
Jason Van Over	M	G	Y	Υ	Y	Y	Y	Y
Gary Kasbarian	x	x	х	x	×	×	x	x
David Menkes	M	s	Y	Y	Y	Y	Y	Y
Barry Levine	ા	s	Y	Y	Y	Y	Y	N
Terrence Gomes	a l	G	N	Y	Y	Y	Y	Y
Susan Burden	×	х	х	x	×	х	х	x
Martin Epstein	M	s	Y	Y	Y	Y	Y	Y
Paula Peng	M	9	Υ	Y	Y	Y	Υ	Y
Dan Fink	х	х	х	x	x	х	х	x
David Reiman	M	G	Y	Y	Y	Y	Y	N
Steve Chocron	х	х	х	x	х	х	х	х
Gideon Pardo	NA	NA	IE	IE	IE	Æ	IE	ΙE

#### Votes taken

- Votes taken

  1. Election of Council President M: Martin & J: Jon (GB052120-2)

  2. Election of School Seat 2 G: Gideon & S: Sarah (GB052120-4)

  3. Budget Representatives Approval (GB052120-5)

  4. January 2020 Treasurer's Report (GB052120-6)

  5. February 2020 Treasurer's Report (GB052120-7)

  6. March 2020 Treasurer's Report (GB052120-8)

  7. April 2020 Treasurer's Report (GB052120-9)

  8. Tabling of Motion d-f of New Business (GB052120-13, GB052120-14, GB052120-15)





Krystal Návar

Ken Blaker Vice-President

Jon Liberman

Martin Epstein

Charile Stein Corresponding Secretary

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### **Special Council Meeting Minutes**

Wednesday, June 3, 2020, 7:00pm Via Zoom

#### I. Call to Order & Roll Call

- SORONC Board President Martin Epstein called the meeting to order at 7:15 p.m. Meeting held via Zoom
- Board Members Present: Charlie Stein, Linda Theung, Michael Lynn, Jon Liberman, Ken Blaker, Jessica Barclay-Strobel, Krystal Navar, Jason Van Over, Barry Levine, Martin Epstein, Gideon Pardo, Gloria Dioum, Terrence Gomes
- Board Members Absent: Jonathan Brand, Gary Kasbarian, Susan Burden; Steve Chocron; Dan Fink; Richard Bloom, Jared Weston, Adam Rich, Bianca Cockrell, David Menkes, David Reiman, Paula Peng

#### II. General Public Comment & Board Announcements

#### III. Unfinished Business

- Motion to fund \$1500 for Budget Advocates (Liberman / GB052120-13)
  - i. Moved by Jon Liberman
  - Seconded by Terrence Gomes
  - iii. Yes 12; No 0; Abstentions 0
- Motion to send letters to LA Mayor and LA City Council to oppose further Urbanization Development in Los Angeles due to COVID-19 Health and Safety concerns (Public Safety / GB052120-15)
  - Motion to Send Back to Committee
    - Moved by Charlie Stein
    - Seconded by Terrence Gomes
    - Yes 3; No 10; Abstentions 0
    - Motion does not pass
  - The Question is called by Jessica Barclay-Strobel
    - Yes 10; No 3; Abstentions 0
    - The question is Called
  - iii. Moved by Michael Lynn
    - Seconded by Terry Gomes
    - Yes 3; No 10; Abstentions 0
    - Motion Does Not Pass

#### V. New Business

- Motion to support CIS for CF20-0491 (Gomes GB060320-1)
  - Moved by Terrence Gomes
  - Seconded by Michael Lynn
  - Terrence Gomes Amended Motion to remove all language in background prior to "The South Robertson Neighborhoods Council recommends..." and remove II of the motion
    - Seconded by Jon Liberman
    - Amendment Vote: Yes 11; No 1; Abstentions 1
    - Motion Vote: Yes 8; No 5; Abstentions 0
- Motion to fund up to \$1667 to Sova Food Pantry to aid in feeding those who need assistance (Executive / GB060320-2)
  - Moved by Jon Liberman
  - Seconded by Krystal Navar
  - iii. Yes 11; No 1; Abstentions 0
  - iv. Motion Passes
- Motion to fund up to \$3,333 for Los Angeles Regional Food Bank (Barclay-Strobel / GB060320-3)
  - i. Moved by Linda Theung
  - ii. Seconded by Jon Liberman





- iii. Yes 12; No 0; Abstentions 0
- iv. Motion Passes
- Motion to send letter expressing concern about Mayor's Budget (BarclayStrobel / GB060320-4)
  - i. Moved by Jon Liberman
  - ii. Seconded by Linda Theung
  - iii. Yes 8; No 5; Abstentions 0
  - iv. Motion Passes
- Motion to Reimburse Board Member Michael Lynn, \$29.98 for NC Expenses (Lynn / GB060320-5)
  - Questions arose as to whether vote could take place due to Michael's Lynn's recusal thereby causing loss of quorum
    - · Pursuant to Bylaws, vote took place
  - ii. Moved by Jessica Barclay-Strobel
  - iii. Seconded by Jon Lberman
  - iv. Yes: 10; No 0; Abstentions -1

#### V. Adjournment

a. The meeting was adjourned at 8:57 p.m.





### Vote Tally

1: moved  $\mid$  2: seconded  $\mid$  Y: yes  $\mid$  N: no  $\mid$  A: abstain  $\mid$  R: recuse  $\mid$  X: missed vote IE: ineligible to vote  $\mid$  C: passed by general consent

Votes Taken	01	02	03	04	05	06	07	08	09	10
Charlle Stein	Y	N	Y	N	Y	Y	Y	Y	N	Y
Richard Bloom	x	x	x	x	x	x	x	x	x	x
Jonathan Brand	x	x	x	x	x	x	x	x	x	x
Jared Weston	x	x	x	x	x	x	x	x	x	x
Linda Theung	Y	N	Y	N	Y	N	Y	Y	Y	Y
Michael Lynn	Y	Y	N	Y	Y	Y	Y	Y	N	R
Jon Liberman	Υ	N	Y	N	A	N	Y	Υ	Y	Y
Gioria Dioum	Y	N	Y	N	Y	Y	Y	Y	Y	Υ
Adam Rich	x	х	x	X	X	x	x	x	X	x
Blanca Cockrell	х	х	x	x	x	х	x	х	x	x
Ken Blaker	Y	Υ	N	N	Y	Y	Y	Y	N	Y
Jessica Barciay- Strobel	Y	N	Y	N	N	N	Y	Y	Y	Y
Krystal Návar	Y	N	Y	N	Y	Y	Y	Y	Y	Υ
Jason Van Over	Y	Υ	Υ	N	Y	N	Y	Y	Y	Υ
Gary Kasbarian	х	х	x	x	x	х	x	х	x	x
David Menkes	x	х	x	x	x	x	x	x	x	x
Barry Levine	Y	N	Y	N	Y	N	Y	Y	Y	Y
Terrence Gomes	Υ	Υ	N	Y	Υ	Υ	N	Υ	N	A
Susan Burden	x	х	x	x	x	x	x	x	x	x
Martin Epstein	Υ	Υ	Y	Y	Y	Υ	Y	Y	N	Υ
Paula Peng	x	х	x	x	x	x	x	x	X	x
Dan Fink	х	х	x	x	x	х	X	х	x	x
David Reiman	х	х	x	x	x	х	x	х	x	х
Steve Chocron	х	х	x	x	x	х	X	х	x	x
Gideon Pardo	ΙE	N	Y	N	Y	Y	IE	ΙE	Y	IE

#### Votes taken

- 1. Budget Advocates (GB052120-13)
- 2. Urbanization Development Letters Sending Back to Committee
- Urbanization Development Letters Calling of Question
   Urbanization Development Letters (GB052120-15)
   CIS for CF20-0491 Amendment

- CIS for CF20-0491 As Amended (GB060320-1)
   SOVA Food Pantry (GB060320-2)
- 8. LA Regional Food Bank (GB060320-3)
- Mayor's Budget Letter (GB060320-4)
   Michael Lynn Reimbursement (GB060320-5)
- Election of School Seat 2 G: Gideon & S: Sarah (GB052120-4)
   Budget Representatives Approval (GB052120-5)
- 13. January 2020 Treasurer's Report (GB052120-6)
- February 2020 Treasurer's Report (GB052120-7)
   March 2020 Treasurer's Report (GB052120-8)

- April 2020 Treasurer's Report(GB052120-9)
   Tabling of Motion d-f of New Business (GB052120-13, GB052120-14, GB052120-15)



Martin Epstein President

Ken Blaker

Jon Liberman

Vacant

Charile Stein Corresponding Secretary

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### Motion to Send Letters to Board of Police Commissioners and Others, Urging Adoption of "8 Can't Wait" Policies

Agenda Item: Van Over / GB061820 - 6

Date: June 18, 2020
Proposed By: Jason Van Over
Include motion in No preference

Consent Agenda?

#### Background

As a Los Angeles Neighborhood Council whose board demographics do not reflect the racial, gender, or religious diversity of our constituents, we have our own demons with which to contend. Likewise, as almost entirely white-presenting board members—try though we may, well-intentioned though we may be—we are incapable of drafting motions that fully reflect the values of our community.

What we have heard from Angelenos in recent weeks, both within our council borders and without, and indeed throughout California and the nation, is that Americans are being harassed, profiled, and even slaughtered by the very men and women we have chosen to protect them: the police.

None of this is new.

While some of us may have advocated for less violent tactics in the past, others have been complacent, busy, or struggled with what seemed like complicated or morally ambiguous nuance. Whatever path we have taken previously, be it advocacy or passivity, the result has been the murder of Americans at the hands of their government.

Although overt, government-sanctioned, physical harm to Americans of color is not the only—or perhaps even the largest—violence with which they have to contend, it is tangible, recordable, and its abolition is the very least we can expect from a civilized society.

But how?

While we may be unqualified to weigh in on the full societal impact of police brutality or unable to formulate comprehensive solutions to it ourselves, we are able to turn to advocates and scholars who have been the target of that brutality, listen to what they have experienced, and throw our voices behind their proposed solutions.

Some proposals reverberate powerfully through the news, the internet, social circles, garnering widespread support, such as the evidence-based guidelines in the "8 Can't Wait" program by the advocacy group Campaign ZERO.

Campaign ZERO is "a data-informed platform present(ing) comprehensive solutions to end police violence in America. It integrates community demands and policy recommendations from research organizations and President Obama's Task Force on 21st Century Policing."



Their "8 Can't Wait" program identifies eight common-sense policies which, when adopted, dramatically reduce the number of civilians shot at and killed by the police.

Of those, the City of Los Angeles has fully adopted five. The last three remain bafflingly unaddressed or exist with enormous loopholes, rendering the policies meaningless.

### Proposed Motion

Submit a letter to the Los Angeles Police Commission and others, insisting they adopt common-sense policies to reduce police violence against its citizens, namely:

- · A requirement that officers give verbal warning before shooting
- · A requirement that officers exhaust all alternatives before using physical force
- · A requirement that officers report when they point their firearm at a person

Additionally, the letter will stipulate that the Commission enforce these and all policies pertaining to the LAPD.

Considerations							
Committee review:	Votes For:	0	Against:				
Amount previously alloc (applies to funding motions only)		ee's work	king budget: \$				
Arguments for:		Arguments against:					
Current rules leave loopho police to attack their citize			requiring police to moderate avior limits their effectivenes				
Evidence indicates that adoption of these proposals will decrease police shootings and deaths at the hands of law enforcement.		Proposed varying e	d policies already exist to extents.				





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman

Charile Stein Corresponding Secretary

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

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soronc.org



### Motion to send a letter to Zoning Administrator re: Compliance and Changes to Conditions of Use

Agenda Item: GB061820 - 7
Date: June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

#### Background

A legally-binding Settlement Agreement to which the City of Los Angeles and the operator of the West Pico Drill Site, Pacific Coast Energy Company (PCEC), are parties, approved by City Council in 2001, requires the holding of Reviews of Conditions and Compliance every five years on a continuing basis. Under the terms of the Settlement Agreement, such Reviews should have been held in 2010-11 and 2015-16, but were not.

Multiple compliance problems have already been documented by cross-checking the West Pico Drill Site's Planning case files against the 2001 Settlement Agreement and public documents available online from LADBS and SCAQMD. For instance, from these public records, we know that five microturbine electric generators were installed in 2018-19 with no approval from the ZA despite the express prohibition of electric generation on site in ZA condition 49.

The Board has already requested an on-site comprehensive compliance inspection, but given the ongoing failure to comply, it is important to request changes to the conditions of use to ensure ongoing compliance of the site.

The hearing on compliance of the Site begins on July 9, 2020 at 9 a.m.

#### Proposed Motion

Send the attached letter to the Department of City Planning requesting the West Pico Drill Site at 9101 W Pico Blvd undergo specific changes to the Zoning Administrator's assigned conditions of use to ensure that ongoing compliance and regular inspections.

#### Considerations

Committee review: Votes For: 5 Against: 0 (highly recommended)

Arguments for: Arguments against:

Compliance inspections have not been performed as required.

A fair hearing is unlikely without a compliance inspection being performed and a report being made available to the Arguments against.

We should let the process play out between Planning and PCEC.



public prior to the hearing, which we have previously requested

Requesting specific changes to be made to ensure compliance will assist the community going forward Mr. Dylan Sittig
Department of City Planning
200 N. Spring Street
Los Angeles, CA 90012
dylan.sittig@lacity.org
19 June 2020

Re: ZA-1989-17683-PA2; ENV-2020-1328-EAF

Dear Mr. Sittig,

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the Review of Compliance for the West Pico Drill Site, located at 9101 & 9150 W. Pico Blvd, and to request specific changes to the Zoning Administrator ("ZA") assigned conditions of use that govern that Controlled Drill Site.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC resolved by a vote of 00 yes / 00 no / 00 abstain to send you this letter.

#### 1. Documented Evidence of Compliance Problems

As you are likely aware, multiple compliance problems have already been documented by reviewing the West Pico Drill Site's Planning Department case files with reference to the 2001 Settlement Agreement and other public documents.

From these public records, we know that the following issues existed:

- Failure to hold required Five Year Reviews. No reviews have been conducted since at least 2005-06 as they were not held 2010-11 or 2015-16.
- Installation of expressly prohibited microturbiness. Five 200 Kilowatt microturbine electric
  generators (1 Megawatt total) were installed in 2018-19 with no application to or approval from
  the ZA, despite the express prohibition of electric generation on site. The operator acknowledges
  in its current PA Application for this review that it installed one microturbine, but it erroneously
  claims that microturbines are not prohibited.<sup>1</sup>.
- Drilling of two new wells without ZA approvals. Two new oil wells, West Pico Well #58 (API # 03726615) and Well #59 (API # 03727133), were drilled in 2005-06 and 2010, respectively, without ZA Approval as required.<sup>2</sup>,..
- Re-drilling of at least one existing well without ZA approval. At least one existing oil well, HW Well #10 (API # 03721994) was re-drilled in 2004, without ZA Approval.<sup>3</sup>
- Operator claims that 12 new wells have been drilled at the site since 2003. Operator's affiliate
  stated that twelve new wells have been drilled from this location since 2003. While this appears
  to be an inaccurate statement, it may refer to the re-drilling of existing wells as well as the drilling
  of two new wells, which fails to reference that all 59 wells have appeared to be operational

1

<sup>&</sup>lt;sup>1</sup> See ZA Condition 49 of the 2000 determination in ZA-1989-17683-PAD and in ZA Condition 1 (applying LAMC 13.01.F.43) in the 1965 "mother case" ZA-1965-17683

<sup>&</sup>lt;sup>2</sup> LAMC 13.01.H and 13.01.I

<sup>3</sup> Ibid.

- All projects undertaken without ZA review are in violation of CEQA. Each of these projects, including at least one re-drilled well, two newly drilled wells, and the installation of five 200 Kilowatt microturbines required environmental clearance under CEQA, but the operator failed to obtain the necessary ZA approval and wrongly informed CalGEM that no CEQA documents were necessary.
- Repeated LAFD Notices of Violation for leaving spilled or leaked Petroleum on surfaces.. The
  LAFD resumed annual inspections of drill sites to monitor compliance in or about 2017. On
  multiple separate occasions, Fire Safety violations were found as set forth in the attached notices.
  Said violations were further problematic as they violated the conditions set forth in the prior
  action related to this drill site.<sup>4</sup>
- Odor Problems emanating from the drill site. Numerous neighbors in addition to Council
  Member Paul Koretz's own personal testimony have complained of petroleum odors around the
  drill site for past several years. At a committee meeting on October 15, 2019, Mr. Koretz said,
  "You can smell the oil. You can taste the oil."

### 2. Revised Conditions, ZA Findings, and ZA Orders to Monitor and Enforce Compliance, and to Protect the Environment, Public Health, and Public Safety

There is a clear and long history of non-compliance and nuisance at the West Pico Drill Site, which indicates the need for stronger enforcement mechanisms and stronger protections for the environment, public health, and public safety. We request that the ZA to adopt the following new and modified Conditions of Use, Findings, and Orders to protect public health, safety, and the environment, and ensure future compliance with City law at the West Pico Drill Site.

- Require Annual Compliance Inspections Led by Petroleum Administrator: Annual Compliance Inspection to be led by the Office of the Petroleum Administrator, an office that was revived in 2016 for this specific purpose, to ascertain compliance with City Code and ZA-assigned conditions, with copies of the inspection report to be delivered to the ZA and Council District 5 Office.
- Require Permanent 24/7 Emissions Monitoring: Installation and continuous operation of 24/7
  Emissions Monitoring using up-to-date equipment that records data and has a central alarm
  connection to an office that is staffed 24/7. The monitoring system equipment must be approved
  by the Office of the Petroleum Administrator, either by listing the system on a pre-approved list
  or by review of individual application. Emissions data shall be reported quarterly to the Office of
  the Petroleum Administrator and the ZA, and both offices shall promptly forward copies of the
  quarterly data to the Council District 5 Office.
- Require Recurring Five Year Reviews of Compliance and Conditions by the ZA, as Mandated by the City's 2001 Settlement Agreement: Amend Condition 78 of the 2000 ZA determination to include the terms of the Settlement Agreement that require recurring Five Year Reviews of Conditions.
- Finding & Order: Find that the 5 Microturbines Installed in 2018 were Illegally Installed and Order that they Either be Removed or Made the Subject of a Full Application for ZA Review

<sup>&</sup>lt;sup>4</sup> See Conditions 46, 47, 57, and 61 of the 2000 determination in ZA-1989-17683-PAD and Condition 1 of the 1965 "mother case" ZA-1965-17683

<sup>5</sup> o Transcript - https://lacity.granicus.com/TranscriptViewer.php?view\_id=46&clip\_id=19441

Within Six (6) Months. This review shall also be done under CEQA and failure to comply should result in prompt revocation proceedings under LAMC 12.27.1.

 Finding & Order: Find that Wells Drilled or Re-Drilled since 2003 were Drilled Without ZA Approval and Order that Within 6 Months All Such Wells Made the Subject of a Full Application for ZA Review. This review shall also be done under CEQA and failure to comply should result in prompt revocation proceedings under LAMC 12.27.1

#### 3) Concerns about Process and Thoroughness in this Review

In February 2020, SORO NC wrote to Chief Zoning Administrator Mailian requesting that the Petroleum Administrator be tasked to conduct a comprehensive compliance inspection and report the results before this Review of Compliance is sent forward to Public Hearing. SORO NC has not received a response, and it appears that no comprehensive compliance inspection is being completed.

We remain concerned that, without a comprehensive compliance inspection before the Public Hearing, the ZA and the public will be deprived of necessary and critical information and we remain concerned that any later report from the Petroleum Administrator to the ZA after the Public Hearing would impinge on the due process rights of all parties.

The evidence presented above demonstrates that in addition to non-compliance with specific mitigation measures imposed by ZA conditions, the operator of the site has conducted multiple major projects without ZA review and therefore without CEQA clearance.

A fresh and new and proper environmental review is needed in this case. The nature of the case (noncompliance and projects undertaken without application) necessitates a comprehensive compliance inspection as the predicate to define the scope of review under CEQA.

Please do not hesitate to contact me if you have any questions about this letter.

Sincerely,

Cc: Paul Koretz, Councilmember District 5
Aviv Kleinman, Office of Council Member Paul Koretz
Andy Shrader, Office of Council Member Paul Koretz
Edber Macedo, Office of Chief Zoning Administrator Estineh Mailian
Estineh Mailian, Chief Zoning Administrator





Martin Epstein

Ken Blaker Vice-President

Jon Liberman

Charlie Stein Corresponding Secretary

South Robertson Neighborhoods Council

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### Motion to Request Removal of Overnight Parking Restrictions on the Blocks of Holt and Sawyer that Surround La Cienega Plaza

Agenda Item: To Be Filled in by Exec Committee

Date: June 18, 2020

Proposed By: Public Safety Committee

Include motion in No preference

Consent Agenda?

#### Background

There are currently restriction for "no overnight parking between 11:00PM-5:00AM" on the blocks that run alongside La Cienega Plaza. They are:

- 1. North side of Sawyer, from La Cienega to Holt
- 2. and East side of 1800 Holt

The SORO NC had originally requested the restrictions back in 2009 to stop the prostitution and drug sales at night along the mall. Since, these crimes are no longer a problem in the area, there is no longer a need for these restrictions.

As the City allows granny flats and new units with reduced parking requirements, adding to an abundance of multi-family units in the neighborhood, the street parking in that area is limited and pushes people to park on streets north of 18th Street.

During COVID-19, restrictions were relaxed on that same area and it has greatly help with parking in the La Cienega Heights area and surrounding neighborhoods.

LDOT requires letters from CD-10 and LAPD requesting the permanent removal of existing restrictions.

#### Proposed Motion

 That the South Robertson Neighborhoods Council ask CD-10 and LAPD to write letters "in support of removing the restrictions due to crimes in the past no longer being an issue now" of the "no overnight parking between 11:00PM-5:00PM" restrictions on the North side of Sawyer, from La Cienega to Holt and East side of 1800 Holt.





#### Considerations

Committee review: Votes For: 8 Against: 0 (highly recommended)

Amount previously allocated in Committee's working budget: \$ N/A (applies to funding motions only)

Arguments for: Arguments against:

Increases parking spaces in the neighborhood. Gang crime and prostitution problems could reemerge.





Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

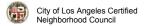
Charlie Stein
Corresponding Secretary

#### South Robertson Neighborhoods Council

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soronc.org



# Motion to support proposed 29-unit TOC apartment building at 3123 Livonia

Ave

Agenda Item: To be filled in by Exec Committee

**Date:** June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

#### **Background**

The project team presented this proposed 29-unit apartment building to the Land Use Committee at their March 05, 2020 meeting. The applicant's entitlement request is for a Tier 3 TOC (Transit Oriented Communities) apartment building. 3 units will be set aside as Extremely Low Income affordable units. The remaining 26 units will be market rate units. In addition to the base incentives of increased density, decreased parking, and increased Floor Area Ration (FAR), the project utilizes an additional onmenu TOC incentive to increase the building height by 11 feet from 45 feet to 56 feet.

(The TOC program, a result of Measure JJJ passed by voters in 2016, encourages developers to build more affordable housing and to locate said housing near transit by offering incentives, which the developer can select from a menu.)

The subject property, located at 3123 Livonia Ave, on the west side of Livonia Ave, north of National Blvd and south of Kincardine Ave. The neighborhood is comprised of mostly 2-3 story apartment buildings on R3-1 zoned lots.

The project site is 12,866.7 square feet. The proposed building is 5 stories and 31,046 square feet. 15 parking stalls are located in a semi-subterranean parking garage.

Many residents attended the March Land Use meeting to discuss the project. Primary comments expressed concern over displacement of current residents, the size, and the design of the project. Two committee members recused themselves from the discussion and vote, as they are residents of the existing building to be demolished.

### **Proposed Motion**

Submit a letter in support of the application to City Planning Department staff Helen Jadali (helen.jadali@lacity.org) to be included in case file for the TOC apartment building at 3123 Livonia Ave; DIR-2019-3727-TOC.

#### **Considerations**

**Committee review:** Votes For: 5 Against: 1 (highly recommended)

Arguments for: Arguments against:

The project utilizes the TOC Guidelines to An existing fourplex will be demolished. add 3 affordable units, as well as 26





market rate units, to the housing stock. (29 proposed units -4 existing units =25additional units)

The project is located an 11-min walk from The building will be taller than the Culver City / Expo Station.

neighboring buildings.

i Supporting Documents/Drawings: https://www.dropbox.com/sh/n1dnf8pricth5y4/AACSNQWdfUvRCF0BWi1NwsR2a?dl





Helen Jadali Department of City Planning 200 N. Spring Street Los Angeles, CA 90012

19 June 2020

Re: Case Number DIR-2019-3727-TOC

Dear Ms Jadali:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed TOC apartment building at 3123 Livonia Ave.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The addition of 29 units, 3 of which are designated Extremely Low Income affordable units, to a transit-rich area of Los Angeles is much needed.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary Martin Epstein
President, South Robertson Neighborhoods Council

Cc: Aviv Kleinman, Office of Council Member Paul Koretz Krystal Návar, SORO NC Land Use Committee Chair

#### South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

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soronc.org



### **Developer Guidelines**

Requested SORO NC Land Use Committee meeting date

Thursday, March 5, 2020

**Project information** 

Planning case number DIR-2019-3727-TOC

**Project address**3123 Livonia Ave
Los Angeles, 90035

**Contact information** 

Information for

Name Sassan Ohebsion

Address 9437 Santa Monica Blvd., Suite 208

Beverly Hills, Ca, 90210

Owner

**Phone number** (310) 286-0383

Email Sassan\_o@hotmail.com

Representative of the Applicant

Representative name Janet Nass

Address 1836 Parnell Ave., Suite 105

Los Angeles, Ca, 90025

**Phone number** (310-740-2030)

**Email** janetnassir@icloud.com

**Project background** 

1. Description of what is being requested of this Committee that is not "by right"

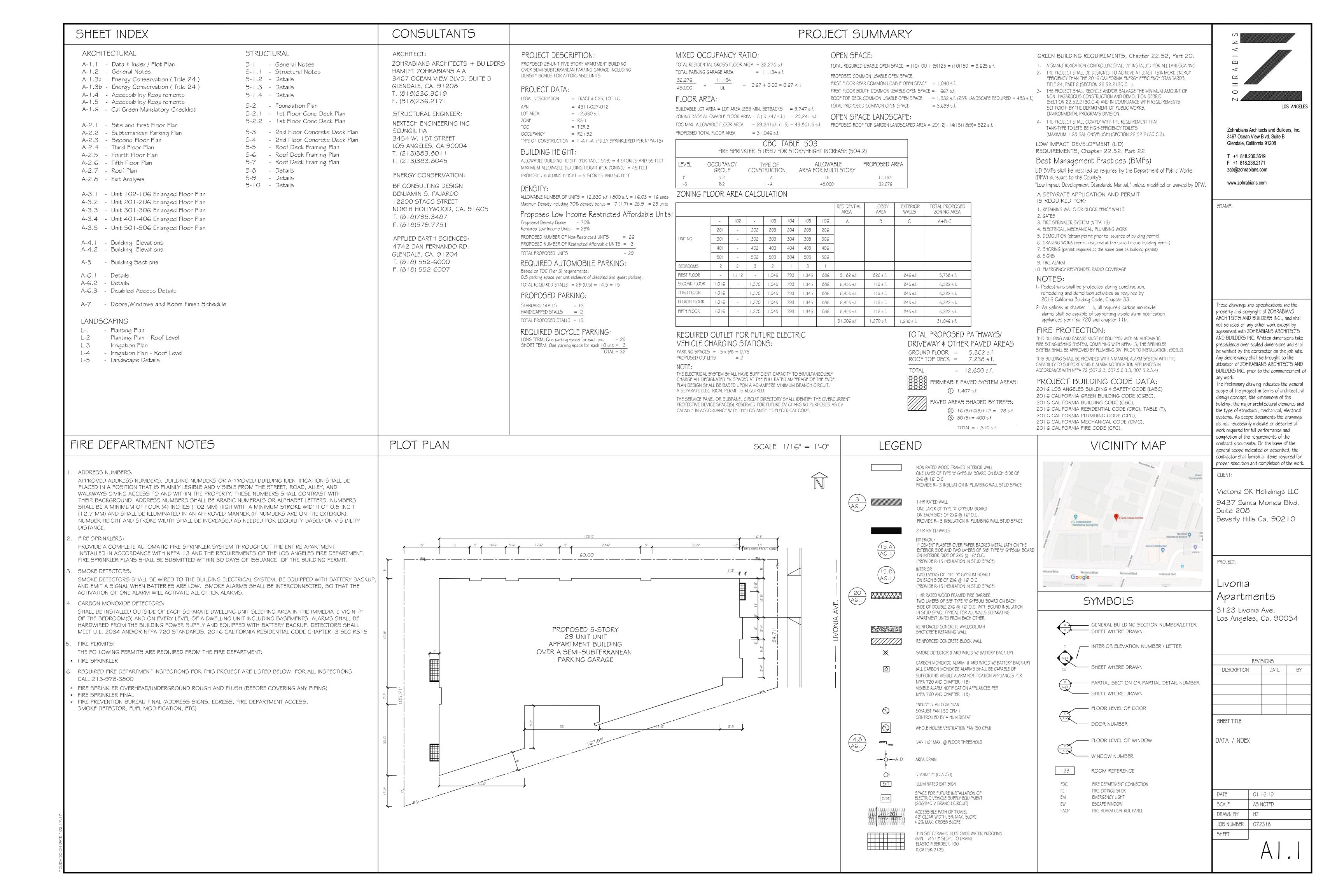
Increase Density by 70% Parking reduction from 43 required by LAMC to 38 Height Increase by 11' a. Size of property 12866.70 b. Size of proposed building(s) 31406.00 **Proposed project is** larger than allowable "by right" size c. "By right" allowable building 29241 size/area 900 d. Additional area requested insignificant e. Rationale for requesting the additional area 3. Proposed use of property Residential Apatment 4. Describe the community benefit new development will attract more investment in the from your proposed use of the surrounding area and ulitimately raises the value of surrounding properties property 5. Parking spaces a. Currently on property 8 b. Required by code 43 c. Breakdown of the actual spaces Standard spaces 15 21 **Compact spaces Handicap spaces** 1 6. Trash enclosure and loading dock a. Trash enclosure Yes b. Loading dock No 7. Have you provided any additional Additional Open Space as required by Planning amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community?

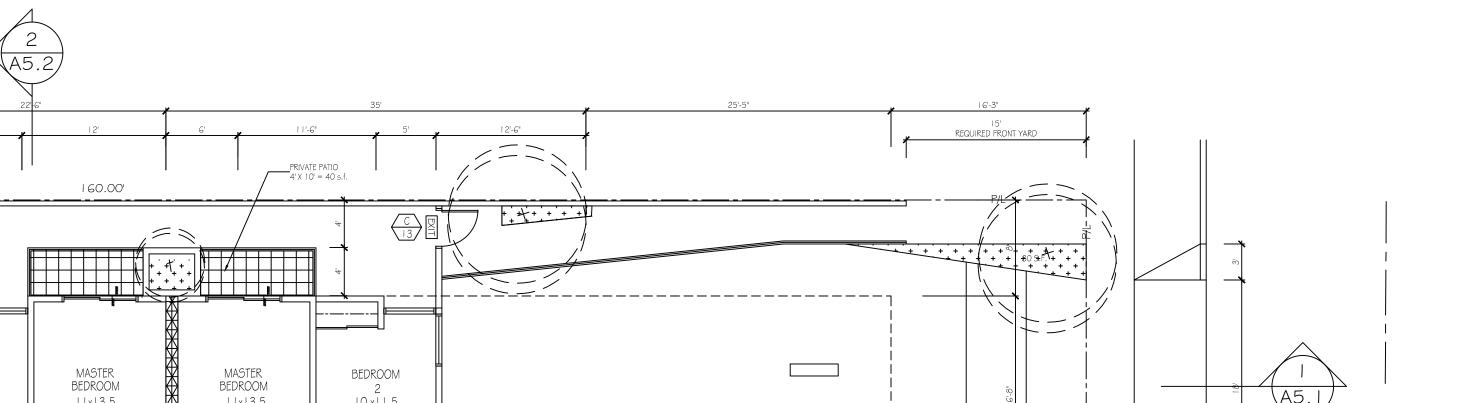
8. Outreach

2. Description of project

For discretionary approval, SORO requires, prior to this meeting, your notification of neighbors within a

500 foot radius of the project. this 500 foot radius.	You must also notify us of the results of sign-offs by neighbors within







LOS ANGELES

Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208

T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com

www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd. Suite 208

Beverly Hills Ca. 90210

PROJECT:

### Livonia Apartments

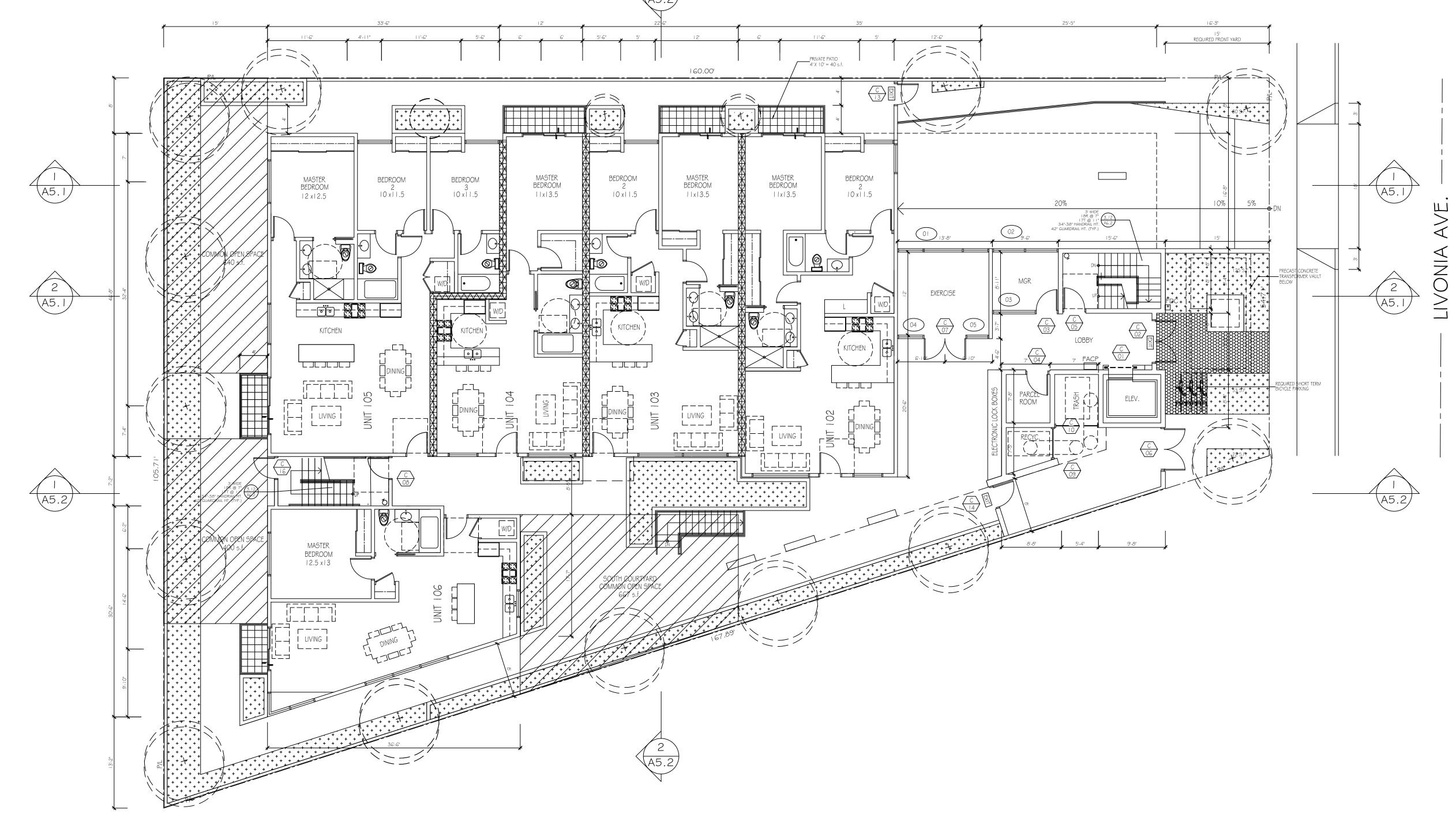
3123 Livonia Ave. Los Angeles, Ca. 90034

REVISIONS							
DESCRIPTION	DATE	BY					

SHEET TITLE:

SITE AND FIRST FLOOR PLAN

01.16.19 1/8' = 1'-0" DRAWN BY 072318 JOB NUMBER



### PROJECT DESCRIPTION:

PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

### PROJECT DATA:

LEGAL DESCRIPTION = TRACT # 625, LOT 16 = 4311-027-012 APN LOT AREA = 12,830 s.f. ZONE = R3-I TOC = TIER 3

= R2/S2TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA- I 3)

### BUILDING HEIGHT:

OCCUPANCY

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

### DENSITY:

ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units

Proposed Low Income Restricted Affordable Units: Proposed Density Bonus = 70%

REQUIRED AUTOMOBILE PARKING:

Required Low Income Units = 23% PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) TOTAL PROPOSED UNITS

Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

## PROPOSED PARKING:

STANDARD STALLS = 13 HANDICAPPED STALLS = 2 TOTAL PROPOSED STALLS = 15

### REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29 SHORT TERM: One parking space for each $\frac{10 \text{ unit} = 3}{\text{TOTAL} = 32}$

### REQUIRED OUTLET FOR FUTURE ELECTRIC

VEHICLE CHARGING STATIONS:

PARKING SPACES =  $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

### OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.

### PROPOSED COMMON USABLE OPEN SPACE:

FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f.

ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

## OPEN SPACE LANDSCAPE:

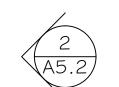
PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)= 522 s.f.

### FLOOR AREA:

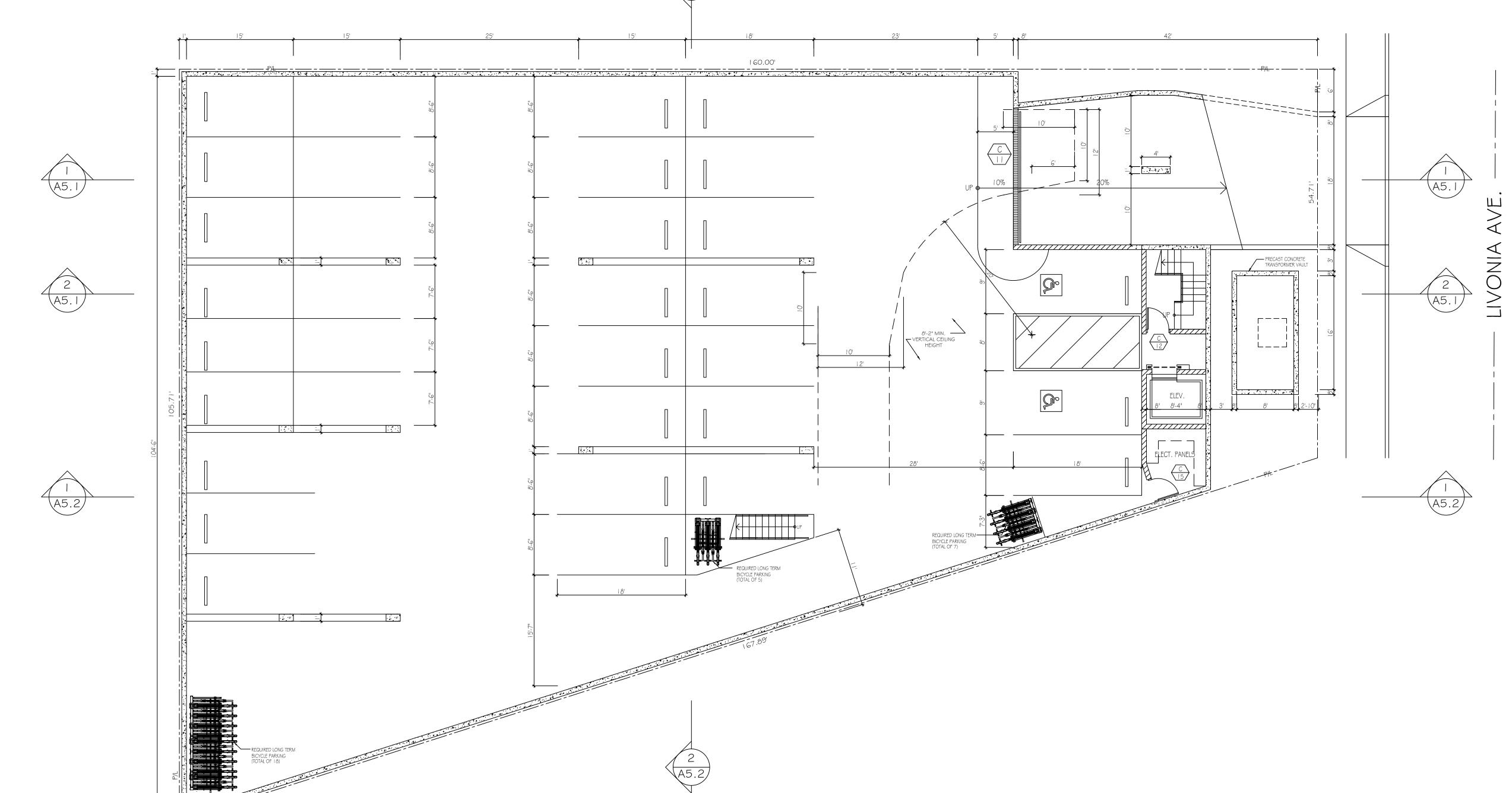
BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f.TOC MAX. ALLOWABLE FLOOR AREA = 29,241 s.f. (1.5) = 43,861.5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

### ZONING FLOOR AREA CALCULATION

					TOTAL	PROPOSI	ED	RESIDENTIAL AREA	LOBBY AREA	EXTERIOR WALLS	ZONING AREA
	-	102	-	103	104	105	106	А	В	С	A+B-C
	201	-	202	203	204	205	206				
UNIT NO.	301	-	302	303	304	305	306				
	401	-	402	403	404	405	406				
	501	-	502	503	504	505	506				
BEDROOMS	2	2	3	2	I	3	1				
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
								31,006 s.f.	1,270 s.f.	1,230 s.f.	31,046 s.f.
4	1	I	ı	ı	I	1	1		I	1	







PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

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### Proposed Low Income Restricted Affordable Units: Proposed Density Bonus = 70%

Required Low Income Units = 23% PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. TOTAL PROPOSED UNITS REQUIRED AUTOMOBILE PARKING:

### Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

PROPOSED PARKING: STANDARD STALLS = 13 HANDICAPPED STALLS = 2

# REQUIRED BICYCLE PARKING:

TOTAL PROPOSED STALLS = 15 LONG TERM: One parking space for each unit = 29 SHORT TERM: One parking space for each 10 unit = 3 10 TOTAL = 32

### REQUIRED OUTLET FOR FUTURE ELECTRIC

VEHICLE CHARGING STATIONS:

PARKING SPACES =  $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

#### THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

### OPEN SPACE:

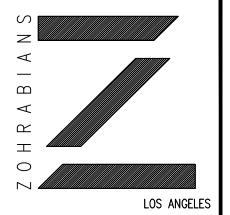
#### TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f. OPEN SPACE LANDSCAPE:

### FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,24 | s.f. (1.5) = 43,86 | .5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

### ZONING FLOOR AREA CALCULATION

PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.						TOTAL	PROPOSE	ED .	RESIDENTIAL AREA	LOBBY AREA	EXTERIOR WALLS	ZONING AREA
THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV		-	102	-	103	104	105	106	А	В	С	A+B-C
CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.		201	-	202	203	204	205	206				
OPEN SPACE:	UNIT NO.	301	-	302	303	304	305	306				
		401	-	402	403	404	405	406				
DTAL REQUIRED USABLE OPEN SPACE = $(10)100 + (9)125 = (10)150 = 3,625 \text{ s.f.}$		501	-	502	503	504	505	506				
PROPOSED COMMON USABLE OPEN SPACE:	BEDROOMS	2	2	3	2	1	3	1				
FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f.  FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f.	FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.)	SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.	THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
OPEN SPACE LANDSCAPE:	FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = $20(12)+14(15)+8(9)=522$ s.f.	FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
									31,006 s.f.	1,270 s.f.	1,230 s.f.	31,046 s.f.



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CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd.

Beverly Hills Ca. 90210

PROJECT:

### Livonia Apartments

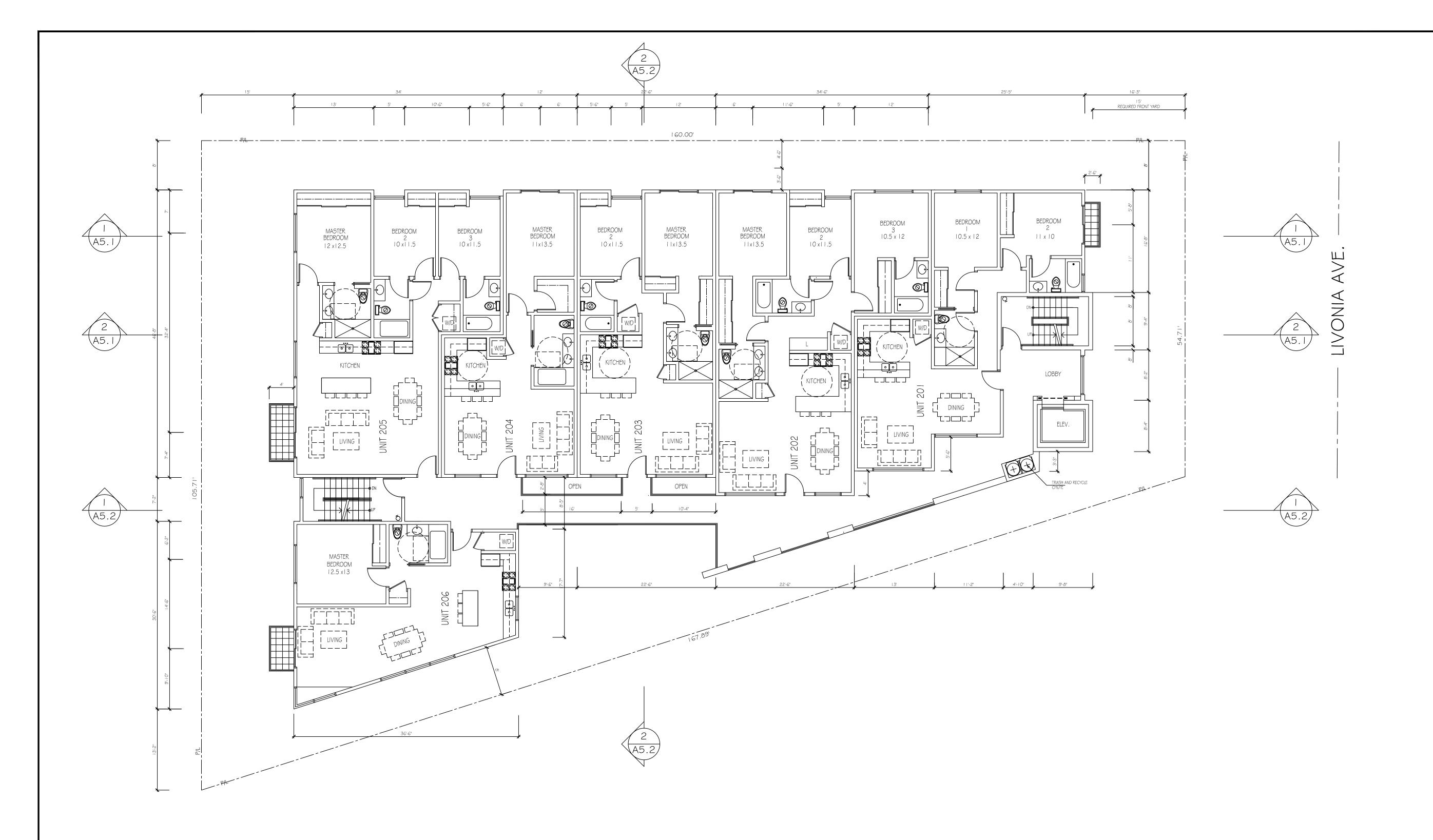
3123 Livonia Ave. Los Angeles, Ca. 90034

REVISIONS							
DESCRIPTION	DATE	BY					

SHEET TITLE:

SEMI-SUBTERRANEAN PARKING GARAGE PLAN

DATE	01.16.19
SCALE	1/8' = 1'-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	
JOB NUMBER	



PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

### PROJECT DATA:

LEGAL DESCRIPTION = TRACT # 625, LOT 16 = 4311-027-012 APN LOT AREA = 12,830 s.f.ZONE = R3-1TOC = TIER 3 = R2/S2

TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA-I3)

BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

### DENSITY:

ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units Proposed Low Income Restricted Affordable Units:

Proposed Density Bonus = 70% Required Low Income Units = 23%

PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. TOTAL PROPOSED UNITS = 29

### REQUIRED AUTOMOBILE PARKING:

Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

### PROPOSED PARKING:

STANDARD STALLS = 13 HANDICAPPED STALLS = 2 TOTAL PROPOSED STALLS = 15

### REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29 SHORT TERM: One parking space for each 10 unit = 3 $\overline{10 \text{ TOTAL}} = 32$

### REQUIRED OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS:

PARKING SPACES =  $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

### OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.

PROPOSED COMMON USABLE OPEN SPACE: FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f.

ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

### OPEN SPACE LANDSCAPE:

PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

### FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f. TOC MAX. ALLOWABLE FLOOR AREA = 29,24 ls.f. (1.5) = 43,86 l.5 s.f.PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

### ZONING FLOOR AREA CALCULATION

				RESIDENTIAL AREA	LOBBY AREA	EXTERIOR WALLS	ZONING AREA				
	-	102	-	103	104	105	106	А	В	С	A+B-C
	201	-	202	203	204	205	206				
UNIT NO.	301	-	302	303	304	305	306				
	401	-	402	403	404	405	406				
	501	-	502	503	504	505	506				
BEDROOMS	2	2	3	2	1	3	_				
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
								31,006 s.f.	1,270 s.f.	1,230 s.f.	31,046 s.f.



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CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd.

Beverly Hills Ca. 90210

PROJECT:

### Livonia Apartments

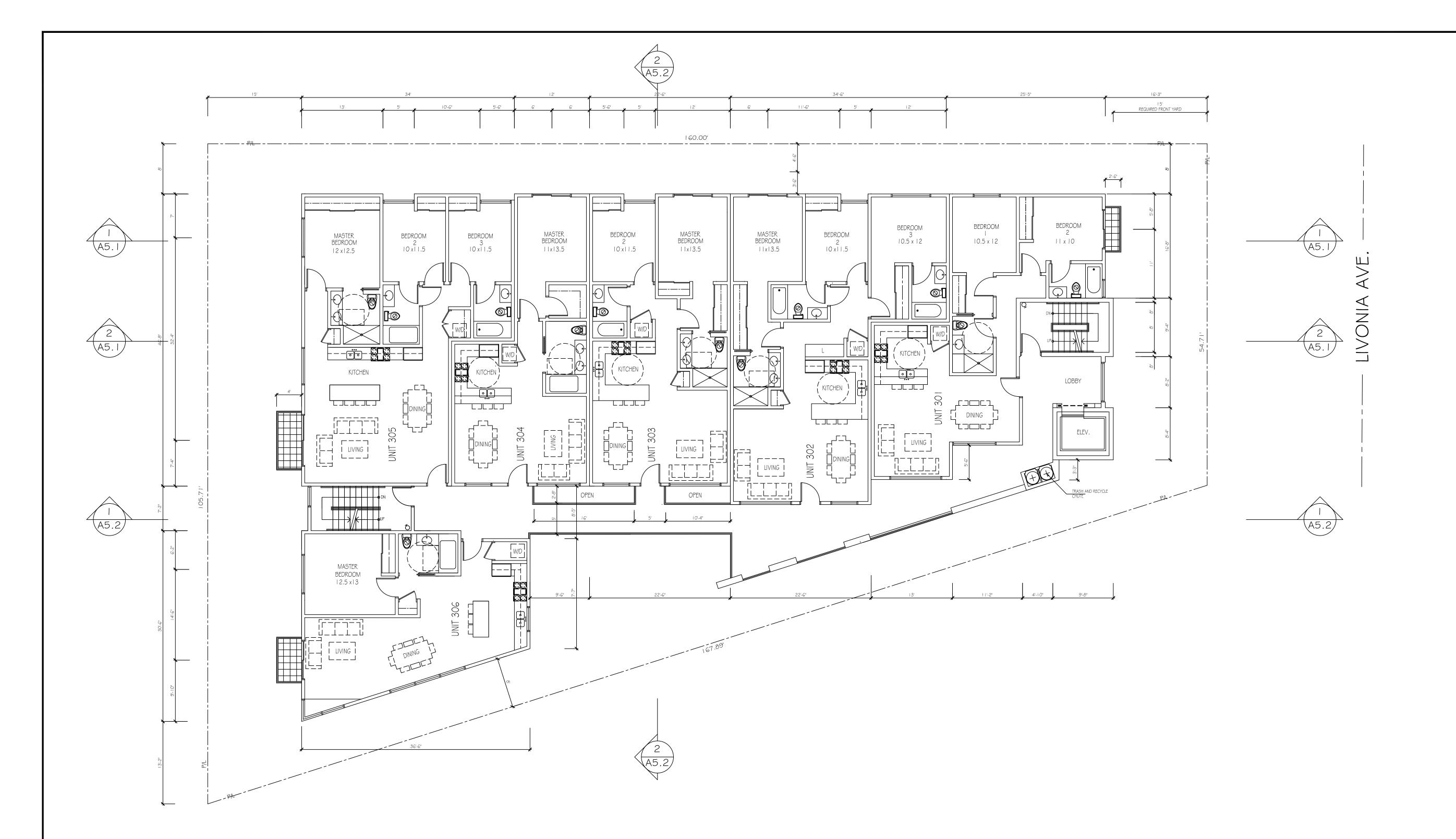
3 | 23 Livonia Ave. Los Angeles, Ca. 90034

REVISIONS										
DESCRIPTION	DATE	BY								

SHEET TITLE:

SECOND FLOOR PLAN

DATE	01.16.19
SCALE	1/8' = 1'-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	



PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

### PROJECT DATA:

LEGAL DESCRIPTION = TRACT # 625, LOT 16 APN = 4311-027-012 LOT AREA = 12,830 s.f. ZONE = R3-1TOC = TIER 3 OCCUPANCY = R2/S2

TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA- I 3)

BUILDING HEIGHT: ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET

PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

DENSITY: ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units

Proposed Low Income Restricted Affordable Units: Proposed Density Bonus = 70% Required Low Income Units = 23%

PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. TOTAL PROPOSED UNITS

### REQUIRED AUTOMOBILE PARKING: Based on TOC (Tier 3) requirements;

0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

PROPOSED PARKING: STANDARD STALLS = 13 HANDICAPPED STALLS = 2 TOTAL PROPOSED STALLS = 15

REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29 SHORT TERM: One parking space for each 10 unit = 3  $\overline{10 \text{ TOTAL}} = 32$ 

### REQUIRED OUTLET FOR FUTURE ELECTRIC

VEHICLE CHARGING STATIONS: PARKING SPACES =  $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

### OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.

PROPOSED COMMON USABLE OPEN SPACE: FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f.

FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f. ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

OPEN SPACE LANDSCAPE:

PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

### FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f.TOC MAX. ALLOWABLE FLOOR AREA = 29,241s.f. (1.5) = 43,861.5 s.f. PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

### ZONING FLOOR AREA CALCULATION

	TOTAL PROPOSED								LOBBY AREA	EXTERIOR WALLS	ZONING AREA
	-	102	-	103	104	105	106	А	В	С	A+B-C
	201	-	202	203	204	205	206				
UNIT NO.	301	-	302	303	304	305	306				
	401	-	402	403	404	405	406				
	501	,	502	503	504	505	506				
BEDROOMS	2	2	3	2	1	3	1				
FIRST FLOOR	-	1,112	,	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
								31,006 s.f.	1,270 s.f.	1,230 s.f.	31,046 s.f.



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CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd.

Beverly Hills Ca. 90210

PROJECT:

### Livonia Apartments

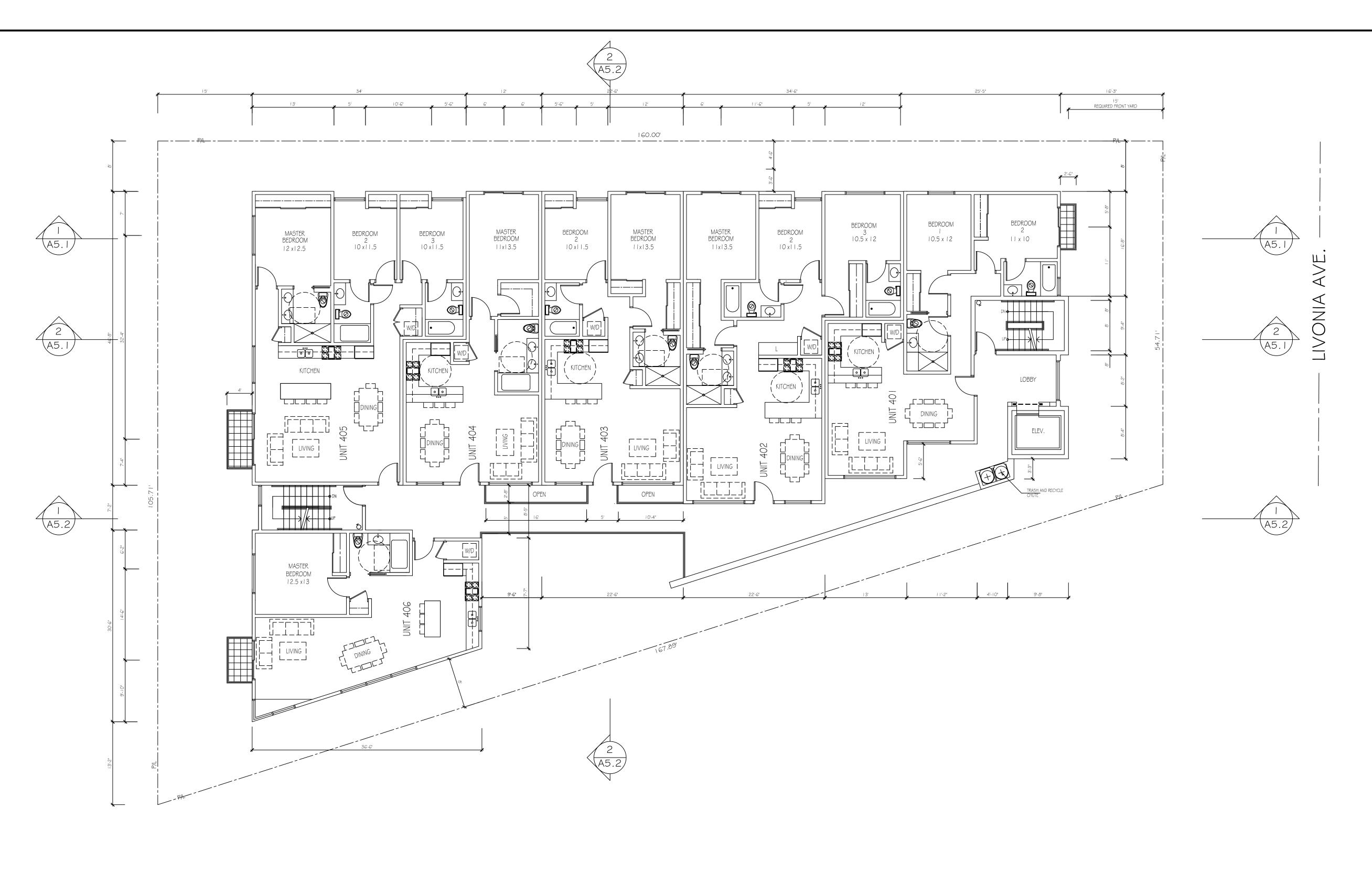
3 | 23 Livonia Ave. Los Angeles, Ca. 90034

REVISIONS									
DESCRIPTION	DATE	BY							

SHEET TITLE:

THIRD FLOOR PLAN

DATE	01.16.19
SCALE	1/8' = 1'-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	
	SCALE DRAWN BY JOB NUMBER



PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

### PROJECT DATA:

LEGAL DESCRIPTION = TRACT # 625, LOT 16 APN = 4311-027-012 = 12,830 s.f.

LOT AREA ZONE = R3-I TOC = TIER 3

OCCUPANCY = R2/S2TYPE OF CONSTRUCTION = III-A/I (FULLY SPRINKLERED PER NFPA-I 3)

### BUILDING HEIGHT:

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

DENSITY: ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units

Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units Proposed Low Income Restricted Affordable Units:

Proposed Density Bonus = 70% Required Low Income Units = 23%

PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) TOTAL PROPOSED UNITS

### REQUIRED AUTOMOBILE PARKING: Based on TOC (Tier 3) requirements;

0.5 parking space per unit inclusive of disabled and guest parking. TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15

# PROPOSED PARKING:

STANDARD STALLS = 13 HANDICAPPED STALLS = 2 TOTAL PROPOSED STALLS = 15

### REQUIRED BICYCLE PARKING: LONG TERM: One parking space for each unit = 29

SHORT TERM: One parking space for each 10 unit = 3

### REQUIRED OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS:

PARKING SPACES =  $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

### OPEN SPACE:

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.

### PROPOSED COMMON USABLE OPEN SPACE:

FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f.

ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

### OPEN SPACE LANDSCAPE:

PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)=522 s.f.

## FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f.TOC MAX. ALLOWABLE FLOOR AREA  $= 29,24 \, \text{ls.f.}$  (1.5)  $= 43,86 \, \text{l.5}$  s.f.

### ZONING FLOOR AREA CALCULATION

PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

				TOTAL	RESIDENTIAL AREA	LOBBY AREA	EXTERIOR WALLS	ZONING AREA			
	-	102	-	103	104	105	106	А	В	С	A+B-C
	201		202	203	204	205	206				
UNIT NO.	301	-	302	303	304	305	306				
	401	-	402	403	404	405	406				
	501	-	502	503	504	505	506				
BEDROOMS	2	2	3	2	1	3	1				
FIRST FLOOR	-	1,112	-	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
SECOND FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
THIRD FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FOURTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FIFTH FLOOR	1,016	-	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
								31,006 s.f.	1,270 s.f.	1,230 s.f.	31,046 s.f.



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CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd.

Beverly Hills Ca. 90210

PROJECT:

## Livonia Apartments

3123 Livonia Ave. Los Angeles, Ca. 90034

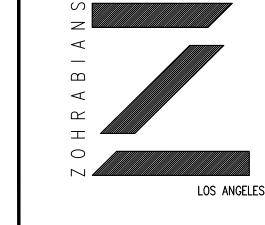
REVISIONS									
DESCRIPTION	DATE	BY							

SHEET TITLE:

FOURTH FLOOR PLAN

DATE	01.16.19
SCALE	1/8' = 1'-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	





Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208

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CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd.

Beverly Hills Ca. 90210

PROJECT:

### Livonia Apartments

3 | 23 Livonia Ave. Los Angeles, Ca. 90034

REVISIONS										
DESCRIPTION	DATE	BY								

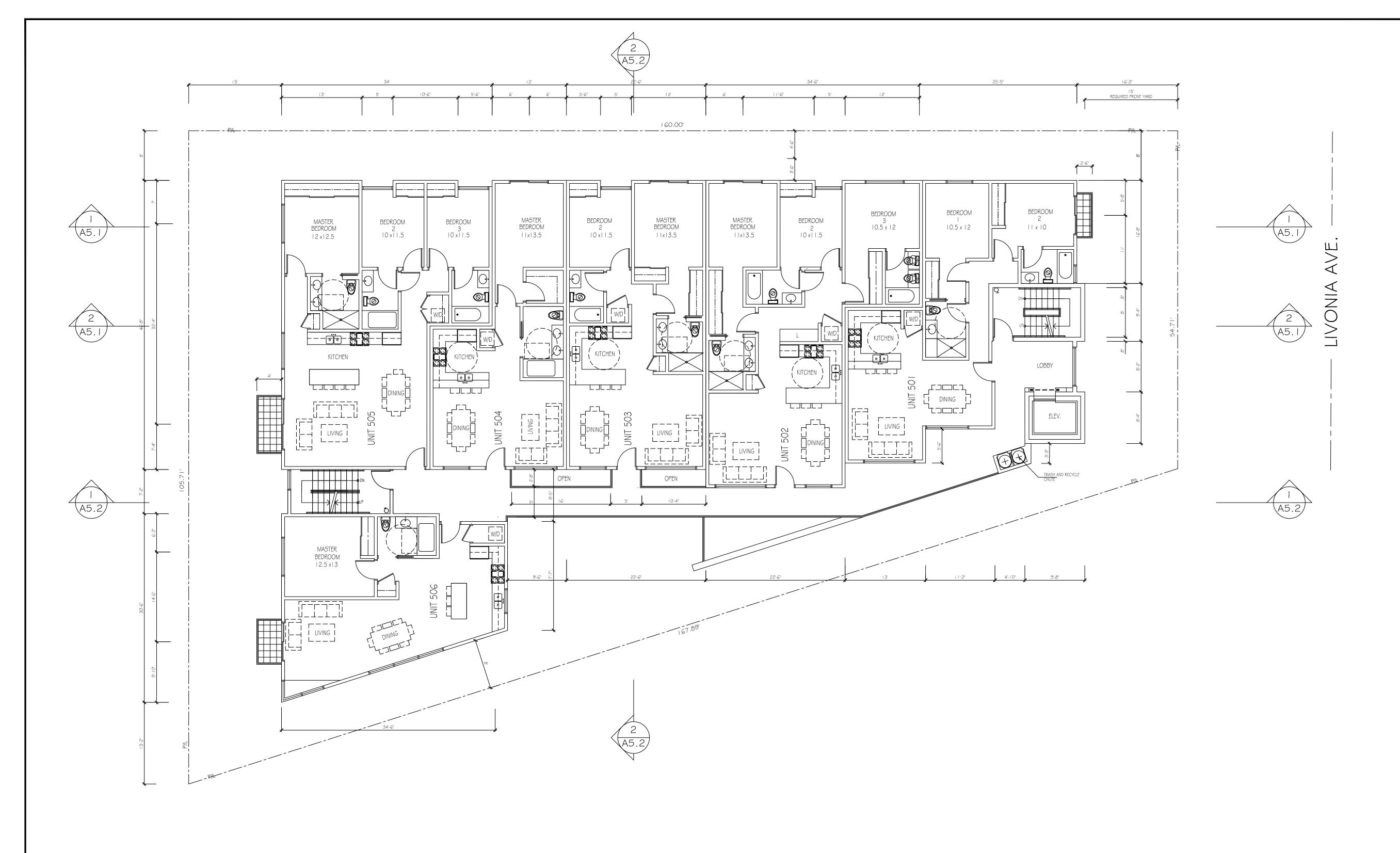
FIFTH FLOOR PLAN

JOB NUMBER

SHEET TITLE:

01.16.19 1/8' = 1'-0" DRAWN BY

072318



### PROJECT DESCRIPTION:

PROPOSED 29-UNIT FIVE STORY APARTMENT BUILDING OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING DENSITY BONUS FOR AFFORDABLE UNITS

### PROJECT DATA:

LEGAL DESCRIPTION = TRACT # 625, LOT 16 APN = 4311-027-012 LOT AREA = 12,830 s.f.ZONE = R3-I TOC = TIER 3

### TYPE OF CONSTRUCTION = III-A / I (FULLY SPRINKLERED PER NFPA-I3) BUILDING HEIGHT:

OCCUPANCY

ALLOWABLE BUILDING HEIGHT (PER TABLE 503) = 4 STORIES AND 55 FEET MAXIMUM ALLOWABLE BUILDING HEIGHT (PER ZONING) = 45 FEET PROPOSED BUILDING HEIGHT = 5 STORIES AND 55 FEET

= R2/52

### DENSITY:

ALLOWABLE NUMBER OF UNITS = 12,830 s.f. / 800 s.f. = 16.03 = 16 units Maximum Density including 70% density bonus = 17(1.7) = 28.9 = 29 units Proposed Low Income Restricted Affordable Units:

Proposed Density Bonus = 70% Required Low Income Units = 23%

PROPOSED NUMBER OF Non-Restricted UNITS = 26 PROPOSED NUMBER OF Restricted Affordable UNITS = 3 (Extremly Low Income) A SEPARATE ELECTRICAL PERMIT IS REQUIRED. TOTAL PROPOSED UNITS = 29

### REQUIRED AUTOMOBILE PARKING: Based on TOC (Tier 3) requirements; 0.5 parking space per unit inclusive of disabled and guest parking.

TOTAL REQUIRED STALLS = 29(0.5) = 14.5 = 15PROPOSED PARKING:

## STANDARD STALLS = 13

HANDICAPPED STALLS = 2 TOTAL PROPOSED STALLS = 15

# REQUIRED BICYCLE PARKING:

LONG TERM: One parking space for each unit = 29 SHORT TERM: One parking space for each  $\frac{10 \text{ unit}}{3}$  TOTAL = 32

### REQUIRED OUTLET FOR FUTURE ELECTRIC

VEHICLE CHARGING STATIONS:

PARKING SPACES =  $15 \times 5\% = 0.75$ PROPOSED OUTLETS = 2

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

TOTAL REQUIRED USABLE OPEN SPACE = (10)100 + (9)125 = (10)150 = 3,625 s.f.

### PROPOSED COMMON USABLE OPEN SPACE:

FIRST FLOOR REAR COMMON USABLE OPEN SPACE = 1,040 s.f. FIRST FLOOR SOUTH COMMON USABLE OPEN SPACE = 667 s.f.

ROOF TOP DECK COMMON USABLE OPEN SPACE = 1,932 s.f. (25% LANDSCAPE REQUIRED = 483 s.f.) TOTAL PROPOSED COMMON OPEN SPACE = 3,639 s.f.

### OPEN SPACE LANDSCAPE:

PROPOSED ROOF TOP GARDEN LANDSCAPED AREA = 20(12)+14(15)+8(9)= 522 s.f.

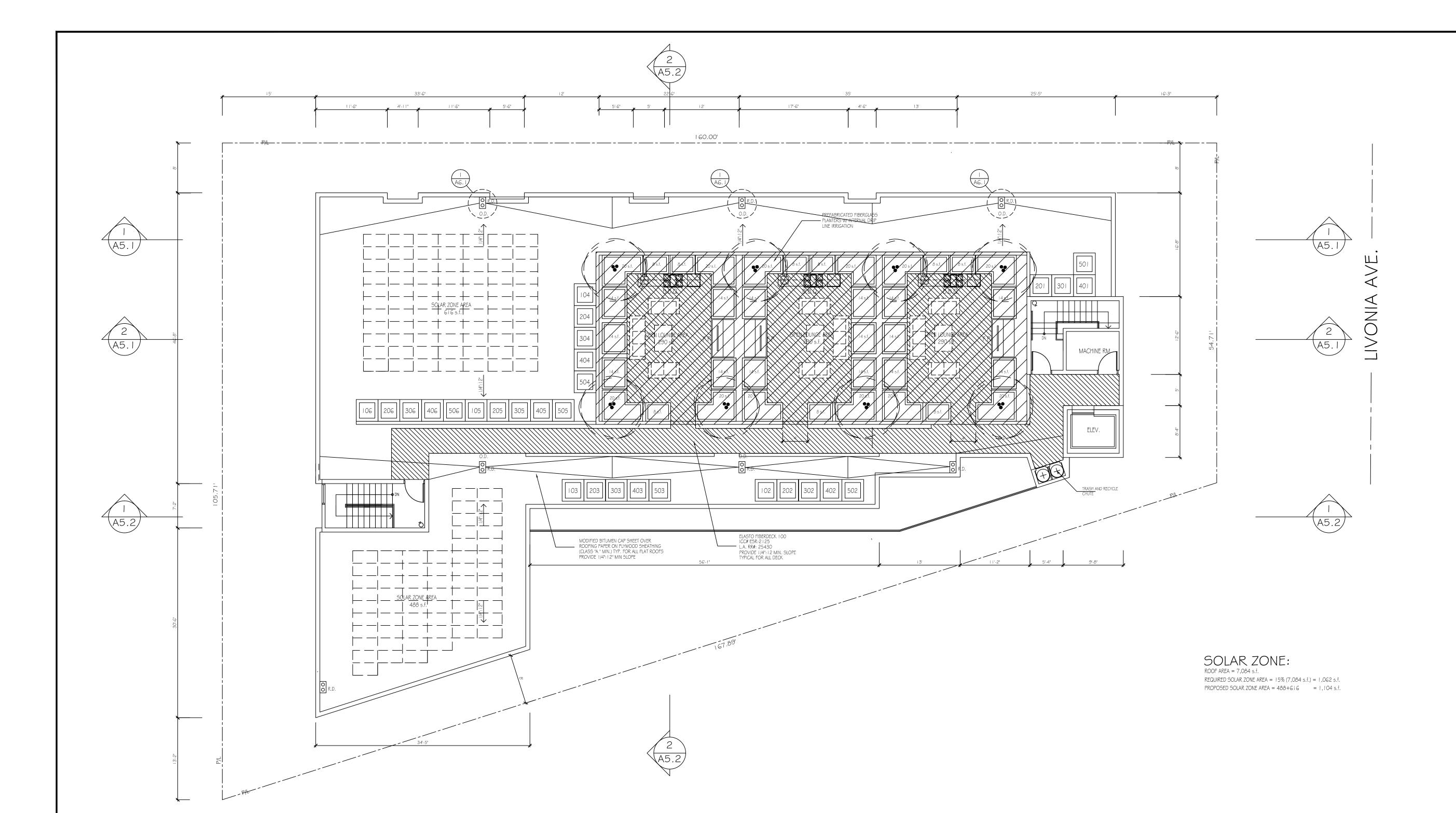
### FLOOR AREA:

BUILDABLE LOT AREA = LOT AREA LESS MIN. SETBACKS = 9,747 s.f. ZONING BASE ALLOWABLE FLOOR AREA = 3 (9,747 s.f.) = 29,241 s.f. TOC MAX. ALLOWABLE FLOOR AREA  $= 29,24 \, \text{ls.f.} (1.5) = 43,86 \, \text{l.5 s.f.}$ 

## ZONING FLOOR AREA CALCULATION

PROPOSED TOTAL FLOOR AREA = 31,046 s.f.

	TOTAL PROPOSED									EXTERIOR WALLS	ZONING AREA
	-	102	-	103	104	105	106	А	В	С	A+B-C
	201	1	202	203	204	205	206				
UNIT NO.	301	1	302	303	304	305	306				
	401	1	402	403	404	405	406				
	501	1	502	503	504	505	506				
BEDROOMS	2	2	3	2	I	3					
FIRST FLOOR	-	1,112	1	1,046	793	1,345	886	5,182 s.f.	822 s.f.	246 s.f.	5,758 s.f.
SECOND FLOOR	1,016	1	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
THIRD FLOOR	1,016	1	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FOURTH FLOOR	1,016	1	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
FIFTH FLOOR	1,016	ı	1,370	1,046	793	1,345	886	6,456 s.f.	112 s.f.	246 s.f.	6,322 s.f.
								31,006 s.f.	1,270 s.f.	1,230 s.f.	31,046 s.f.





N V V I B V I LOS ANGELES

Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208

T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com

www.zohrabians.com

STAMP:

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The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd.

Beverly Hills Ca. 90210

PROJECT:

### Livonia Apartments

3 | 23 Livonia Ave. Los Angeles, Ca. 90034

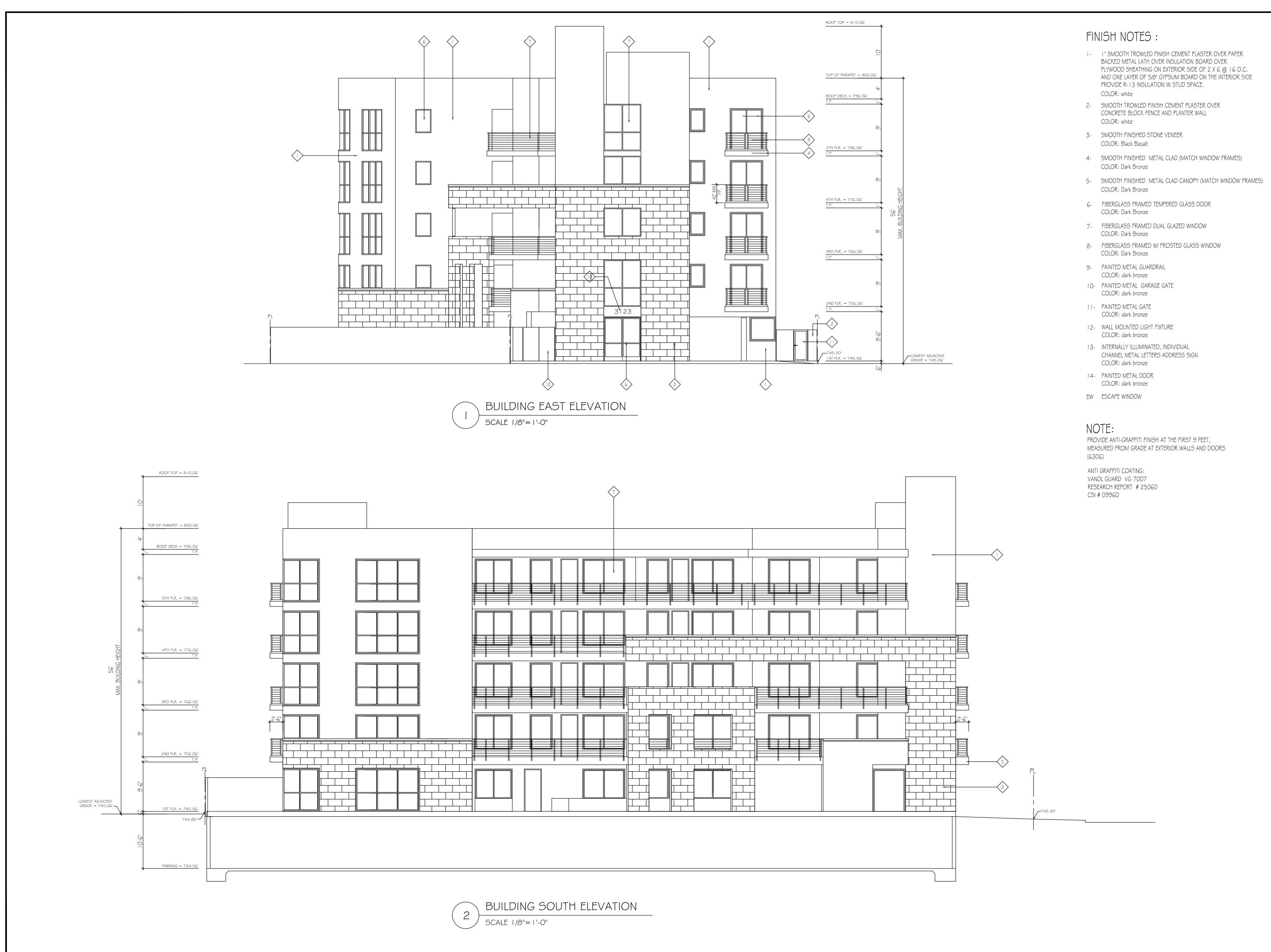
REVISIONS											
DESCRIPTION	DATE	BY									

SHEET TITLE:

PROPOSED ROOFTOP DECK PLAN

DATE	01.16.19
SCALE	1/8' = 1'-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	

A2.7



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LOS ANGELES

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CLIENT:

Victoria SK Holidings LLC 9437 Santa Monica Blvd. Suite 208 Beverly Hills Ca. 90210

PROJECT:

Livonia Apartments

3 | 23 Livonia Ave. Los Angeles, Ca. 90034

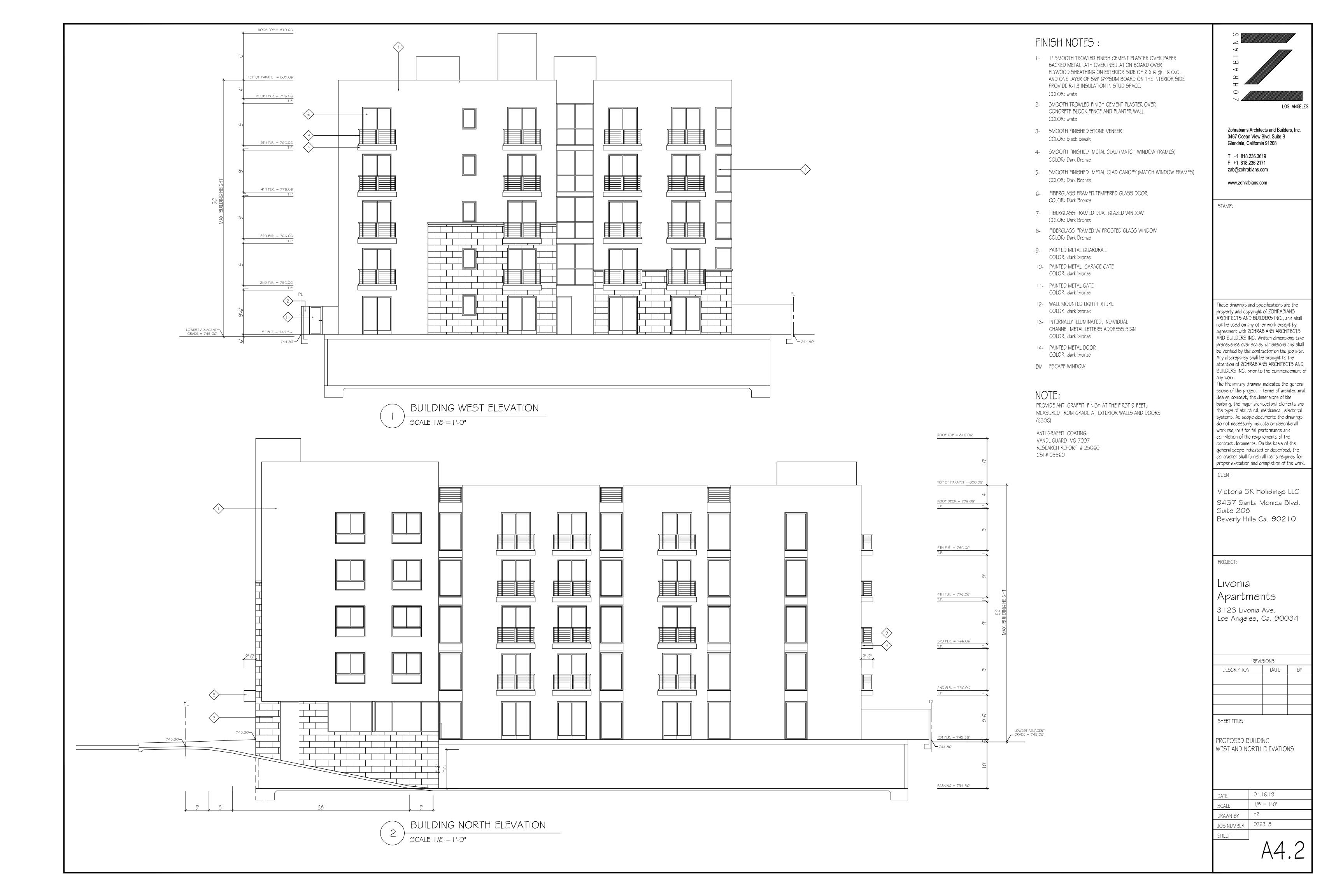
REVISIONS								
DESCRIPTION DATE B'								

SHEET TITLE:

PROPOSED BUILDING EAST AND SOUTH ELEVATIONS

DATE	01.16.19
SCALE	1/8' = 1'-0"
DRAWN BY	HZ
JOB NUMBER	072318
SHEET	

A4.







Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

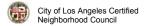
Charlie Stein
Corresponding Secretary

#### South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920 F: (310) 295-9906 E: info@soronc.org

soronc.org



#### Motion to support proposed 50-unit TOC apartment building at 9316-9324 National Blvd + 3301-3305 S Canfield

Ave

Agenda Item: To be filled in by Exec Committee

**Date:** June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

#### **Background**

The project team presented this proposed 50-unit apartment building to the Land Use Committee at their March 05, 2020 meeting. The applicant's entitlement request is for a Tier 3 TOC (Transit Oriented Communities) apartment building. 5 units will be set aside as Extremely Low Income affordable units. The remaining 45 units will be market rate units. In addition to the base incentives of increased density, decreased parking, and increased Floor Area Ration (FAR), the project utilizes additional onmenu TOC incentives of increased building height, reduced open space, and reduced front and rear yard setbacks.

(The TOC program, a result of Measure JJJ passed by voters in 2016, encourages developers to build more affordable housing and to locate said housing near transit by offering incentives, which the developer can select from a menu.)

The subject property, located at 9316-9324 National Blvd + 3301-3305 S Canfield Ave, is on the southwest corner of National Blvd and S Canfield Ave. The neighborhood is primarily comprised of 2-4-story apartment and condo buildings on R3-1 zoned lots.

The project site is 22,444.804 square feet with a 45-foot height limit. The proposed building is 6 stories, 56-feet tall, and 74,635 square feet. 50 parking stalls are located in a ground-level parking garage.

The applicant noticed residents within 500 feet of the property for the March Land Use Committee meeting. A few residents attended the meeting to discuss the project. Primary comments expressed concern over parking and displacement of current residents. The project representative clarified that the previous two tenants were illegal daycares that were shut down by the City. The developer plans to provide Metro passes to the building tenants and to locate Envoy vehicles on-site to encourage car sharing. The Envoy cars will be available to the public.

#### **Proposed Motion**

Submit a letter in support of the application to City Planning Associate Renata Ooms (renata.ooms@lacity.org) to be included in case file for the TOC apartment building at 9316-9324 National Blvd + 3301-3305 S Canfield Ave; DIR-2019-6298-TOC.





#### **Considerations**

Committee review: Votes For: 6 Against: 0 (highly recommended)

#### Arguments for: Arguments against:

The project utilizes the TOC Guidelines to Seven existing units will be demolished. add 5 affordable units, as well as 45 market rate units, to the housing stock. (50 proposed units – 7 existing units = 43 additional units)

The project is located nearly equidistant from the Palms Station and the Culver City / Expo Station: a 12 and 14 minute walk, respectively.

<sup>&</sup>lt;sup>i</sup> Supporting Documents/Drawings: https://www.dropbox.com/sh/u5st43v762vxbij/AAAZ3laFdjDDlclciuXyK9T0a?dl=0





Renata Ooms
Department of City Planning
200 N. Spring Street
Los Angeles, CA 90012

19 June 2020

Re: Case Number DIR-2019-6298-TOC

Dear Ms Ooms:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed TOC apartment building at 9316-9324 National Blvd + 3301-3305 S Canfield Ave.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The addition of 50 units, 5 of which are designated Extremely Low Income affordable units, to a transit-rich area of Los Angeles is much needed.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary Martin Epstein

President, South Robertson Neighborhoods Council

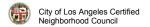
Cc: Aviv Kleinman, Office of Council Member Paul Koretz Krystal Návar, SORO NC Land Use Committee Chair

#### South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920 F: (310) 295-9906 E: info@soronc.org

soronc.org



#### **Developer Guidelines**

Requested SORO NC Land Use Committee meeting date

Thursday, March 5, 2020

#### **Project information**

Planning case number DIR-2019-6298-TOC

Project name National & Canfield

**Project address**3301 S. Canfield Avenue
Los Angeles, 90034

#### **Contact information**

Information for

Owner

Name Simon Lazar

Address

640 S. San Vicente Blvd., #350 Los Angeles, CA, 90048

**Phone number** 

(310) 272-5339

**Email** 

simon@oakmontcapital.com

Representative of the

Owner

Representative name

Kristen Lonner

**Address** 

9619 National Blvd Los Angeles, CA, 90034

Phone number

(310) 802-4261

**Email** 

klonner@burnsbouchard.com

#### **Project background**

1. Description of what is being requested of this Committee that is not "by right"

Planning Director's Determination for Tier 3 TOC incentives re: (1) height, (2) open

2. Description of project	
a. Size of property	22444
b. Size of proposed building(s)	69851
Proposed project is	larger than allowable "by right" size
c. "By right" allowable building size/area	49104
d. Additional area requested	20747
e. Rationale for requesting the additional area	The increase in FAR allows the development to construct both market rate and restricted affordable units that are of sufficient size, configuration, and quality.
3. Proposed use of property	Multifamily Residential.
4. Describe the community benefit from your proposed use of the property	45-units added to City's RSO housing stock, 5-units added to City's restricted affordable dwelling unit housing stock. New housing opportunities concentrated in proximity to existing high-quality transit options.
	The developer has several approved projects working with the Palms and Mar Vista communities where he has received wide-spread support. Those projects, like this one, include Envoy pool cars on site so that both residents and neighbors can utilize a growing pool car network.
5. Parking spaces	
a. Currently on property	8
b. Required by code	25
c. Breakdown of the actual spaces	
Standard spaces	24
Compact spaces	25
Handicap spaces	1
6. Trash enclosure and loading dock	
a. Trash enclosure	Yes
b. Loading dock	No

#### Additional notes on trash and loading

Vehicular ingress and egress provided from Canfield Avenue only.

7. Have you provided any additional amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community?

The developer has several approved projects on Overland Avenue which include Envoy pool cars, like this project, provided on-site for tenant and neighborhood use. These cars add to the expanding local network of car-sharing opportunities in SORO, Mar Vista and Palms. In addition the developer is providing Metro passes for tenants. In addition to car sharing and Metro opportunities, the developer is working further with Metro to have a bike-share program placed at the building. This project is designed to embrace its transit friendly location for the benefit of the tenants and the neighbors.

#### 8. Outreach

For discretionary approval, SORO requires, *prior* to this meeting, your notification of neighbors within a 500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

9. Name and ID of all environmental or planning documents prepared to support this project. Click the + sign to add more lines.

Name	ID	Link (if available)
Class 32 Categorical Exemption	ENV-2019-6299- EAF	

#### 10. Additional comments

Simon Lazar and Sam Mostadim have a great track record of working with neighborhoods to gain their support of projects. They specifically develop in transit-rich areas and look to encourage their tenants to use the transit opportunities. In addition, they work with architects who use high quality design aesthetics that reflect in renderings but are also maintained through build-out. In addition while they commit to true affordability, they also guarantee 100% of the units as rent-controlled. We look forward to working with your neighborhood council!

# SOUTH ROBERTSON NEIGHBORHOOD COUNCIL LAND USE COMMITTEE MEETING

Thursday, March 5<sup>th</sup> at 7:00PM Simon Wiesenthal Center, 3<sup>rd</sup> Floor 1399 S. Roxbury Drive

Meeting to review proposed project at: 3301 S. Canfield Avenue

#### **Project Description**

Oakmont Capital is proposing a new, 50-unit residential community at the southwest corner of National Boulevard and Canfield Avenue. The project is designed with a pedestrian scale in mind and creatively uses landscaping to complement the architecture. All units within the building will be designated as rent controlled and an additional 5 units will be dedicated to extremely low income tenants.



#### **Project Benefits**

- Appropriately concentrates new housing development in proximity to transit options.
- Articulated design with creates thoughtful design interest.
- Improves adjacent streetscape with new street trees and landscaping.
- Ride share cars provided on site for use by tenants.
- Transit passes offered to tenants to create a truly transit oriented project.

Questions? Contact Josh Guyer (310) 802-4261 – jguyer@burnsbouchard.com

NEW 100% PRIVATELY FUNDED: RESIDENTIAL TOC TIER 3 PROJECT CONSISTING OF 6 STORIES 50 DWELLING UNITS OVER GROUND LEVEL PARKING GARAGE.

BASE INCENTIVES + 3 ADDITIONAL INCENTIVES:

50-UNIT APARTMENT BUILDING

#### (1) YARDS REDUCTION (FRONT&REAR), (2) HEIGHT INCREASE, (3) OPEN SPACE REDUCTION. PROJECT INFORMATION: PROJECT RENDERING REQUIRED RESIDENTIAL PARKING PER TOC - TIER 3: LEGAL DESCRIPTION PARKING REQUIRED 3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 TOTAL RQUIRED DESCRIPTION OF LOTS LEGAL DESCRIPTION 0.5 CARS / UNIT 0.5 X 50 25 CARS ADDRESS BLOCK TRACT APN AREA 7,000.1 SQ. FT. PER ZIMAS 9324 W. NATIONAL BLVD. NONE 625 4311-024 -013 25 CARS 25 CARS REQUIRED: 4,943.6 SQ.FT. PER ZIMAS 9316 W. NATIONAL BLVD. NONE 625 4311-024 -030 1 EV VAN ACCESSIBLE 4311-024 -015 5,583.6 SQ.FT. PER ZIMAS 3301 S. CANFIELD AVE. FR129 ARB1 NONE 625 3,010.9 SQ.FT. PER ZIMAS 3305 S. CANFIELD AVE FR129 ARB2 NONE 625 4311-024 -031 22 STANDARD 1,906.5 SQ.FT. PER ZIMAS FR128 ARB2 NONE 625 4311-024 -031 LOT AREA (SQ.FT.): 22,444.8 SQ.FT. PER ZIMAS PARKING PROVIDED: STANDARD COMPACT EV ACCESIBLE **FLOOR** WEST PROPERTY LINE = 129.98' GROUND LEVEL 25 (12X2+1) R3-1 TOC TIER 3 50 CARS BICYCLE PARKING REQUIRED; ORDINANCE # 185480 RESIDENTIAL PROPOSED USE R-2 RESIDENTIAL / S-2 PARKING 1 SPACE / 1 UNIT (FOR 1-25 UNITS) x 25 UNITS = 25 1 SPACE / 10 UNITS (FOR 1-25 UNITS) x 25 UNITS = 3 45' + 22' (TOC -TIER 3 ADDITIONAL INCENTIVE FOR HEIGHT INCREASE) = 67'. 15' STREET SIDE SETBACK ABOVE 56 67 FT WITH 15' STREET SIDE, STEP BACK ABOVE 56' 10' BUILDING LINE - ALONG NATIONAL BLVD. (INCLUDING 3FT. DEDICATION) - NORTH PROPERTY L SPRINKLER EQUIPMENT 10'-6" (INSIDE YARD ALONG THE WEST PROPERTY LINE) TOC 30% REDUCTION FROM THE ORIGINAL 15 LOT AREA: SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. (903.2 AFTER DEDICATION: 21,468 SQ.FT THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. (903.2 22,444.7 SQ.FT. LOT AREA BEFORE DEDICATIONS / 800 = 28.056 (28 BASE UNITS) => ROUND UP TO 29 UNITS (TOC DENS. INCR. CALC. FIRE ALARM SYSTEM TO BE PROVIDED PER CFC 907 29 X 1.7 (TIER 3 BASE INCENTIVE) = 49.3 ROUND UP TO 50 UNITS (MAX. ALLOWABLE BY DENSITY INCREASE) PROPOSED NUMBER OF UNITS: 50 UNITS (THREE BEDROOM UNITS) EMERGENCY RESPONDER RADIO TO BE PROVIDED PER CFC 510 AFFORDABLE UNITS: 5 UNITS (10% OF TOTAL UNITS) SHALL BE SET ASIDE FOR EXTREMELY LOW INCOME HOUSEHOLDS VICINITY MAP SHEET INDEX FLOOR AREA RATIO (F.A.R.): 16,368 SQ.FT BUILDABLE AREA BEFORE DEDICATION \*4.5 (3\*50% PER TIER 3 BASE INCENTIVES) = 73,656 SQ. FT. 69,851 SQ. FT. (1,626 SF (1ST FLOOR) + 14,755 SF \*4 (2ND, 3RD, 4TH & 5TH) + 9,205 (6TH)) OPEN SPACE: OPEN SPACE REQUIRED BEFORE TOC INCENTIVE: 50 THREE BEDROOM UNITS \* 175 S.F. = 8,750 S.F. **COVER SHEET** OPEN SPACE REQUIRED AFTER TOC INCENTIVE: .75 \* 8,750 SF = 6,562.5 SF C1 SURVEY TOTAL OPEN SPACE REQUIRED = 8,750 S.F. (BEFORE TOC INCENTIVE SPACE REDUCTION) A2.0 SITE PLAN TOTAL OPEN SPACE REQUIRED PER TOC: .75 \* 8,750= 6,562.5 SF FIRST FLOOR PLAN OPEN SPACE PROVIDED: LOCATION HABITABLE SPACE / LANDSCAPE AREA (25% MIN.) SECOND FLOOR PLAN PRIVATE : 2500 SF 50 PRIVATE BALCONIES (50X50 SF) 2,500 S.F. THIRD FLOOR PLAN FOURTH FLOOR PLAN ROOF DECK (COMMON SPACE #1) AT SIXTH FLOOR 509 S.F. / 174 S.F. (25% PLANTER) 683 S.F. FIFTH FLOOR PLAN ROOF DECK (COMMON SPACE #2) AT SIXTH FLOOR 509 S.F. / 174 S.F. (25% PLANTER SIXTH FLOOR PLAN 406 S.F. / 141 S.F. (25% PLANTER) ROOF DECK (COMMON SPACE #3) AT SIXTH FLOOR COMMON : 4124 SF **ROOF PLAN** Canfield Apartmer ROOF DECK (COMMON SPACE #4) AT ROOF LEVEL 1,188 S.F. 735 S.F. / 453 S.F. (38% PLANTER) **NORTH & WEST ELEVATIONS** ROOF DECK (COMMON SPACE #5) AT ROOF LEVEL 669 S.F. / 360 S.F. (34.9% PLANTER) **SOUTH & EAST ELEVATIONS BUILDING SECTIONS A-A & B-B** 9316 National Boulevard 6,630 S.F. TOTAL OPEN SPACE PROVIDED PHOTO KEY MAP FLOOR AREA PER BUILDING CODE CONSTRUCTION TYPE A6.2 SITE PHOTOS SITE PHOTOS **PROJECT** OWNER / CONSULTANTS LANDSCAPE PLAN (EXCLUDES EXT. WALL, FIRE WALLS, VENT SHAFT AND COURTS. 5 STORIES OF TYPE IIIA CONSTRUCTION (R2 OCCUPANCY) OVER 1 INCLUDES AREAS UNDER ROOF OR FLOOR OVERHANGS.) LEVEL OF GROUND LEVEL PARKING TYPE IA CONSTRUCTION (S2 OWNER: OAKMONT CAPITAL **PROPOSED** ALLOWED AREA 3HR SEPARATION BETWEEN TYPE IA AND TYPE IIIA CONSTRUCTION AREA 8721 SANTA MONICA BLVD., #224 LA FIRST FLOOR TYPE I-A UNLIMITED 15,687 S.F. APPLICABLE CODE ARCHITECT: REED ARCHITECTURAL GROUP R-2 13,194 S.F. SECOND FLOOR 657 ROSE AVE, VENICE CA 90291 R-2, TYPE IIIA 24,000 S.F 13,194 S.F THIRD FLOOR PHONE: (310) 393 - 9128 STORY CALIFORNIA BUILDING CODE - 2016 EDITION 13,194 S.F FOURTH FLOOR S-2: UNLIMITED DAVID EVANS AND ASSOCIATES INC LOS ANGELES BUILDING CODE - LATEST EDITION WITH AMENDMENTS 25152 SPRINGFIELD COURT 13,194 S.F. ZONING CODE (CHAPTER 1 OF THE LOS ANGELES MUNICIPAL CODE FIFTH FLOOR SANTA CLARITA, CA 91355 2000 EDITION OF THE PLANNING AND ZONING CODE FROM AMERICAN PHONE: (818) 284 - 7400 R-2 IIIA 8,628 S.F. LEGAL PUBLISHING CORPORATION. SIXTH FLOOR PLAN R-2, TYPE IIIA TOTAL 77,091 S.F. 4X24.000 = 96.000COVER SHEET ISSUE/REVISION DATE ISSUE/REVISION DATE ISSUE/REVISION 9316 NATIONAL, LA, CA THESE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE SOLE PURPOSE AND USE AS A APARTMENT PROJECT MEETING MINIMUM BUILDING CODE STANDARDS ONLY. THIS PROJECT HAS NOT BEEN DESIGNED FOR OR PUBLICATION OF THESE PLANS WITHOU 3301 CANFIELD @ NATIONAL 07-18-16 | CLIENT REVIEW **ARCHITECTURAL** 09-19-19 UPDATED PLANS THE EXPRESS PERMISSION OF REED ARCHITECTURAL GROUP WOULD CONSITUTE AN INFRINGEMENT OF REED ARCHITECTURA LANS AND SPECIFICATIONS MAY NOT BE US DR ANY ENTITLEMENT APPLICATION OR UILDING PERMIT APPLICATION TO CONVERT AID PROJECT TO CONDOMINIUMS WITHOUT GROUP, INC A1.0GROUP'S COPYRIGHT INTEREST. WITHOU WAIVING ANY COPYRIGHT INTEREST, REED 3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034

NOT RESPONSIBLE FOR ANY USE OF THES PLANS FOR ANY PURPOSE, INCLUDING ANY DAMAGES ARISING FROM SUCH USE,

INCLUDING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF REED ARCHITECTURAL GROUP AND JOHN REED.

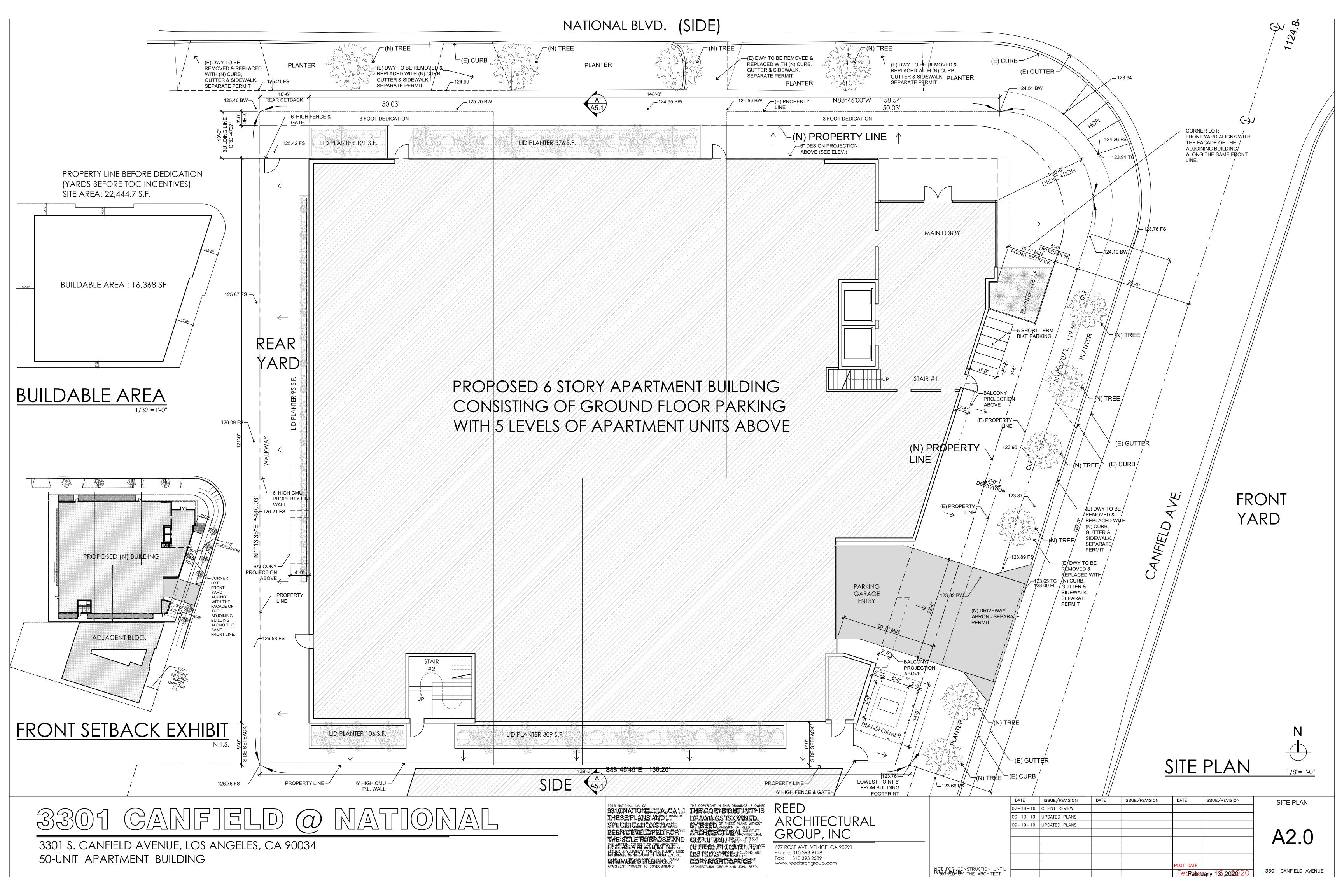
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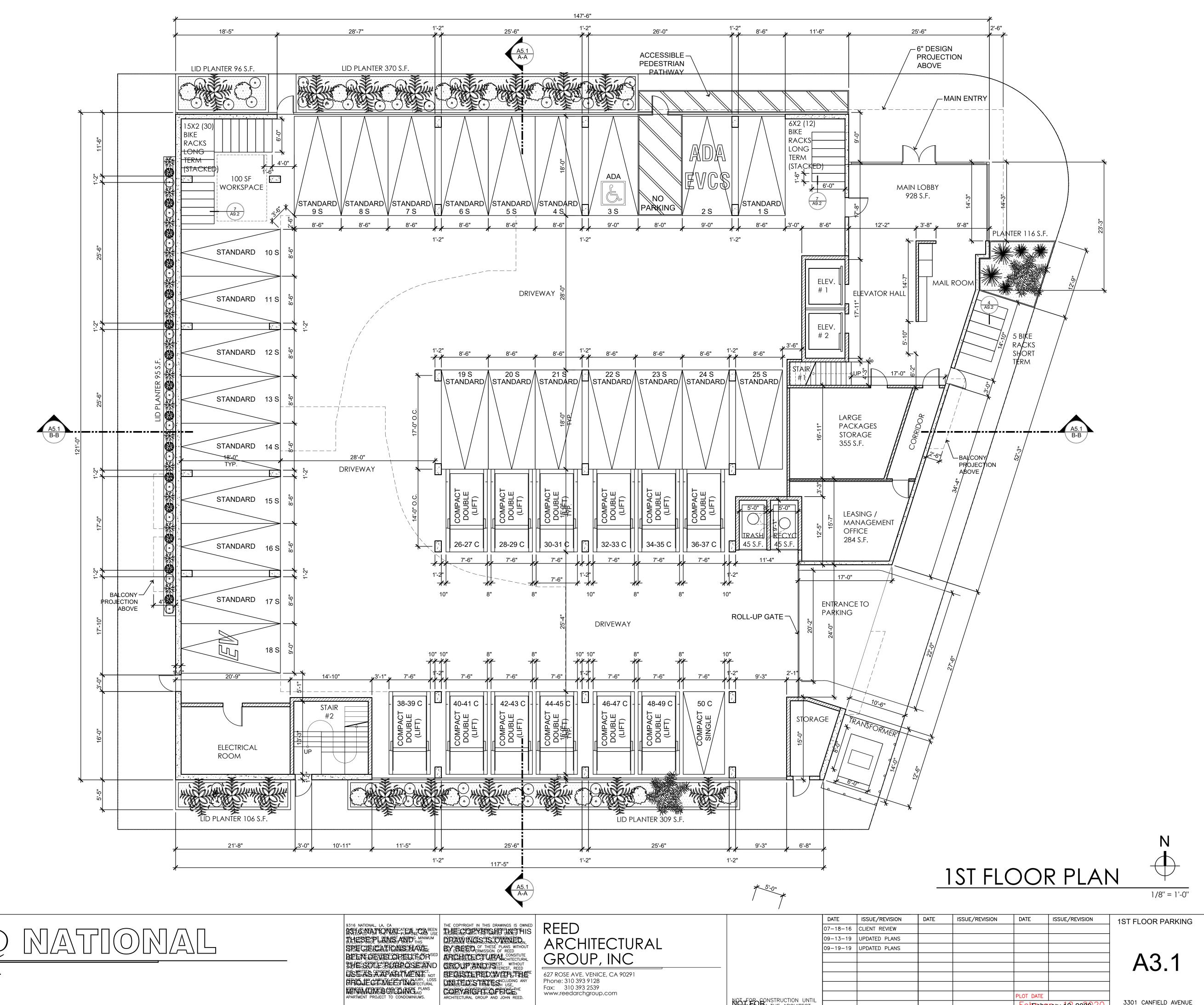
Phone: 310 393 9128

Fax: 310 393 2539

NOT FOR CONSTRUCTION UNTIL

SIGNED BY THE ARCHITECT





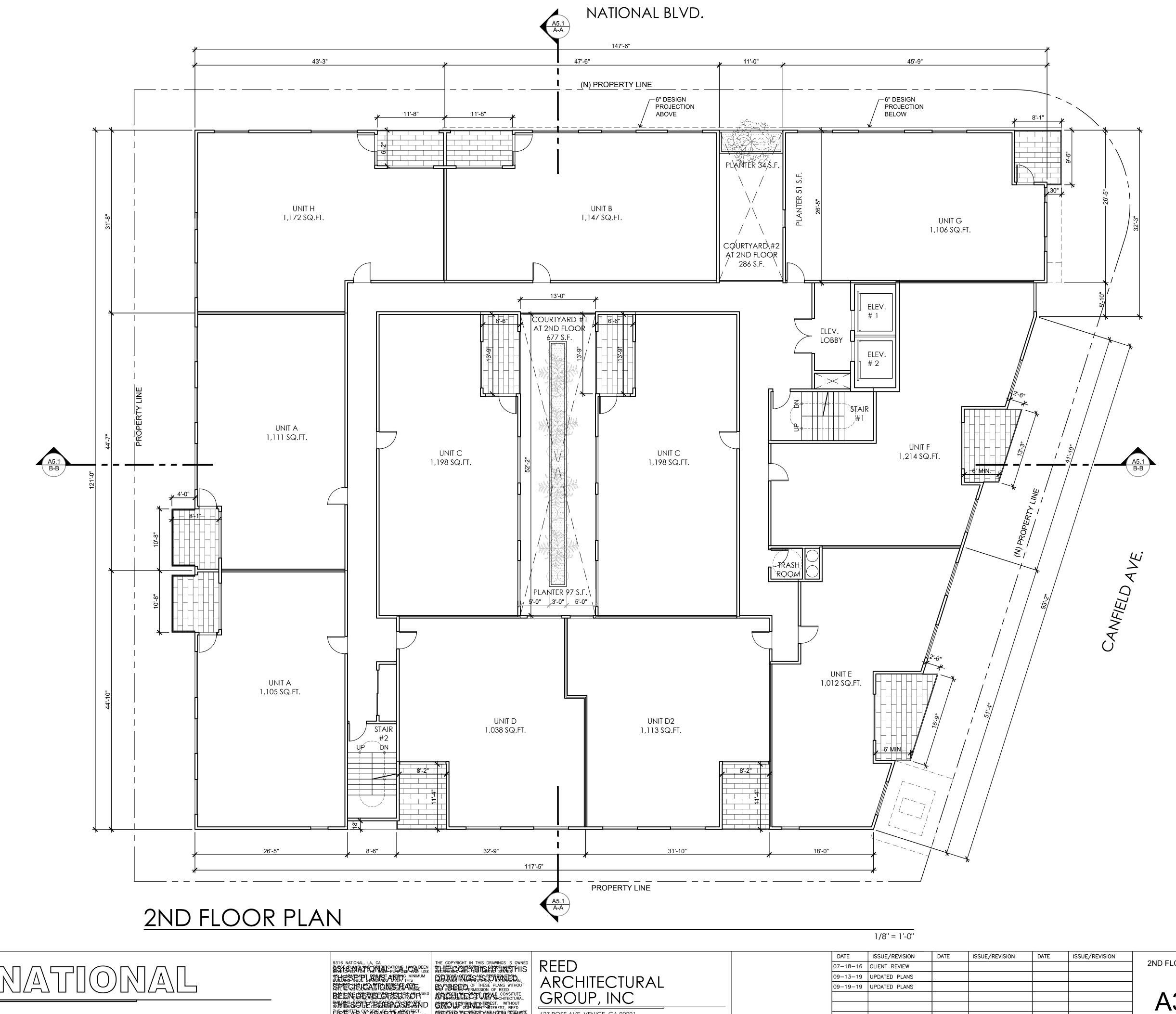
3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

Phone: 310 393 9128
Fax: 310 393 2539
www.reedarchgroup.com

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et February 12, ,2020 2

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3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

THE WRITTEN CONSENT OF THE ARCHITECT. ASSIMATE GISINIVE EROUP, INC. LOSS NOT ASSIMATE GISINIVE EROUP OF INCUSTRUCTURAL SEPTEMBER PLANS APARTMENT PROJECT TO CONDOMINIUMS.

ARCHITECTURAL GROUP, INC Phone: 310 393 9128
Fax: 310 393 2539
www.reedarchgroup.com

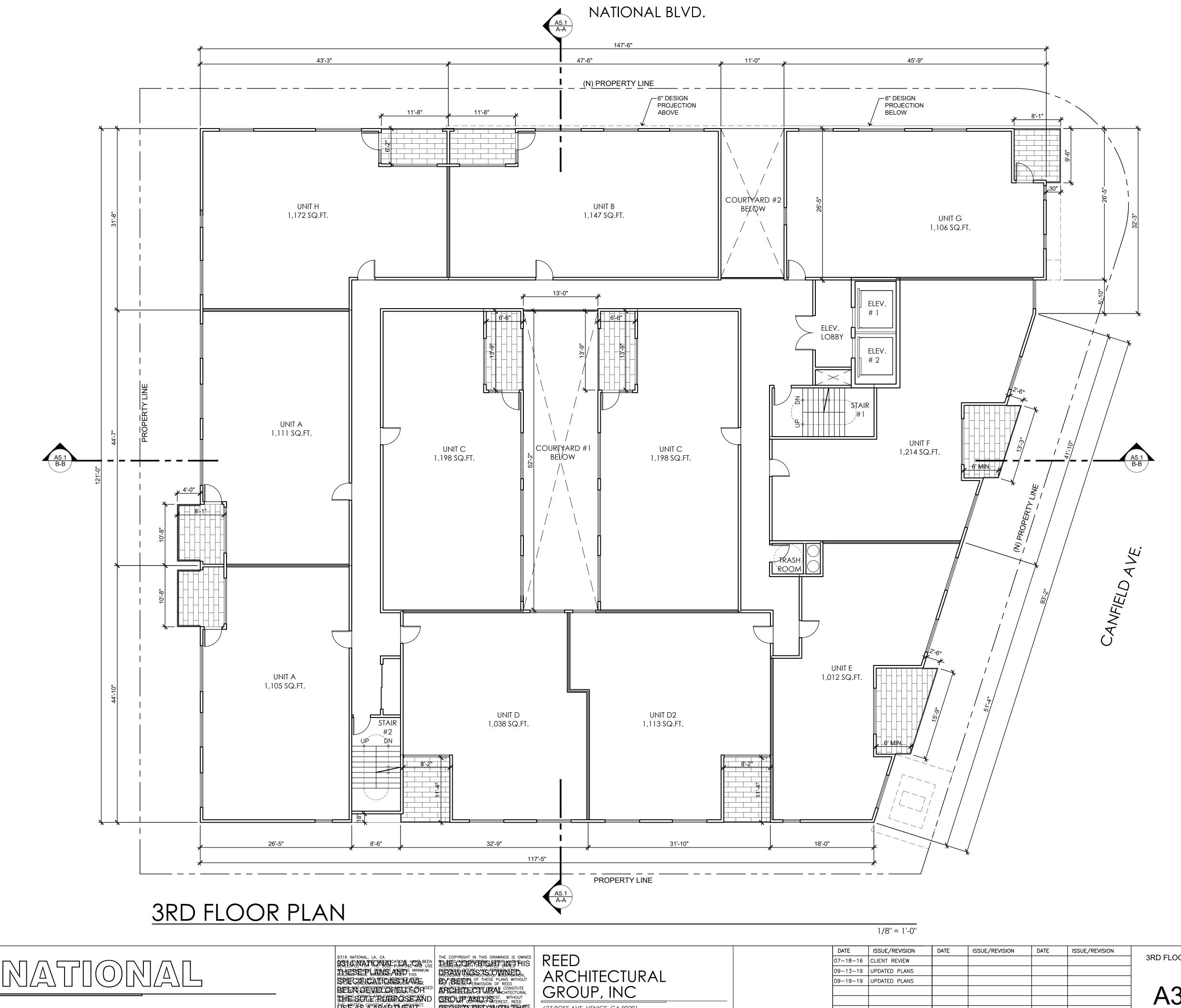
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2ND FLOOR PLAN

A3.2

3301 CANFIELD AVENUE

el February 4,,20202



3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

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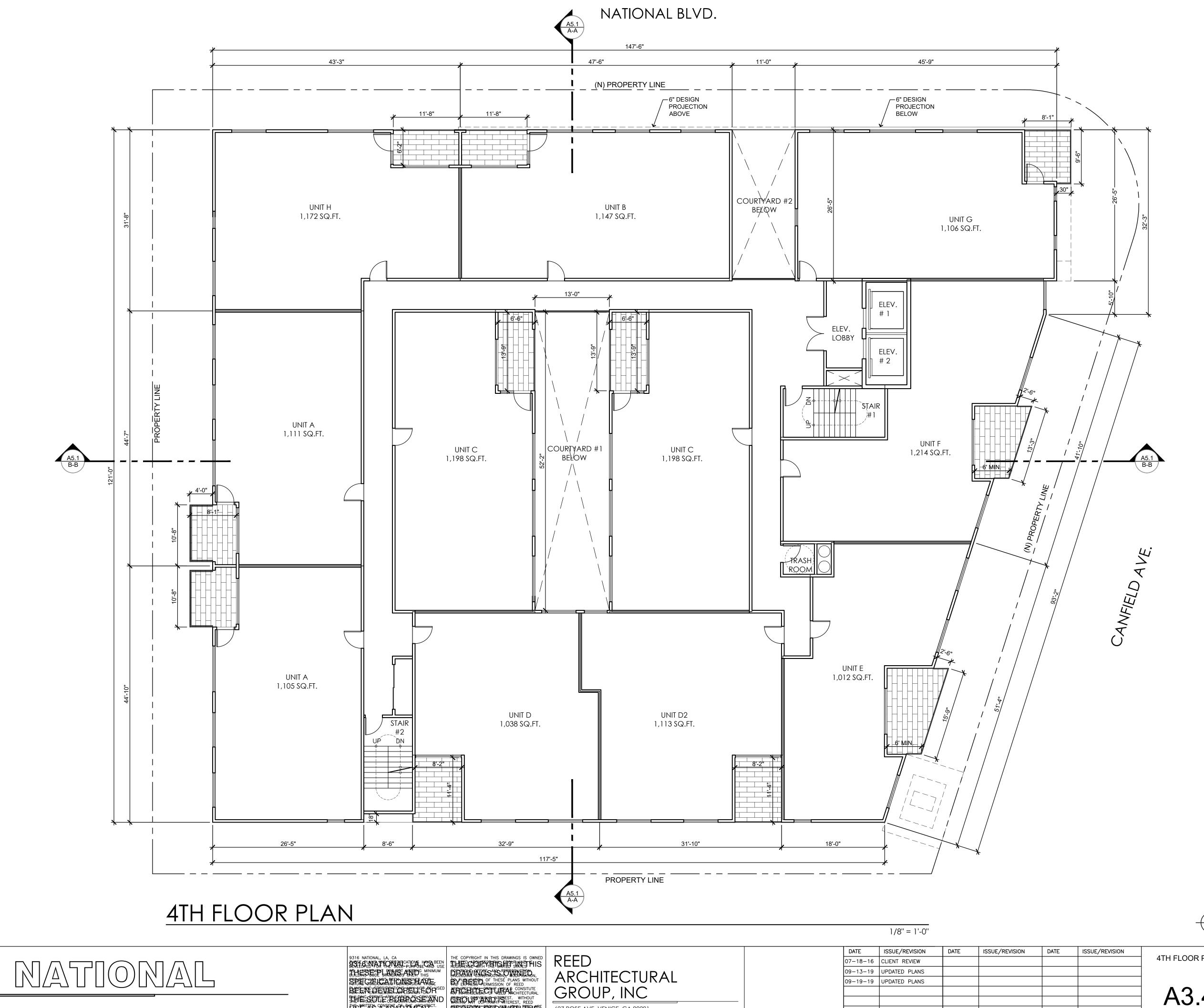
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3RD FLOOR PLAN

3301 CANFIELD AVENUE

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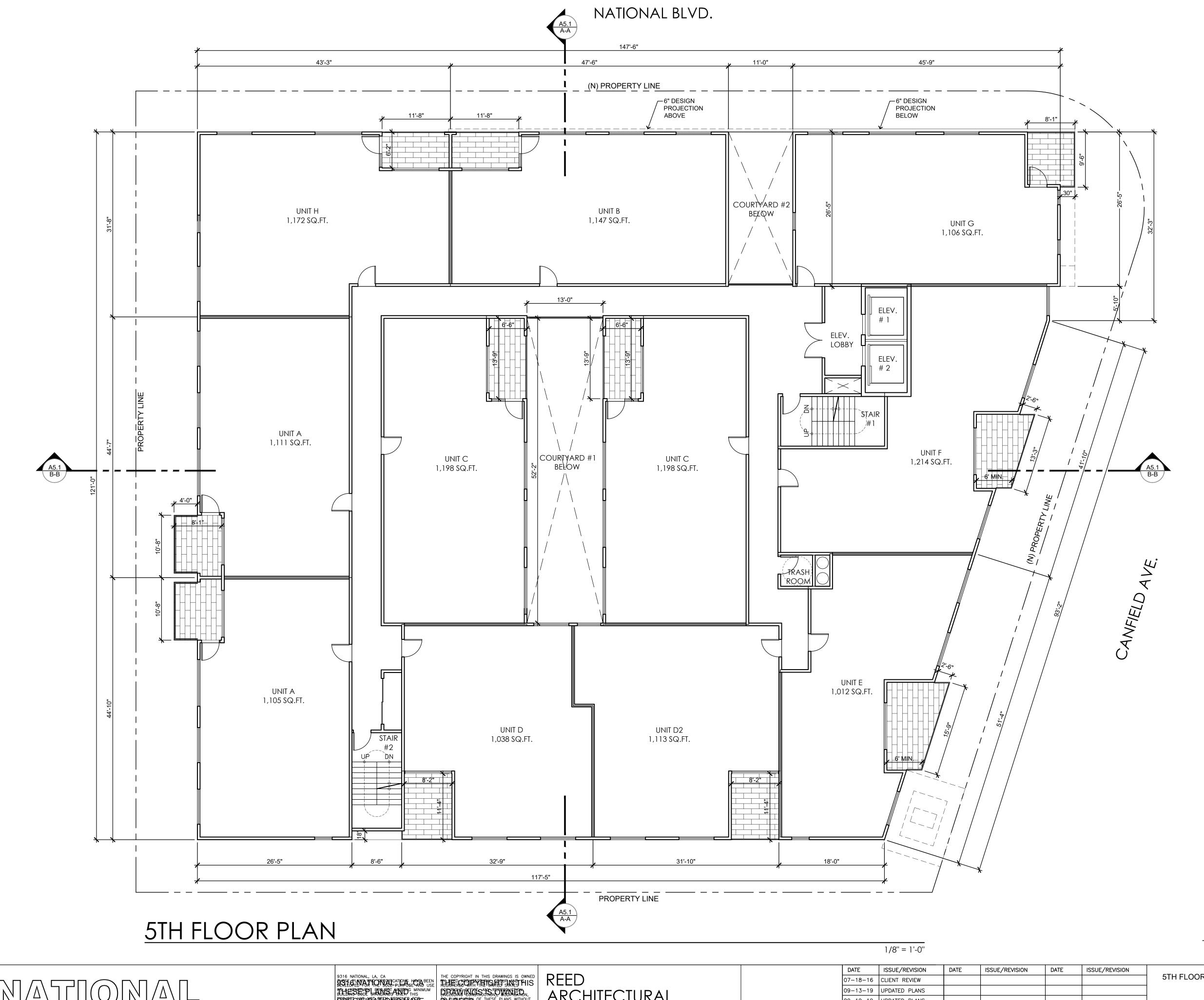
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Fax: 310 393 2539
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4TH FLOOR PLAN A3.4



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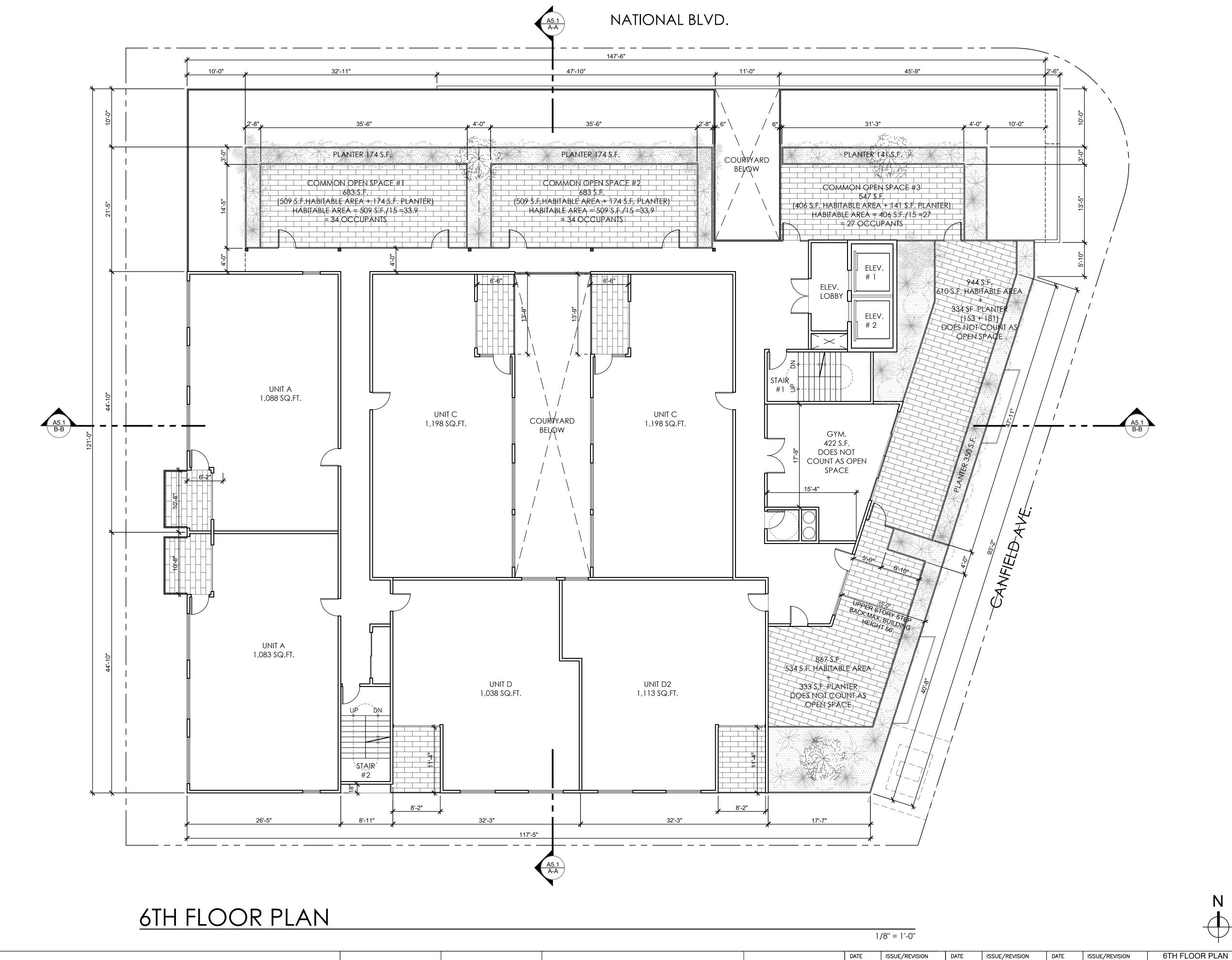
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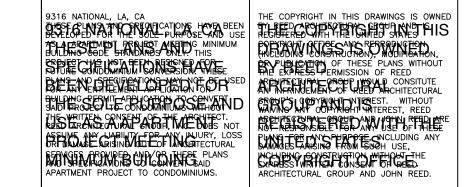
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5TH FLOOR PLAN A3.5



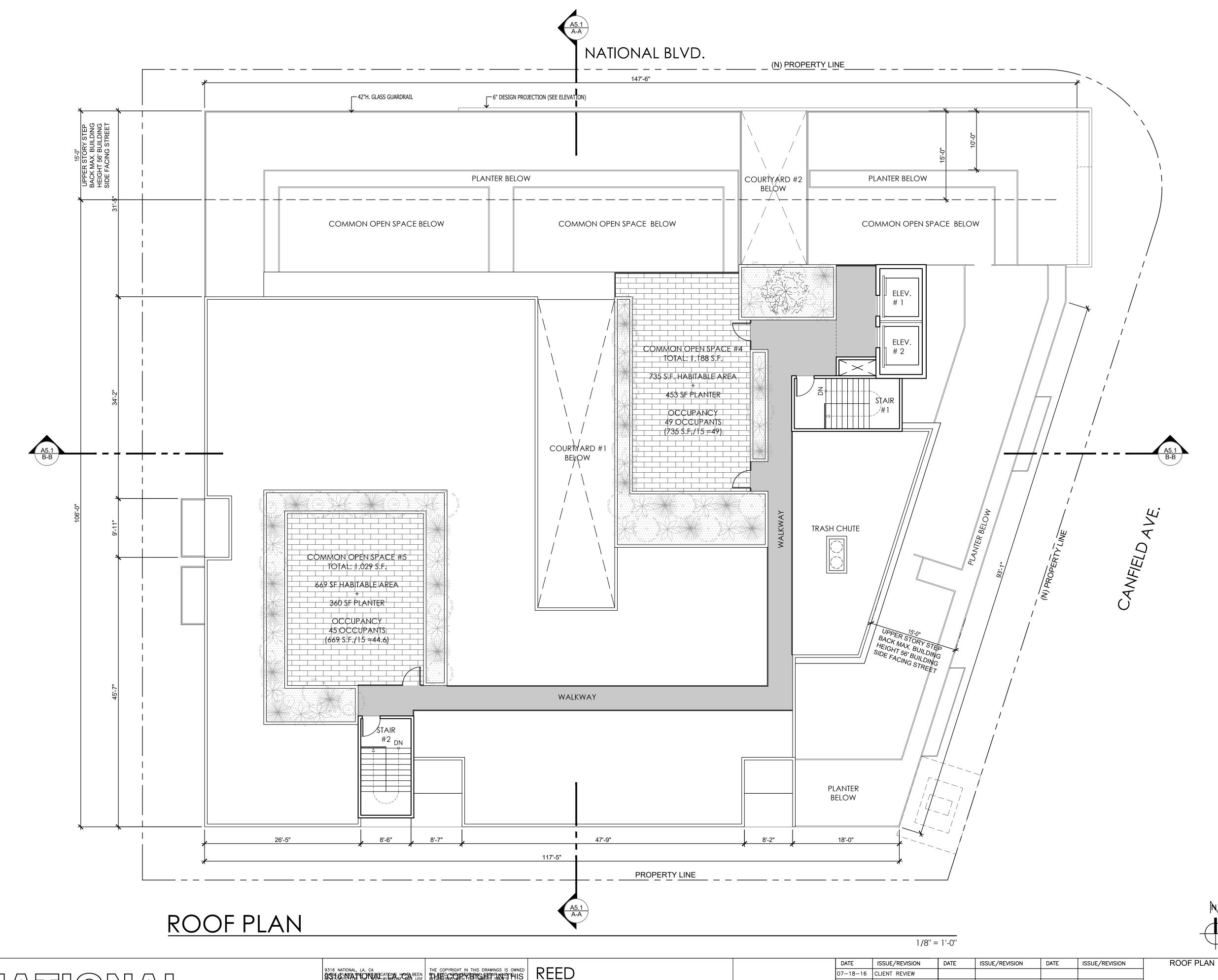
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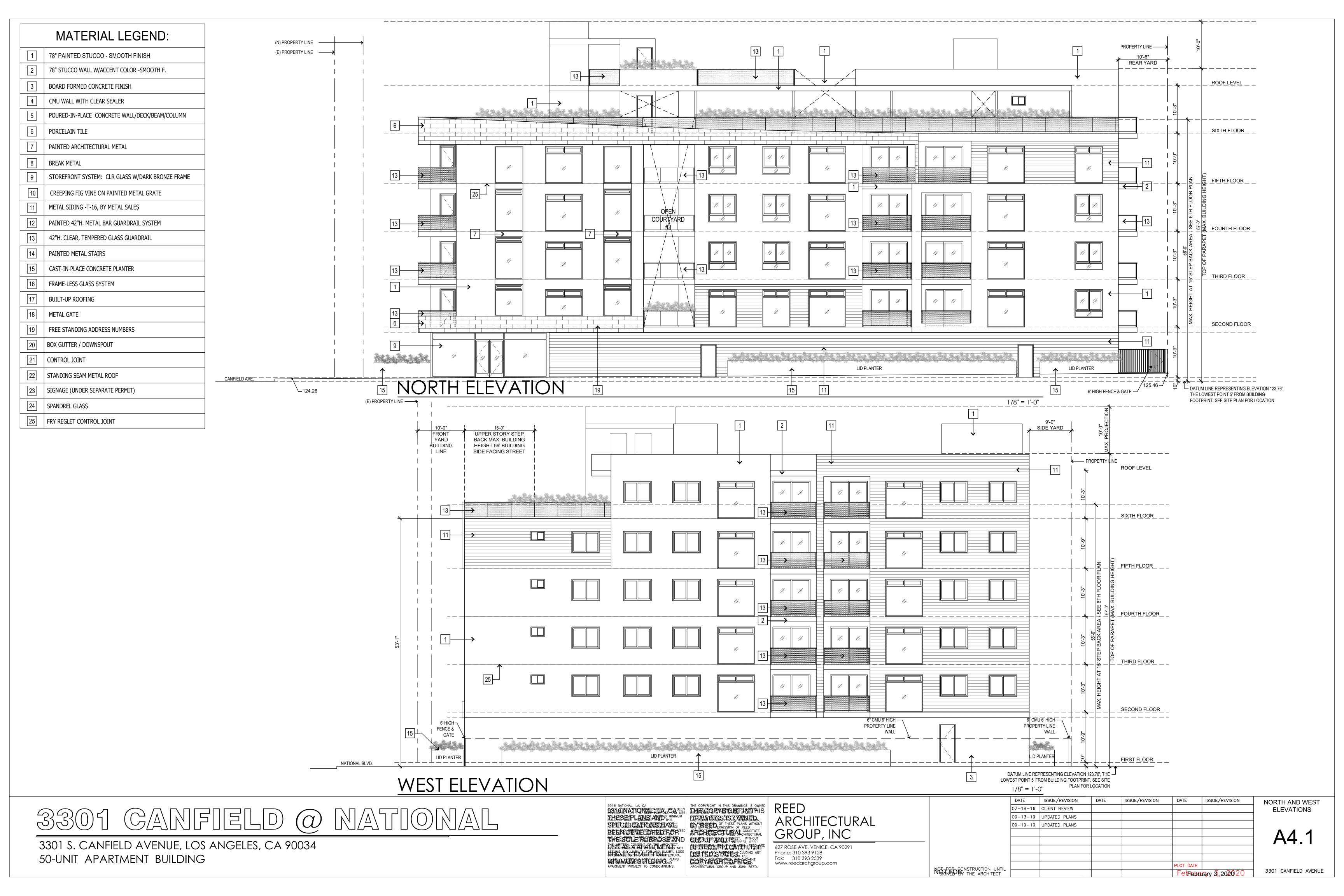
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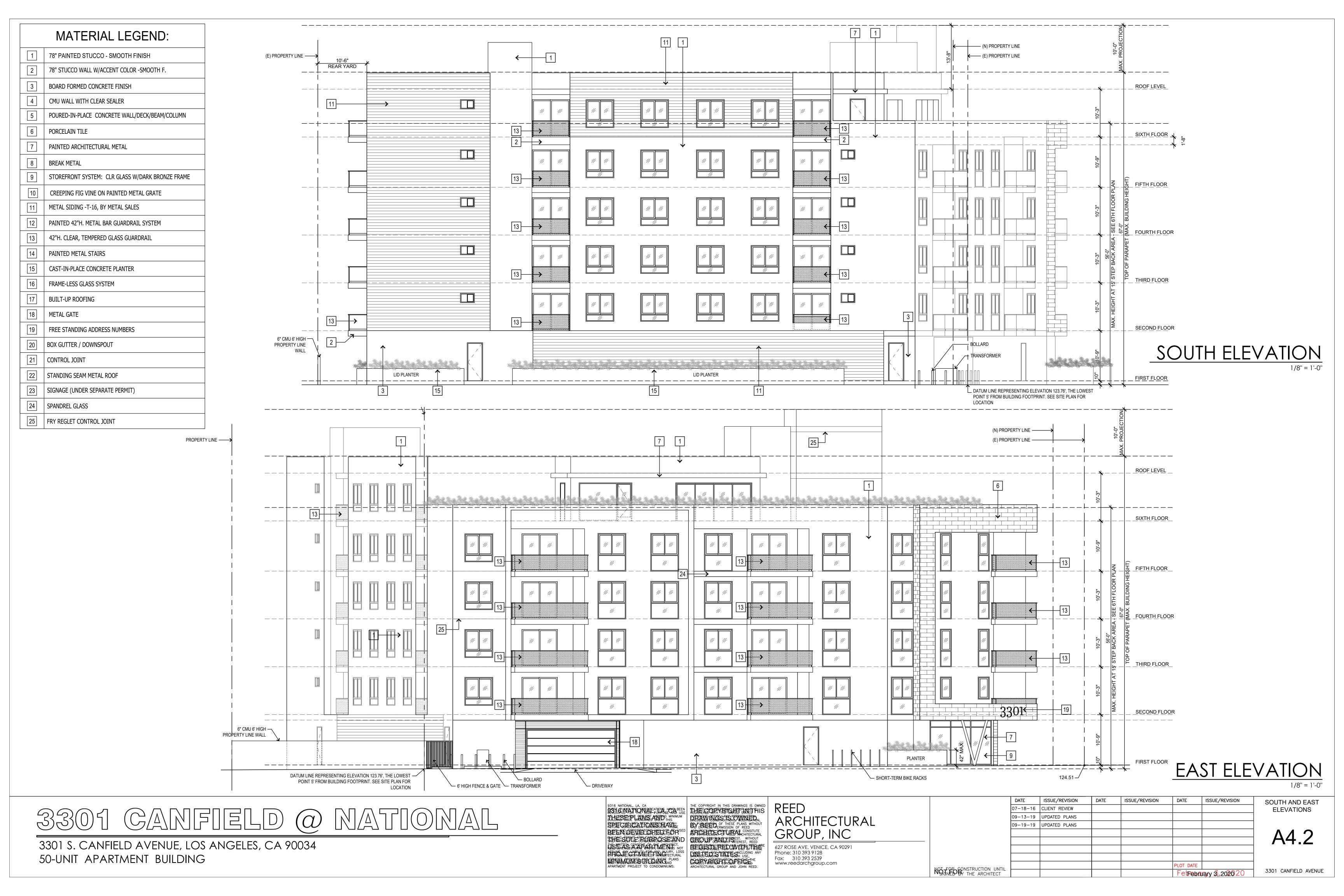
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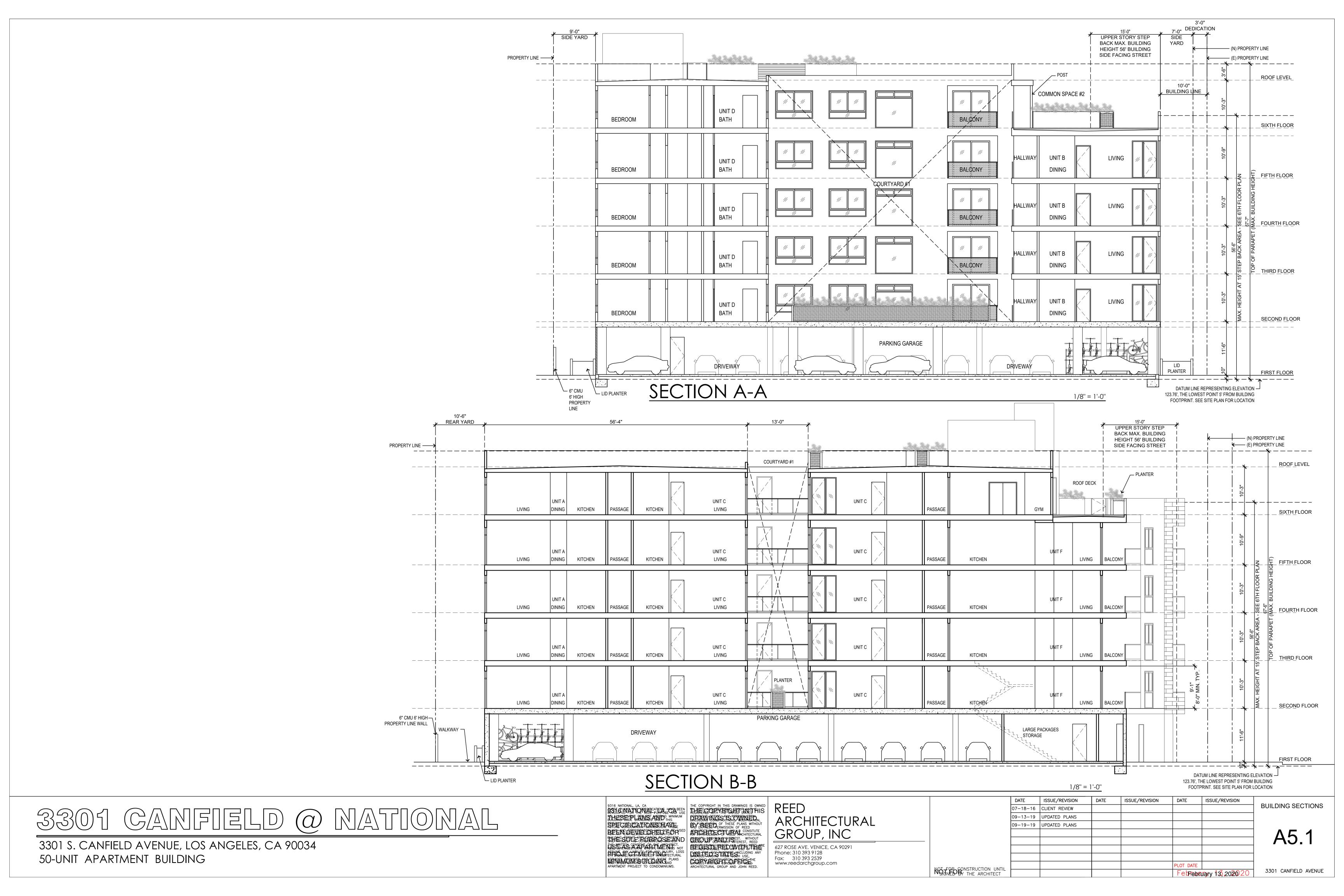
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SAID PROJECT TO CONDOMINIUMS WITHOUT
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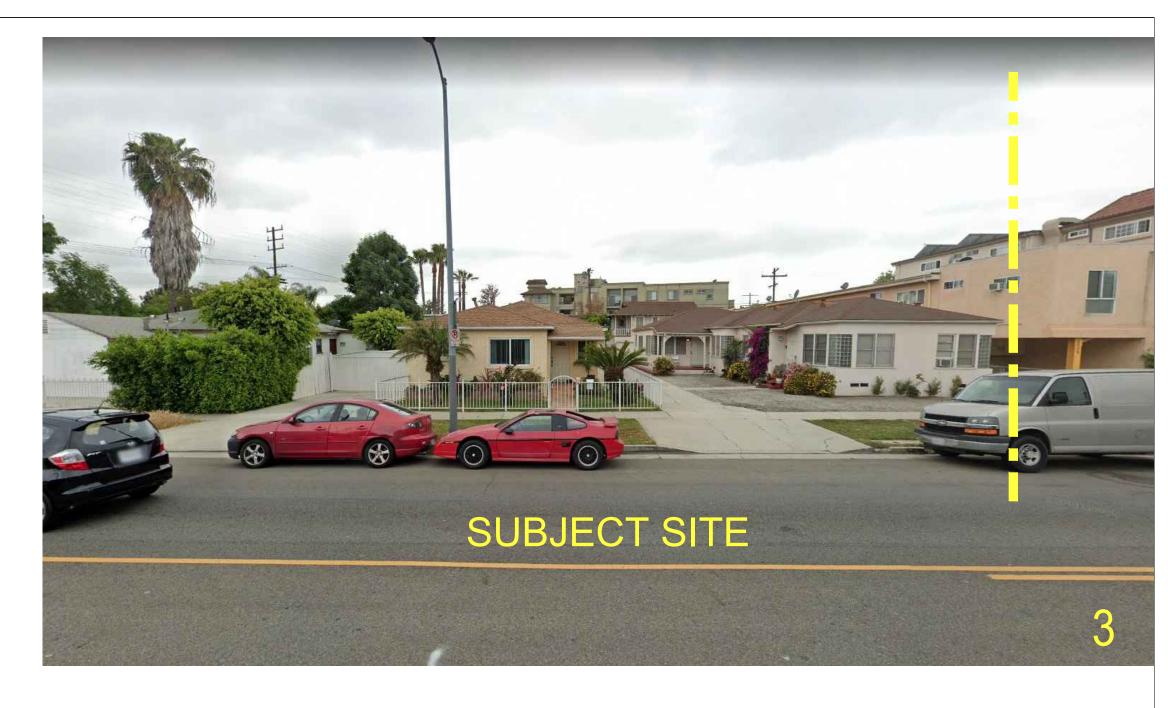
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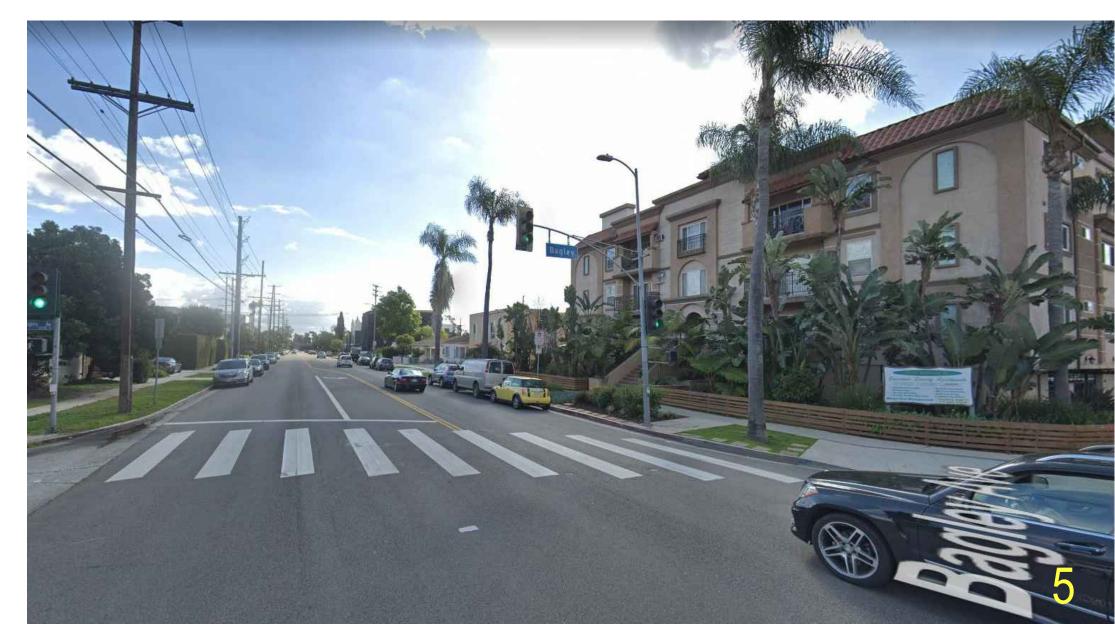
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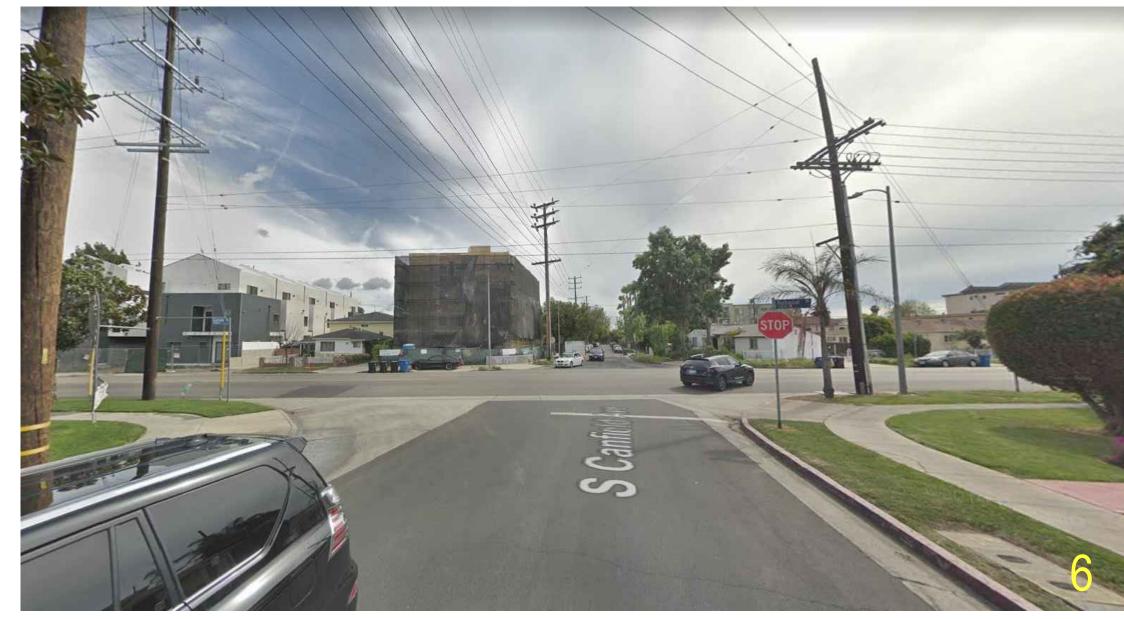




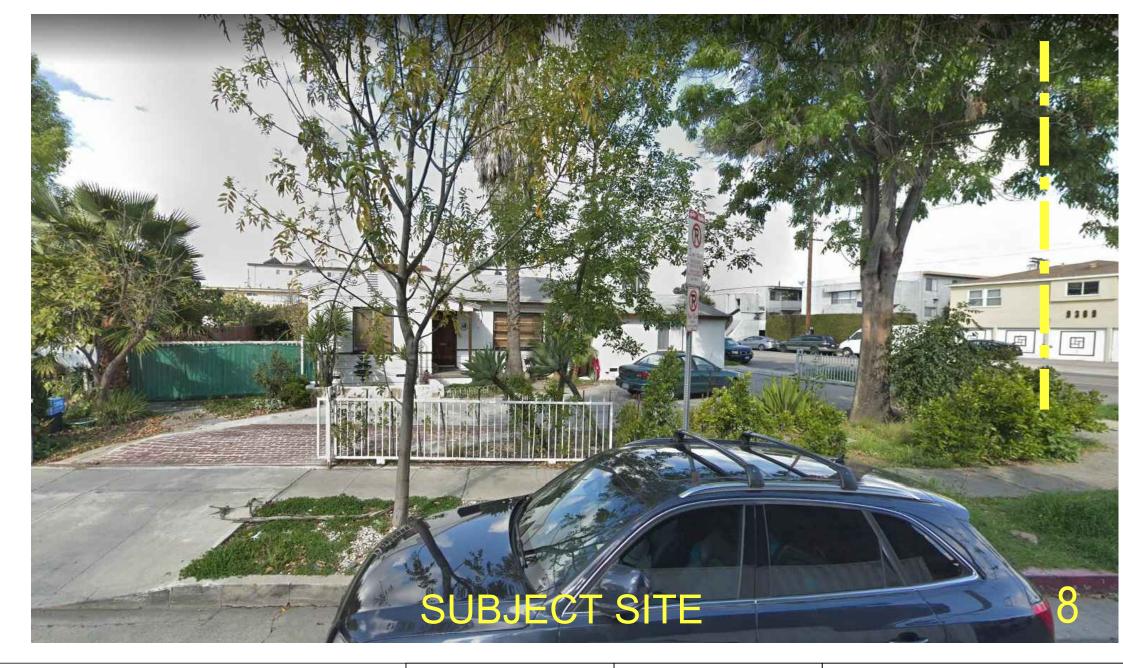














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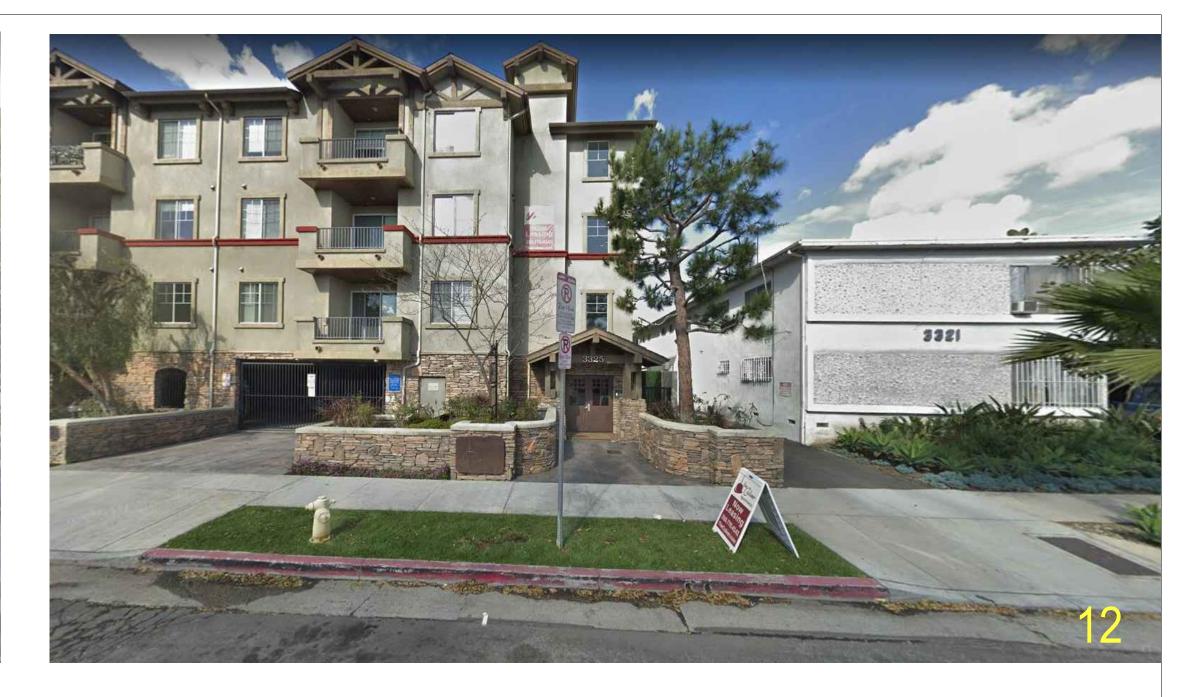
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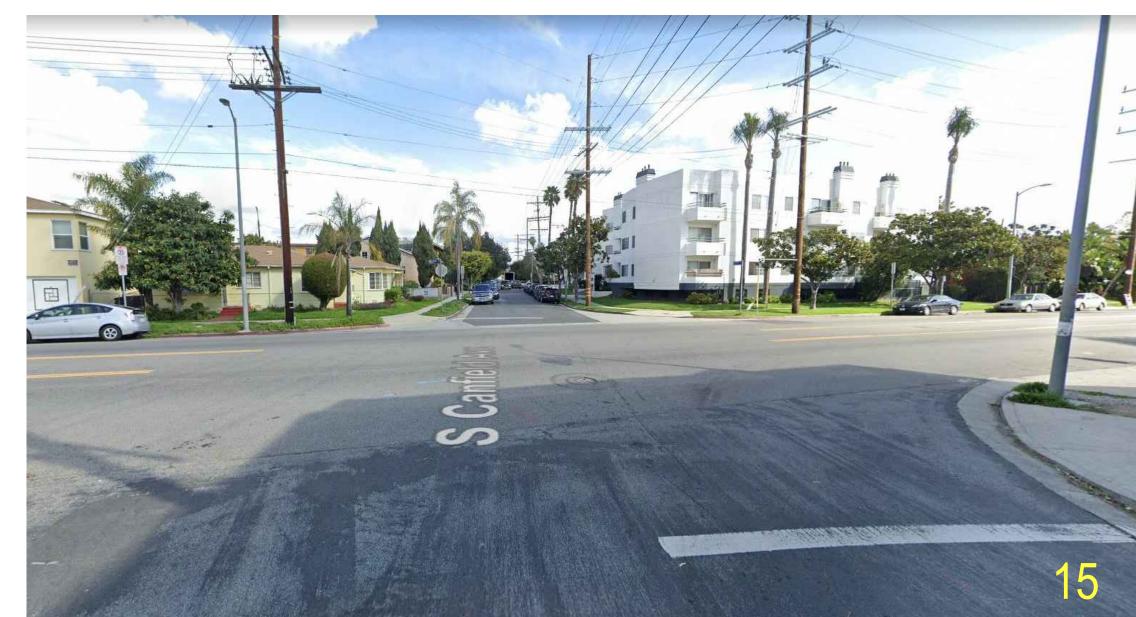






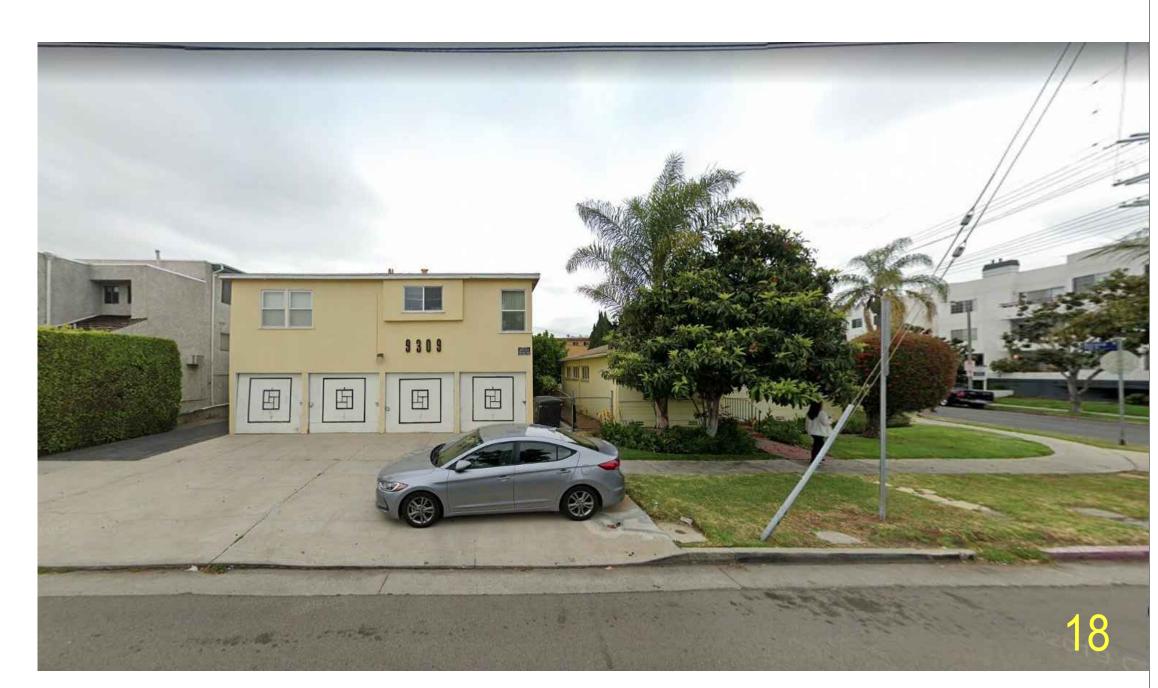












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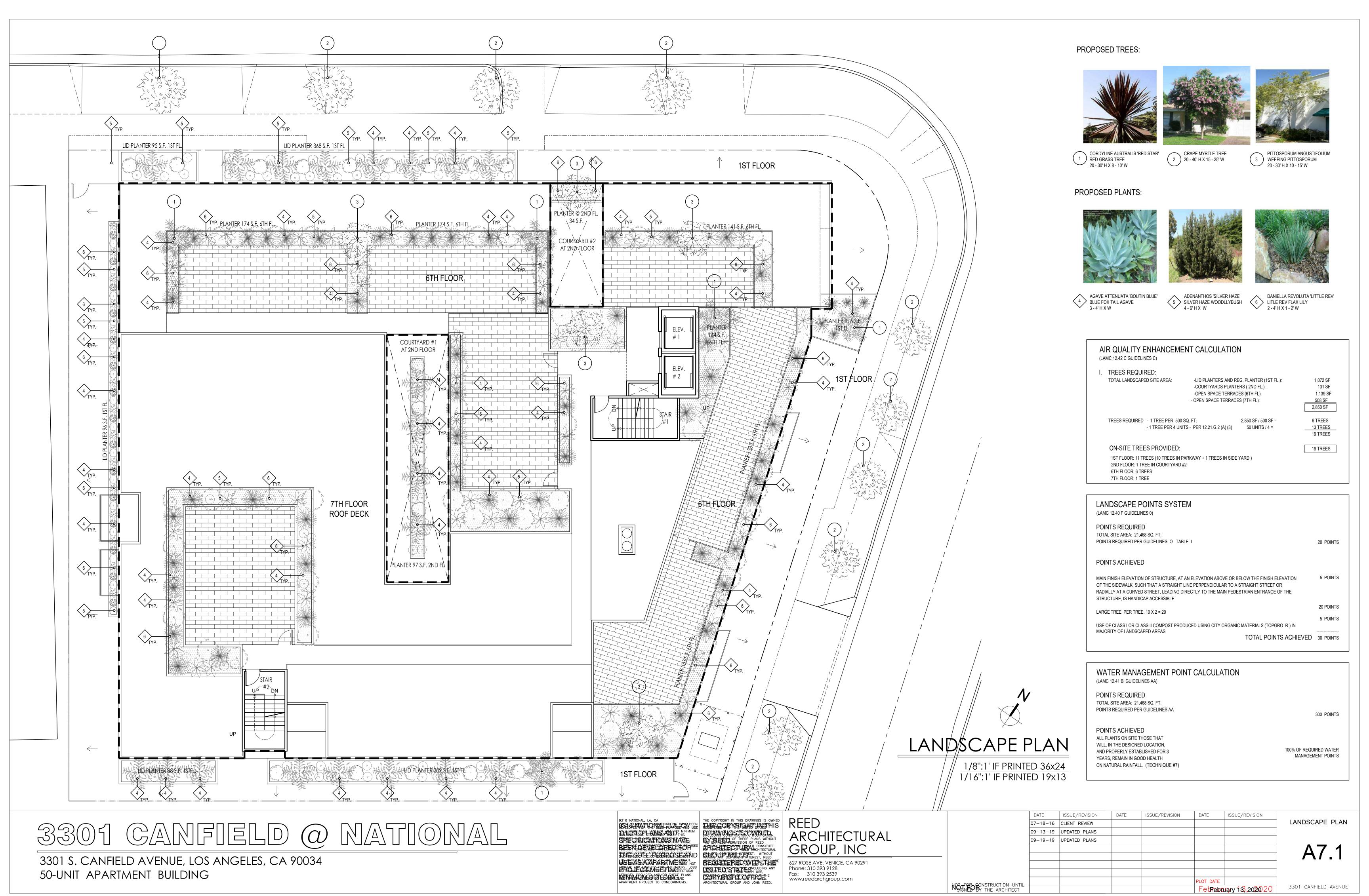
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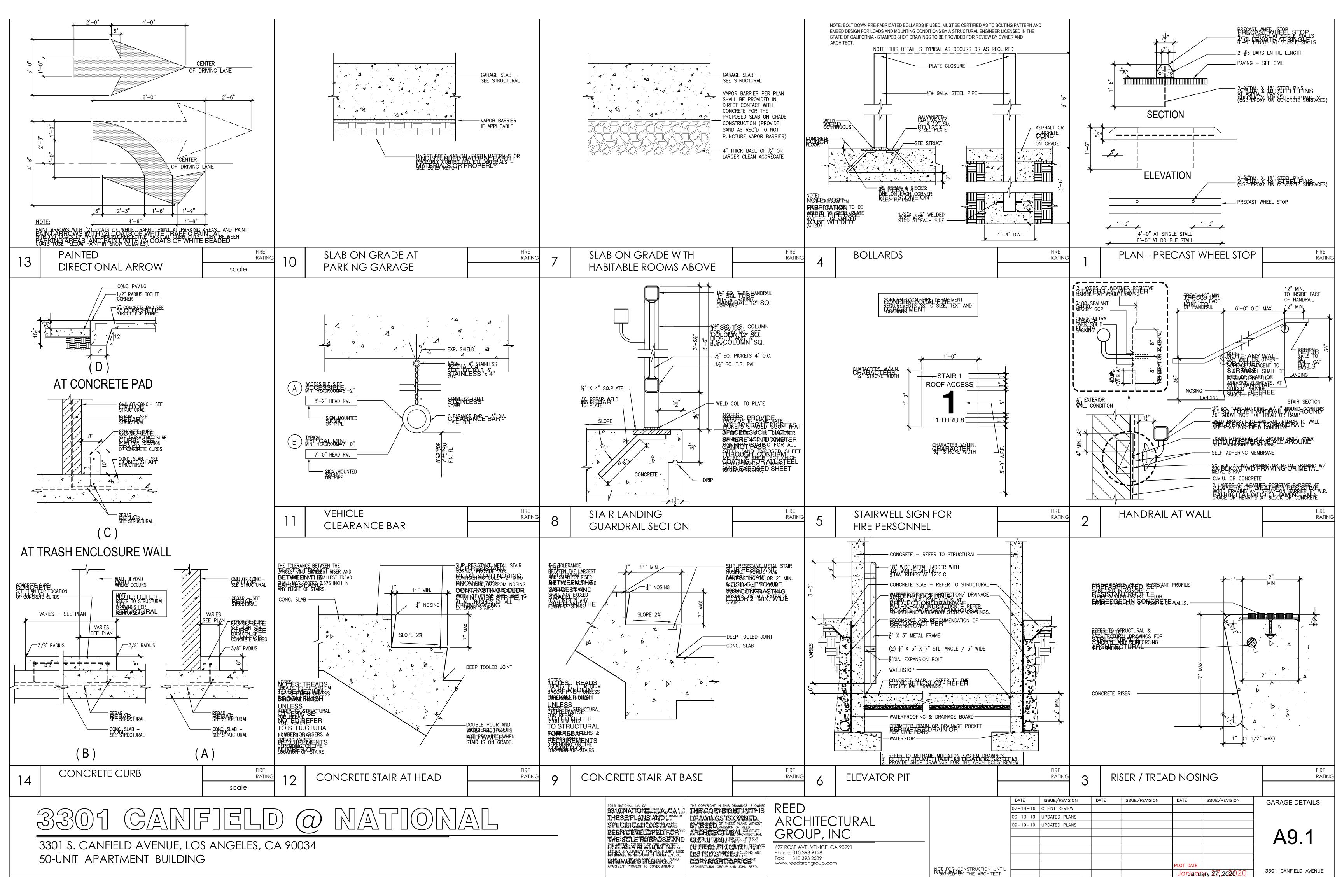
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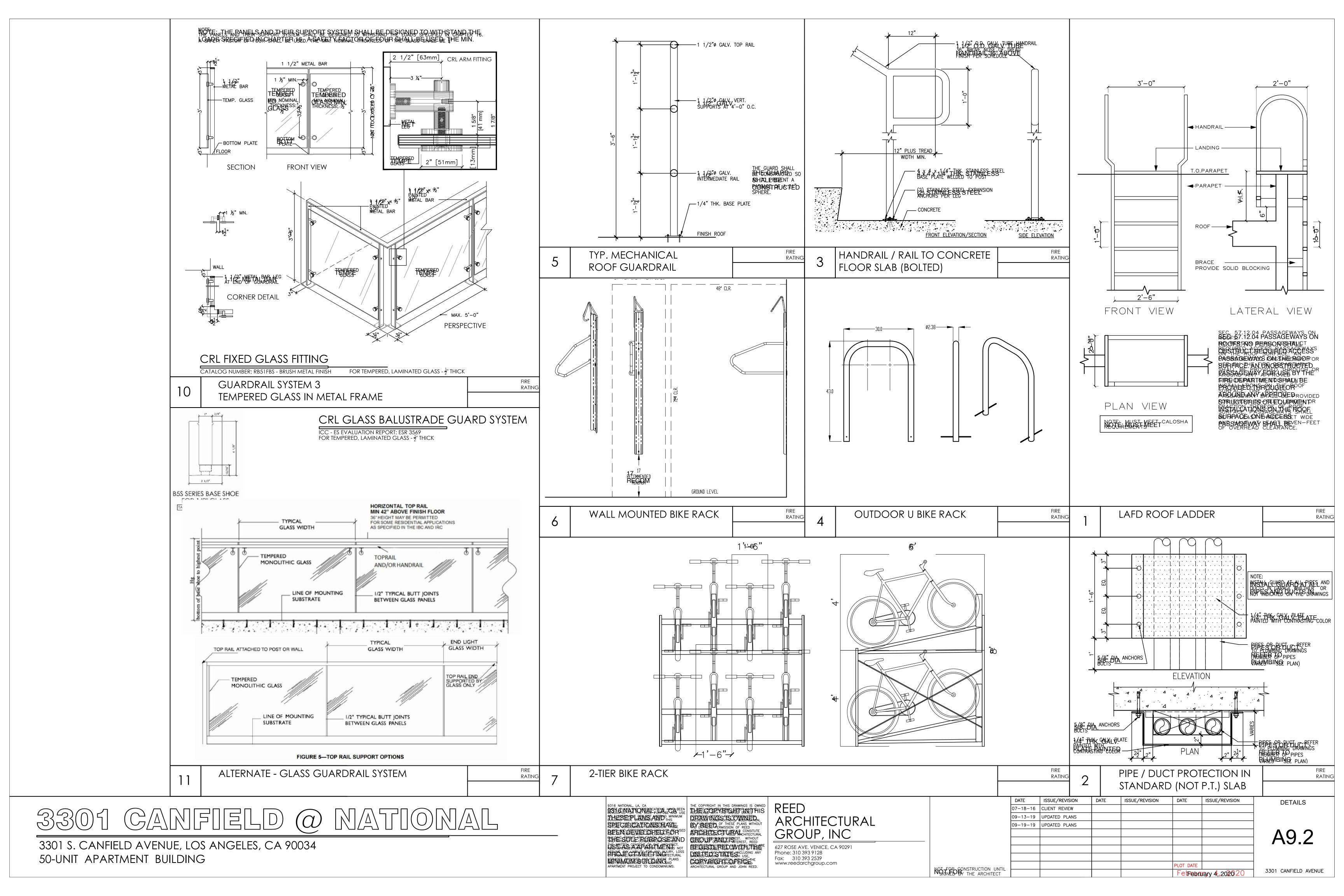
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THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00216886-995-LBO-VE, DATED FEBRUARY 11, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00216886-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 127 OF TRACT 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP IN BOOK 18 PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID

#### APN: 4311-024-013

#### TITLE EXCEPTIONS (ORDER NO.: 00216886-995-LBO-VE):

THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2. CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- A EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES OVER THE REAR OF SAID LAND AS CONDEMNED BY FINAL DECREE OF CONDEMNATION ENTERED IN CASE NO. 590389, SUPERIOR COURT, A CERTIFIED COPY THEREOF BEING RECORDED

RECORDING NO.: BOOK 38409, PAGE 4, OFFICIAL RECORDS

- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- DELETED.

#### DELETED.

PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY.

IN ORDER TO CLOSE THIS PENDING TRANSACTION, WE WILL NEED THE FOLLOWING INFORMATION:

- COMPLETION OF THE ATTACHED OWNER'S DECLARATION
- COMPLETED ESCROW OWNER INFORMATION SHEET
- A STATEMENT FROM ESCROW PROVIDING THE COMPLETE NAME OF THE ACCOUNT THAT PROCEEDS ARE GOING TO.

THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS AND/OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION.

### **COMMENTS**

DATE OF SURVEY. MARCH, 2019

**BOUNDARY LINES.** WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

INDICATES EXCEPTION SHOWN HEREON.

SITE ADDRESS. 9316 & 9324 NATIONAL BLVD., LOS ANGELES, CA 3301 & 3305 SOUTH CANFIELD AVE., LOS AGELES, CA

A.P.N'S. . . . . . . . . . . . 4311-024-013, 4311-024-015, 4311-024-030, 4311-024-031

THE BEARING OF S 88° 46' W ALONG THE CENTERLINE OF NATIONAL BOULEVARD AS BASIS OF BEARINGS . . SHOWN ON TRACT NO. 625, BOOK 18, PAGE 125 OF MAPS, WAS USED AS THE BASIS OF

BEARINGS FOR THIS MAP.

BENCH MARK . . . . CITY OF LOS ANGELES BM # 13-27285: WIRE SPK S CURB NATIONAL BLVD; 4.4 FT E OF BC RET E OF BAGLEY AVE ELEVATION = 125.670 '; NAVD 1988; RECORDED 1985, ADJ. 2000

22,462 SQ. FT. / 0.516 ACRES MORE OR LESS LAND AREA . .

FLOOD INSURANCE THE PROPERTIES ARE ALL LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD

RATE MAP..... INSURANCE RATE MAP NO. 06037C1595G, PANEL 1595 OF 2350, DATED DECEMBER 21,

UTILITIES . . . . . . . LOCATIONS OF UTILITIES SHOWN ON THIS MAP WERE OBTAINED FROM OBSERVED EVIDENCE DURING A FIELD SURVEY. THEY ARE FOR INFORMATION ONLY, NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID

ZONE "X" IS DEFINED AS THE AREA OF MINIMAL FLOOD HAZARD.

INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.

PUBLIC ACCESS. . NATIONAL BOULEVARD AND CANFIELD AVENUE

#### TITLE INFORMATION (ORDER NO.: 00209653-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00209653-995-LBO-VE, DATED JANUARY 11, 2019, AMENDED: JANUARY 22, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING NORTHWESTERLY OF A LINE DRAWN PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT AND THE NORTHEASTERLY PROLONGATION THEREOF FROM A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTERLY 61.50 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID LOT.

EXCEPT ALL CRUDE OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDERED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF SAID LAND AS CONVEYED TO MILDRED JAKES OSBURNE, AN UNMARRIED WOMAN IN DEED RECORDED JULY 29, 1980 AS INSTRUMENT NO.

EXCEPT ALL RIGHT, TITLE AND INTEREST IN AND TO CRUDE OIL PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND. BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF SAID LAND AS GRANTED BY DEED RECORDED FEBRUARY 26, 1986 AS INSTRUMENT NO. 86-250442.

#### APN: 4311-024-015

#### TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):

- PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:

CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-015 FISCAL YEAR: 2018-2019 1ST INSTALLMENT: \$1.755.31 PAID 2ND INSTALLMENT: \$1,755.30 OPEN EXEMPTION: \$0.00 LAND: \$189.764.00 IMPROVEMENTS: \$77,677.00 PERSONAL PROPERTY: \$0.00

- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING
- NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDING NO.: BOOK 27302, PAGE 297, OFFICIAL RECORDS WESTERLY 3 FEET OF SAID LAND

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW

AMOUNT: \$350,000.00 DATED: JUNE 6, 2007 TRUSTOR/GRANTOR: MARTIN LAX TRUSTEE: PRLAP INC **BENEFICIARY:** BANK OF AMERICA LOAN NO.: 68249016641099 RECORDING DATE: JULY 10, 2007 RECORDING NO: 1635709, OFFICIAL RECORDS

THE DEED OF TRUST SET FORTH ABOVE IS PURPORTED TO BE A "CREDIT LINE" DEED OF TRUST. UNDER CALIFORNIA CIVIL CODE SECTION 2943.1 IT IS A REQUIREMENT THAT THE TRUSTOR/GRANTOR OF SAID DEED OF TRUST EITHER IMMEDIATELY PROVIDE THE BENEFICIARY WITH THE "BORROWER'S INSTRUCTION TO SUSPEND AND CLOSE EQUITY LINE OF CREDIT" OR PROVIDE A SATISFACTORY SUBORDINATION OF THIS DEED OF TRUST TO THE PROPOSED DEED OF TRUST TO BE RECORDED AT CLOSING.

IF THE ABOVE CREDIT LINE IS BEING PAID OFF, THIS COMPANY WILL REQUIRE THAT ESCROW OBTAIN WRITTEN CONFIRMATION FROM THE CURRENT BENEFICIARY THAT THE ACCOUNT HAS BEEN FROZEN PRIOR TO RECORDING. FAILURE TO DO SO WILL RESULT IN THIS COMPANY HOLDING FUNDS AT THE CLOSE OF ESCROW UNTIL SUCH CONFIRMATION IS OBTAINED FROM THE BENEFICIARY.

THIS MORTGAGE APPEARS TO BE AN EQUITY LINE MORTGAGE. A FULL SATISFACTION OF SAME MUST BE OBTAINED AND ALL CREDIT CARDS AND/OR THE BALANCE OF VERIFIED UNUSED ACCOUNT CHECKS MUST BE SENT TO THE LENDER TOGETHER WITH A 'CANCELLATION OF EQUITY LINE AFFIDAVIT' FROM THE MORTGAGE INSTRUCTING THE LENDER TO CLOSE THE ACCOUNT.

# DESIGN SURVEY,

#### TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00209992-995-LBO-VE, DATED DECEMBER 18, 2019, AMENDED: JANUARY 4, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00209992-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 128 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE EASTERLY 31 FEET OF THE SOUTHERLY 61.5 FEET OF SAID LOT.

#### APN: 4311-024-030

#### TITLE EXCEPTIONS (ORDER NO.: 00209992-995-LBO-VE):

IMPROVEMENTS: \$121,909.00

PERSONAL PROPERTY: \$0.00

- 1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS: CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-030 FISCAL YEAR: 2018-2019 1ST INSTALLMENT: \$2,758.56 PAID 2ND INSTALLMENT: \$2,758.55 OPEN EXEMPTION: \$0.00 LAND: \$319,518.00
- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2. CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- 4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO: BOOK 5108, PAGE 139, DEEDS SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF A FIRST MORTGAGE OR FIRST DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

#### AND RECORDING NO.: BOOK 5505, PAGE 130, DEEDS

RECORDING NO: 2018-363444, OFFICIAL RECORDS

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, AMOUNT: \$328,500.00

DATED: APRIL 12, 2018 TRUSTOR/GRANTOR: ANDREAS MOLINA, A MARRIED MAN, AS HIS SOLE AND SEPARATE PROPERTY TRUSTEE: OLIVIA TODD BENEFICIARY: U.S. BANK NATIONAL ASSOCIATION LOAN NO.: NONE SHOWN RECORDING DATE: APRIL 16, 2018

#### TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 002014773-995-LBO-VE, DATED JANUARY 11, 2019, AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING SOUTHEASTERLY OF A LINE DRAWN PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT, AND THE NORTHEASTERLY PROLONGATION THEREOF, FROM A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTERLY 61.50 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID LOT, AND THE EASTERLY 31 FEET OF THE SOUTHERLY 61.5 FEET OF LOT 128 OF SAID TRACT 625.

#### APN: 4311-024-031

#### TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):

- 1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- 2. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:

CODE AREA:

TAX IDENTIFICATION NO.: 4311-024-031FISCAL YEAR:2018-2019 1ST INSTALLMENT: \$1,220,38 PAID 2ND INSTALLMENT: \$1,220.37 OPEN

EXEMPTION: \$0.00 \$187,468.00 IMPROVEMENTS: \$1,464.00 PERSONAL PROPERTY: \$0.00

THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- 4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES BOOK 26457, PAGE 266, OFFICIAL RECORDS RECORDING NO.:

THE WESTERLY 5 FEET OF SAID LAND NO REPRESENTATION IS MADE AS TO THE PRESENT OWNERSHIP OF SAID EASEMENT

SURVEYOR'S NOTE: EASEMENT IS PLOTTED HEREON PER TITLE REPORT DESCRIPTION, HOWEVER THE RECORDED DOCUMENT HAS NOT BEEN MADE AVAILABLE TO SURVEYOR AS OF THE DATE HEREON FOR CONFIRMATION.

#### 6. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

**EXECUTED BY:** EDWARD SHAPIRO AND HERTA SHAPIRO IN FAVOR OF: CITY OF LOS ANGELES BOOK 56037, PAGE 4, OFFICIAL RECORDS RECORDING NO.:

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

EXECUTED BY: SARMAN CHANNEL ISLAND LTD I IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: OCTOBER 9, 1990 RECORDING NO.: 1990-1714752, OFFICIAL RECORDS

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

#### AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

**EXECUTED BY:** SARMAN CHANNEL ISLAND LTD I IN FAVOR OF: CITY OF LOS ANGELES OCTOBER 9, 1990 RECORDING DATE: 1990-1714754, OFFICIAL RECORDS RECORDING NO.:

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

#### TITLE EXCEPTIONS (CONTINUED):

9. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

SARMAN CHANNEL ISLAND LTD I EXECUTED BY: IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: OCTOBER 9, 1990 RECORDING NO.: 1990-1714755, OFFICIAL RECORDS

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

#### 10. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

SARMAN CHANNEL ISLAND LTD I (CALIFORNIA PARTNERSHIP)

IN FAVOR OF: CITY OF LOS ANGELES OCTOBER 12, 1990 RECORDING DATE:

RECORDING NO.: 1990-1742585, OFFICIAL RECORDS

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT

11. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR

PUBLIC STREET PURPOSE(S): OCTOBER 24, 1990 RECORDING DATE: RECORDING NO.: 1990-1801610, OFFICIAL RECORDS

UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

THE NORTHERLY 3 FEET OF LOT 128

SAID EASEMENT WAS ACCEPTED FOR PUBLIC USE BY A RESOLUTION:

RECORDING DATE: OCTOBER 29, 1991 RECORDING NO.: 1991-1708866, OFFICIAL RECORDS

SURVEYOR'S NOTE: THIS ITEM WIDENED PORTIONS OF NATIONAL BOULEVARD AND CANFIELD AVENUE, AND IS SHOWN BY THE RIGHT OF WAY WIDTH CHANGES HEREON.

12. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

EXECUTED BY: SARMAN CHANNEL ISLAND LTD. I JAMES E. MANN, GENERAL PARTNER

IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: DECEMBER 11, 1991 1991-1947204, OFFICIAL RECORDS RECORDING NO.:

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

#### 13. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW,

AMOUNT: \$115,650.00

DATED: MARCH 23, 1995 TRUSTOR/GRANTOR: AARON LAX AND MYRA SHIRLEY LAX

VERDUGO SERVICE CORPORATION, A CALIFORNIA CORPORATION TRUSTEE:

GLENDALE FEDERAL BANK, FEDERAL SAVINGS BANK BENEFICIARY:

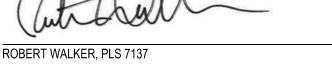
LOAN NO.: 7326287 MARCH 29, 1995 RECORDING DATE:

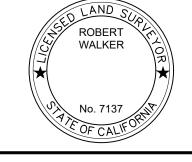
1995-445465, OFFICIAL RECORDS RECORDING NO:

AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN

MYRA SHIRLEY LAX AND GLENDALE FEDERAL BANK, FEDERAL SAVINGS EXECUTED BY:

JULY 8, 1998 RECORDING DATE: 1998-1145175, OFFICIAL RECORDS RECORDING NO.:





## **CANFIELD AVENUE & NATIONAL BOULEVARD**

PREPARED FOR: **OAKMONT PROPERTIES** OAKM00004009 BAH CHECKED BY:

640 S. SAN VINCENTE BLVD., STE 350 LOS ANGELES, CA 90048

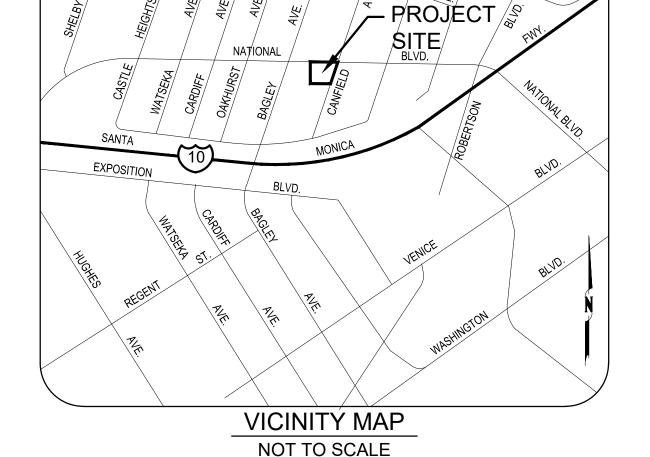
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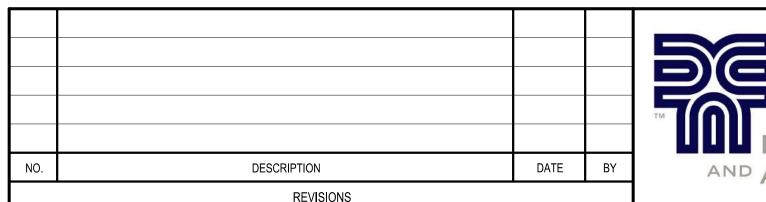
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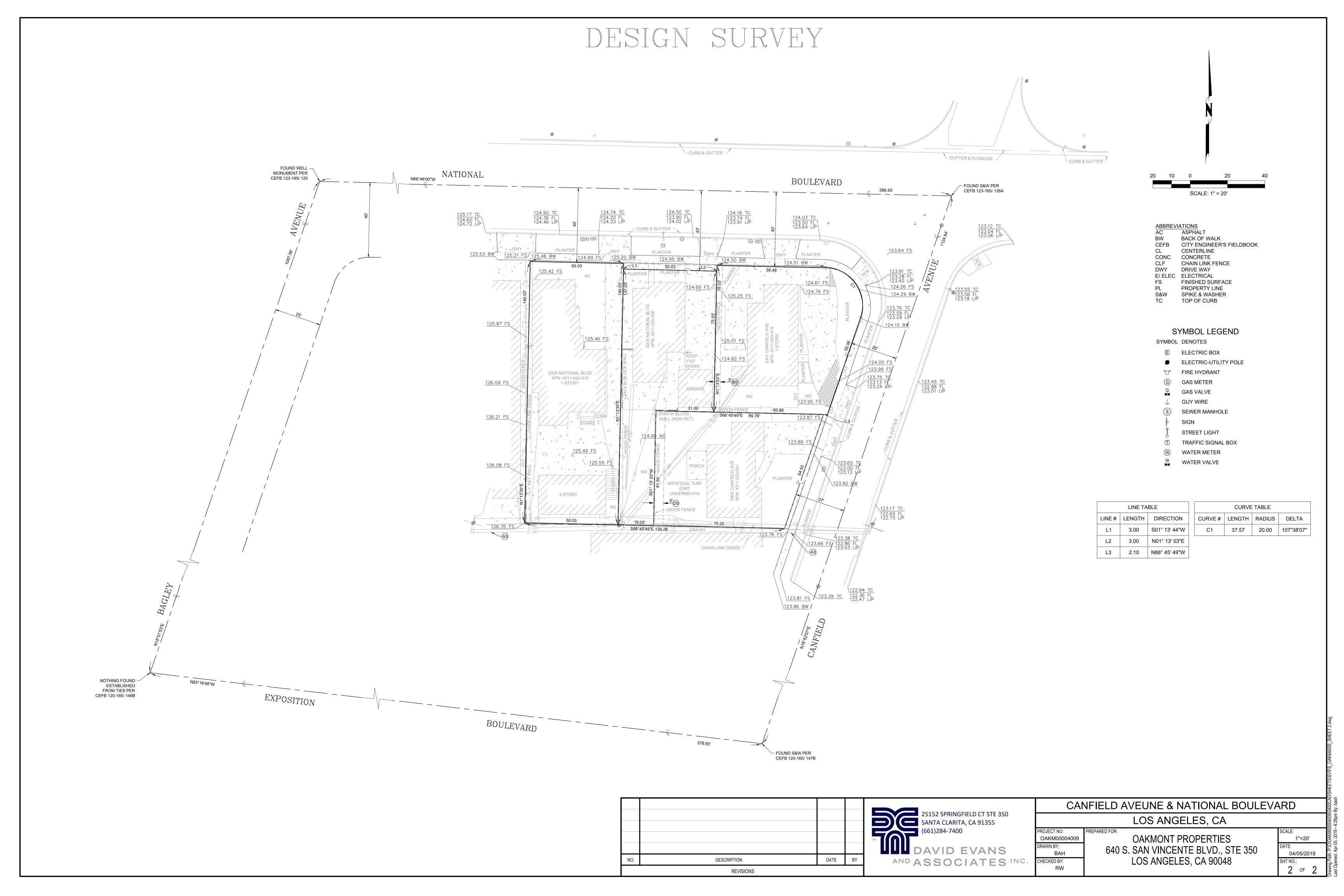




LOS ANGELES, CA ROJECT NO:

04/05/2019 1 of 2

1'=20"



# 3301 CANFIELD AVE.

NEW 100% PRIVATELY FUNDED: RESIDENTIAL TOC TIER 3 PROJECT CONSISTING OF 6 STORIES 50 DWELLING UNITS OVER GROUND LEVEL PARKING GARAGE.

BASE INCENTIVES + 3 ADDITIONAL INCENTIVES:

50-UNIT APARTMENT BUILDING

#### (1) YARDS REDUCTION (FRONT&REAR), (2) HEIGHT INCREASE, (3) OPEN SPACE REDUCTION. PROJECT INFORMATION: PROJECT RENDERING REQUIRED RESIDENTIAL PARKING PER TOC - TIER 3: LEGAL DESCRIPTION PARKING REQUIRED 3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 TOTAL RQUIRED DESCRIPTION OF LOTS LEGAL DESCRIPTION 0.5 CARS / UNIT 0.5 X 50 25 CARS ADDRESS BLOCK TRACT APN AREA 7,000.1 SQ. FT. PER ZIMAS 9324 W. NATIONAL BLVD. NONE 625 4311-024 -013 25 CARS 25 CARS REQUIRED: 4,943.6 SQ.FT. PER ZIMAS 9316 W. NATIONAL BLVD. NONE 625 4311-024 -030 1 EV VAN ACCESSIBLE 4311-024 -015 5,583.6 SQ.FT. PER ZIMAS 3301 S. CANFIELD AVE. FR129 ARB1 NONE 625 3,010.9 SQ.FT. PER ZIMAS 3305 S. CANFIELD AVE FR129 ARB2 NONE 625 4311-024 -031 22 STANDARD 1,906.5 SQ.FT. PER ZIMAS FR128 ARB2 NONE 625 4311-024 -031 LOT AREA (SQ.FT.): 22,444.8 SQ.FT. PER ZIMAS PARKING PROVIDED: STANDARD COMPACT EV ACCESIBLE **FLOOR** WEST PROPERTY LINE = 129.98' GROUND LEVEL 25 (12X2+1) R3-1 TOC TIER 3 50 CARS BICYCLE PARKING REQUIRED; ORDINANCE # 185480 RESIDENTIAL PROPOSED USE R-2 RESIDENTIAL / S-2 PARKING 1 SPACE / 1 UNIT (FOR 1-25 UNITS) x 25 UNITS = 25 1 SPACE / 10 UNITS (FOR 1-25 UNITS) x 25 UNITS = 3 45' + 22' (TOC -TIER 3 ADDITIONAL INCENTIVE FOR HEIGHT INCREASE) = 67'. 15' STREET SIDE SETBACK ABOVE 56 67 FT WITH 15' STREET SIDE, STEP BACK ABOVE 56' 10' BUILDING LINE - ALONG NATIONAL BLVD. (INCLUDING 3FT. DEDICATION) - NORTH PROPERTY L SPRINKLER EQUIPMENT 10'-6" (INSIDE YARD ALONG THE WEST PROPERTY LINE) TOC 30% REDUCTION FROM THE ORIGINAL 15 LOT AREA: SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. (903.2 AFTER DEDICATION: 21,468 SQ.FT THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. (903.2) 22,444.7 SQ.FT. LOT AREA BEFORE DEDICATIONS / 800 = 28.056 (28 BASE UNITS) => ROUND UP TO 29 UNITS (TOC DENS. INCR. CALC. FIRE ALARM SYSTEM TO BE PROVIDED PER CFC 907 29 X 1.7 (TIER 3 BASE INCENTIVE) = 49.3 ROUND UP TO 50 UNITS (MAX. ALLOWABLE BY DENSITY INCREASE) PROPOSED NUMBER OF UNITS: 50 UNITS (THREE BEDROOM UNITS) EMERGENCY RESPONDER RADIO TO BE PROVIDED PER CFC 510 AFFORDABLE UNITS: 5 UNITS (10% OF TOTAL UNITS) SHALL BE SET ASIDE FOR EXTREMELY LOW INCOME HOUSEHOLDS VICINITY MAP SHEET INDEX FLOOR AREA RATIO (F.A.R.): 16,368 SQ.FT BUILDABLE AREA BEFORE DEDICATION \*4.5 (3\*50% PER TIER 3 BASE INCENTIVES) = 73,656 SQ. FT. 69,851 SQ. FT. (1,626 SF (1ST FLOOR) + 14,755 SF \*4 (2ND, 3RD, 4TH & 5TH) + 9,205 (6TH)) OPEN SPACE: OPEN SPACE REQUIRED BEFORE TOC INCENTIVE: 50 THREE BEDROOM UNITS \* 175 S.F. = 8,750 S.F. **COVER SHEET** OPEN SPACE REQUIRED AFTER TOC INCENTIVE: .75 \* 8,750 SF = 6,562.5 SF C1 SURVEY TOTAL OPEN SPACE REQUIRED = 8,750 S.F. (BEFORE TOC INCENTIVE SPACE REDUCTION) A2.0 SITE PLAN TOTAL OPEN SPACE REQUIRED PER TOC: .75 \* 8,750= 6,562.5 SF FIRST FLOOR PLAN OPEN SPACE PROVIDED: LOCATION HABITABLE SPACE / LANDSCAPE AREA (25% MIN.) SECOND FLOOR PLAN PRIVATE : 2500 SF 50 PRIVATE BALCONIES (50X50 SF) 2,500 S.F. THIRD FLOOR PLAN FOURTH FLOOR PLAN ROOF DECK (COMMON SPACE #1) AT SIXTH FLOOR 509 S.F. / 174 S.F. (25% PLANTER) 683 S.F. FIFTH FLOOR PLAN ROOF DECK (COMMON SPACE #2) AT SIXTH FLOOR 509 S.F. / 174 S.F. (25% PLANTER SIXTH FLOOR PLAN 406 S.F. / 141 S.F. (25% PLANTER) ROOF DECK (COMMON SPACE #3) AT SIXTH FLOOR COMMON : 4124 SF **ROOF PLAN** Canfield Apartmer ROOF DECK (COMMON SPACE #4) AT ROOF LEVEL 1,188 S.F. 735 S.F. / 453 S.F. (38% PLANTER) **NORTH & WEST ELEVATIONS** ROOF DECK (COMMON SPACE #5) AT ROOF LEVEL 669 S.F. / 360 S.F. (34.9% PLANTER) **SOUTH & EAST ELEVATIONS BUILDING SECTIONS A-A & B-B** 9316 National Boulevard 6,630 S.F. TOTAL OPEN SPACE PROVIDED PHOTO KEY MAP FLOOR AREA PER BUILDING CODE CONSTRUCTION TYPE A6.2 SITE PHOTOS SITE PHOTOS **PROJECT** OWNER / CONSULTANTS LANDSCAPE PLAN (EXCLUDES EXT. WALL, FIRE WALLS, VENT SHAFT AND COURTS. 5 STORIES OF TYPE IIIA CONSTRUCTION (R2 OCCUPANCY) OVER 1 INCLUDES AREAS UNDER ROOF OR FLOOR OVERHANGS.) LEVEL OF GROUND LEVEL PARKING TYPE IA CONSTRUCTION (S2 OWNER: OAKMONT CAPITAL **PROPOSED** ALLOWED AREA 3HR SEPARATION BETWEEN TYPE IA AND TYPE IIIA CONSTRUCTION AREA 8721 SANTA MONICA BLVD., #224 LA FIRST FLOOR TYPE I-A UNLIMITED 15,687 S.F. APPLICABLE CODE ARCHITECT: REED ARCHITECTURAL GROUP R-2 13,194 S.F. SECOND FLOOR 657 ROSE AVE, VENICE CA 90291 R-2, TYPE IIIA 24,000 S.F 13,194 S.F THIRD FLOOR PHONE: (310) 393 - 9128 STORY CALIFORNIA BUILDING CODE - 2016 EDITION 13,194 S.F FOURTH FLOOR S-2: UNLIMITED DAVID EVANS AND ASSOCIATES INC LOS ANGELES BUILDING CODE - LATEST EDITION WITH AMENDMENTS 25152 SPRINGFIELD COURT 13,194 S.F. ZONING CODE (CHAPTER 1 OF THE LOS ANGELES MUNICIPAL CODE FIFTH FLOOR SANTA CLARITA, CA 91355 2000 EDITION OF THE PLANNING AND ZONING CODE FROM AMERICAN PHONE: (818) 284 - 7400 R-2 IIIA 8,628 S.F. LEGAL PUBLISHING CORPORATION. SIXTH FLOOR PLAN R-2, TYPE IIIA TOTAL 77,091 S.F. 4X24.000 = 96.000COVER SHEET ISSUE/REVISION DATE ISSUE/REVISION DATE ISSUE/REVISION 9316 NATIONAL, LA, CA THESE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE SOLE PURPOSE AND USE AS A APARTMENT PROJECT MEETING MINIMUM BUILDING CODE STANDARDS ONLY. THIS PROJECT HAS NOT BEEN DESIGNED FOR OR PUBLICATION OF THESE PLANS WITHOU 3301 CANFIELD @ NATIONAL 07-18-16 | CLIENT REVIEW **ARCHITECTURAL** 09-19-19 UPDATED PLANS THE EXPRESS PERMISSION OF REED ARCHITECTURAL GROUP WOULD CONSITUTE AN INFRINGEMENT OF REED ARCHITECTURA LANS AND SPECIFICATIONS MAY NOT BE US DR ANY ENTITLEMENT APPLICATION OR UILDING PERMIT APPLICATION TO CONVERT AID PROJECT TO CONDOMINIUMS WITHOUT GROUP, INC A1.0GROUP'S COPYRIGHT INTEREST. WITHOU WAIVING ANY COPYRIGHT INTEREST, REED 3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034

NOT RESPONSIBLE FOR ANY USE OF THES PLANS FOR ANY PURPOSE, INCLUDING ANY DAMAGES ARISING FROM SUCH USE,

INCLUDING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF REED ARCHITECTURAL GROUP AND JOHN REED.

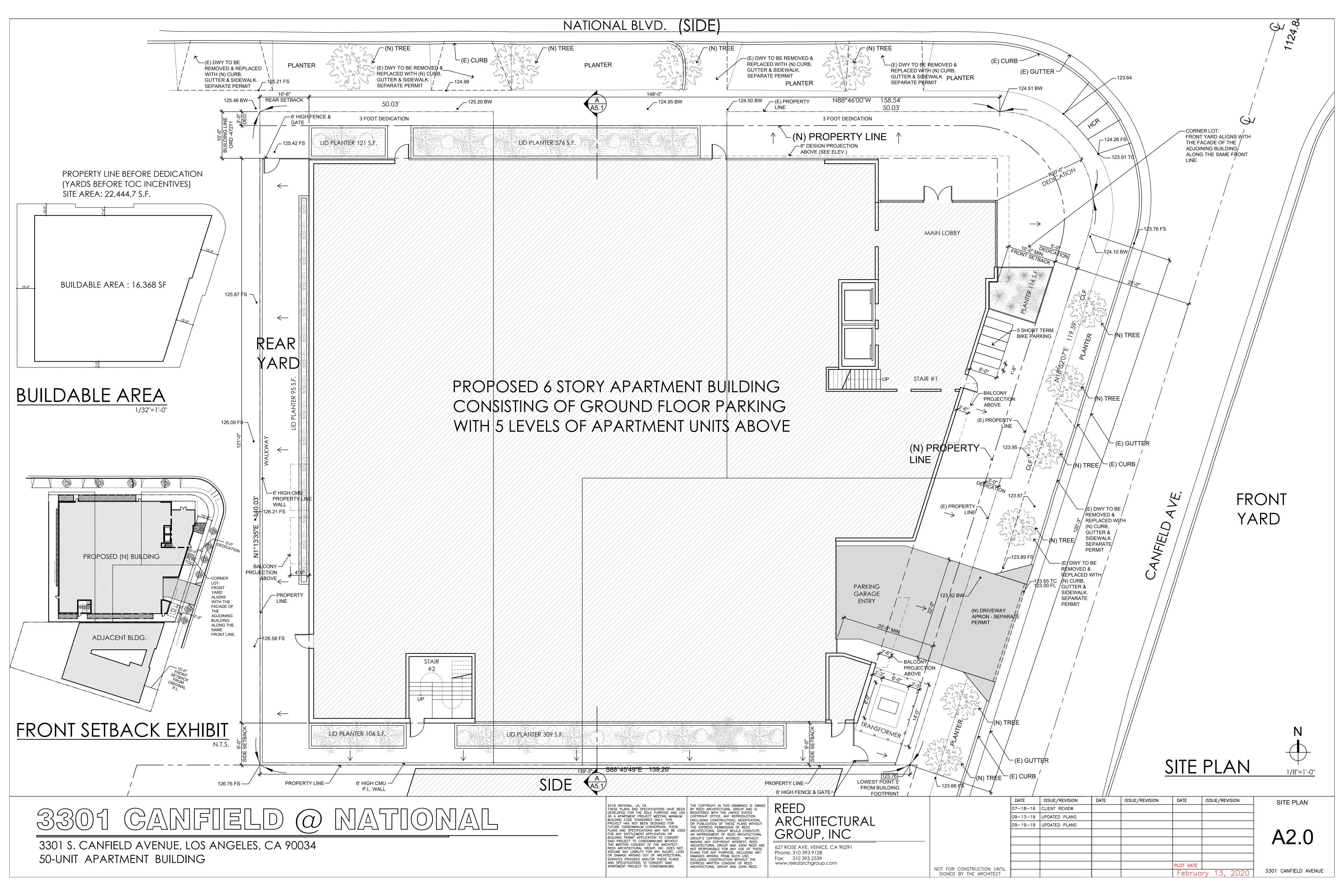
ERVICES PROVIDED AND/OR THESE PLANS

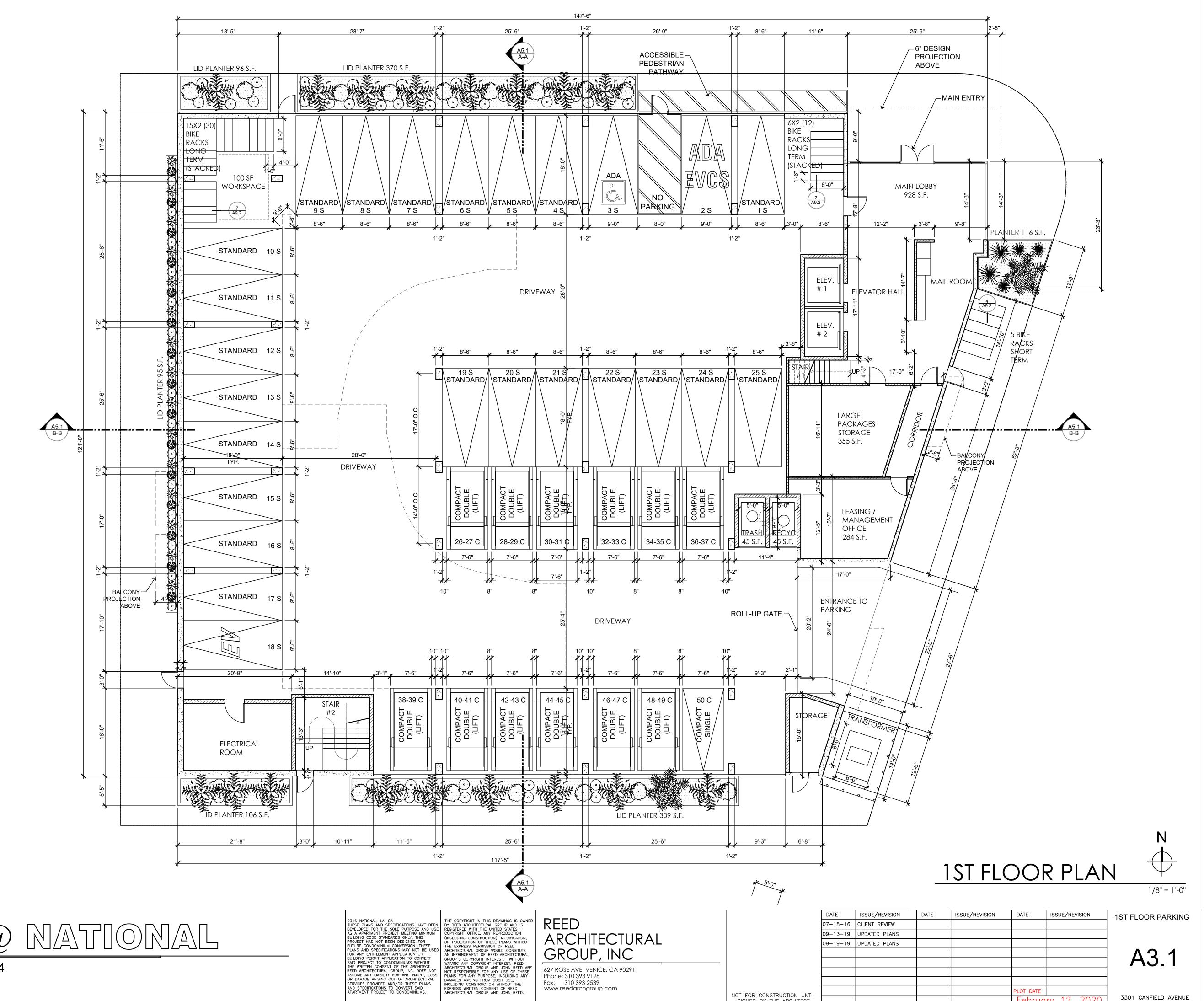
Phone: 310 393 9128

Fax: 310 393 2539

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SIGNED BY THE ARCHITECT





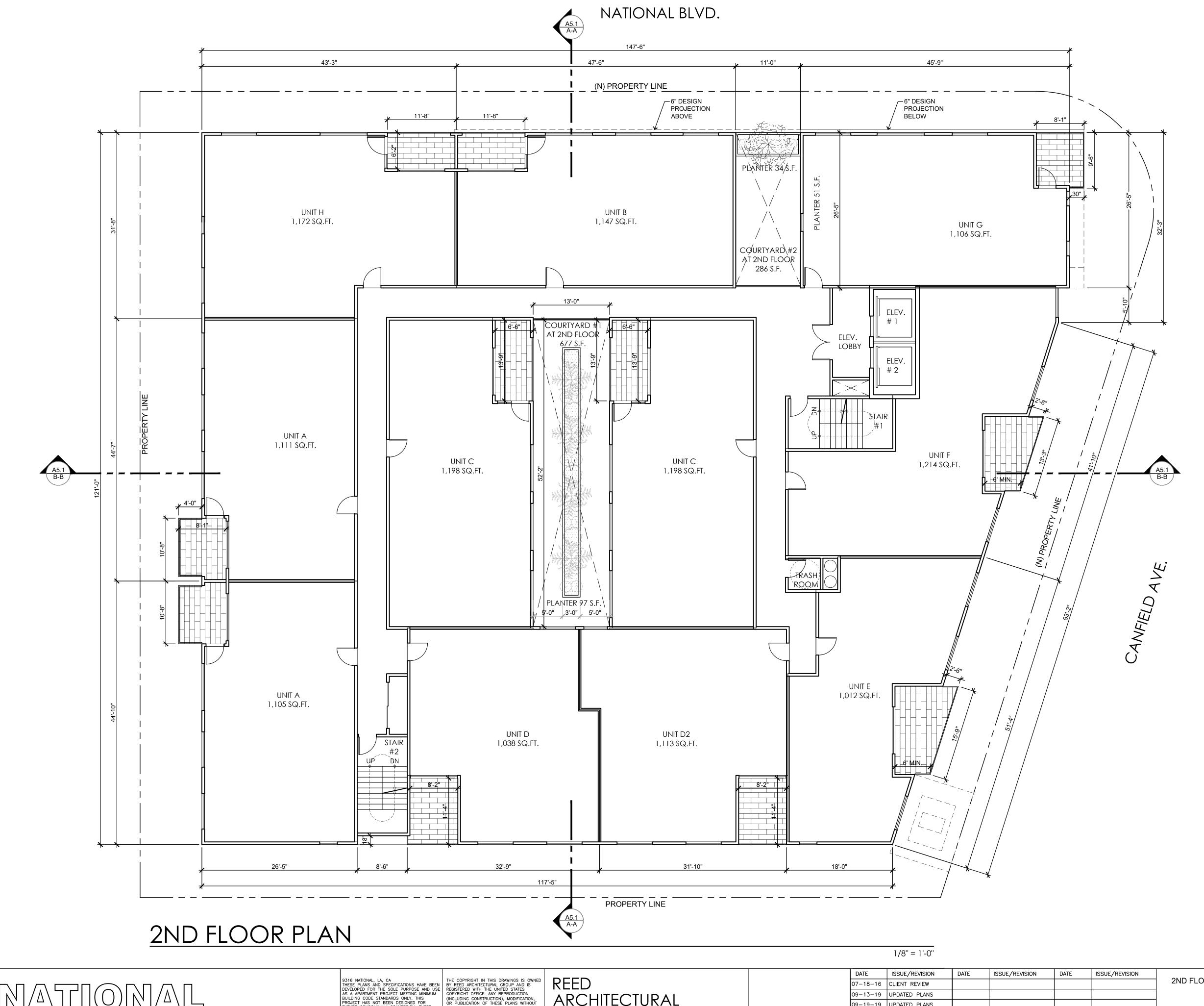
3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

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Fax: 310 393 2539
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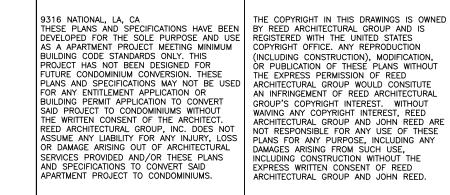
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February 12, 20

A3.1



3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

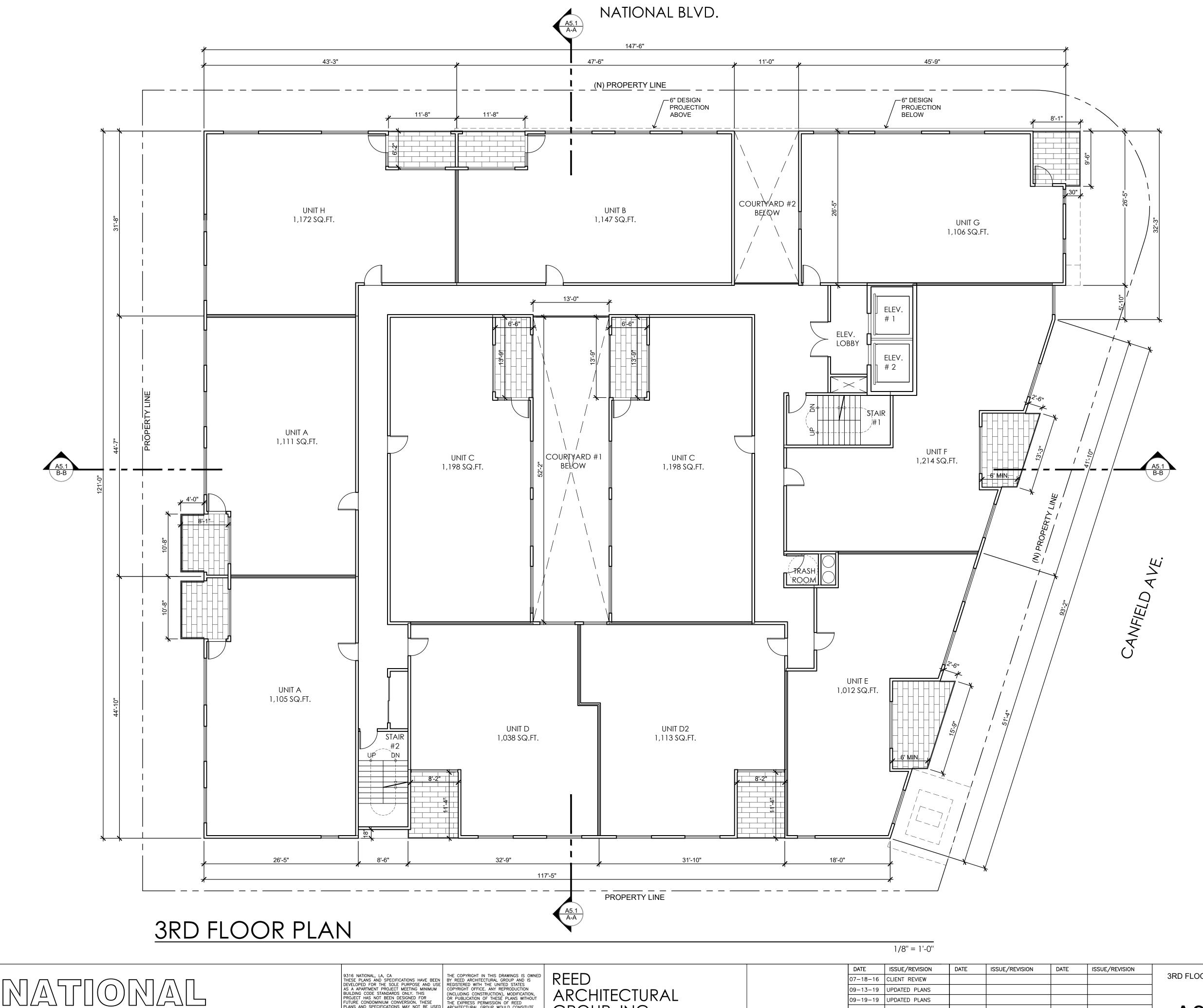


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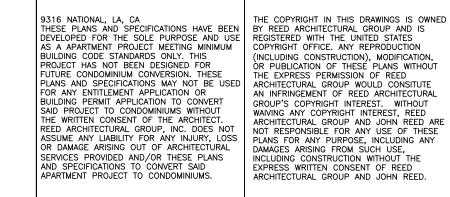
09-19-19 UPDATED PLANS NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

2ND FLOOR PLAN

A3.2



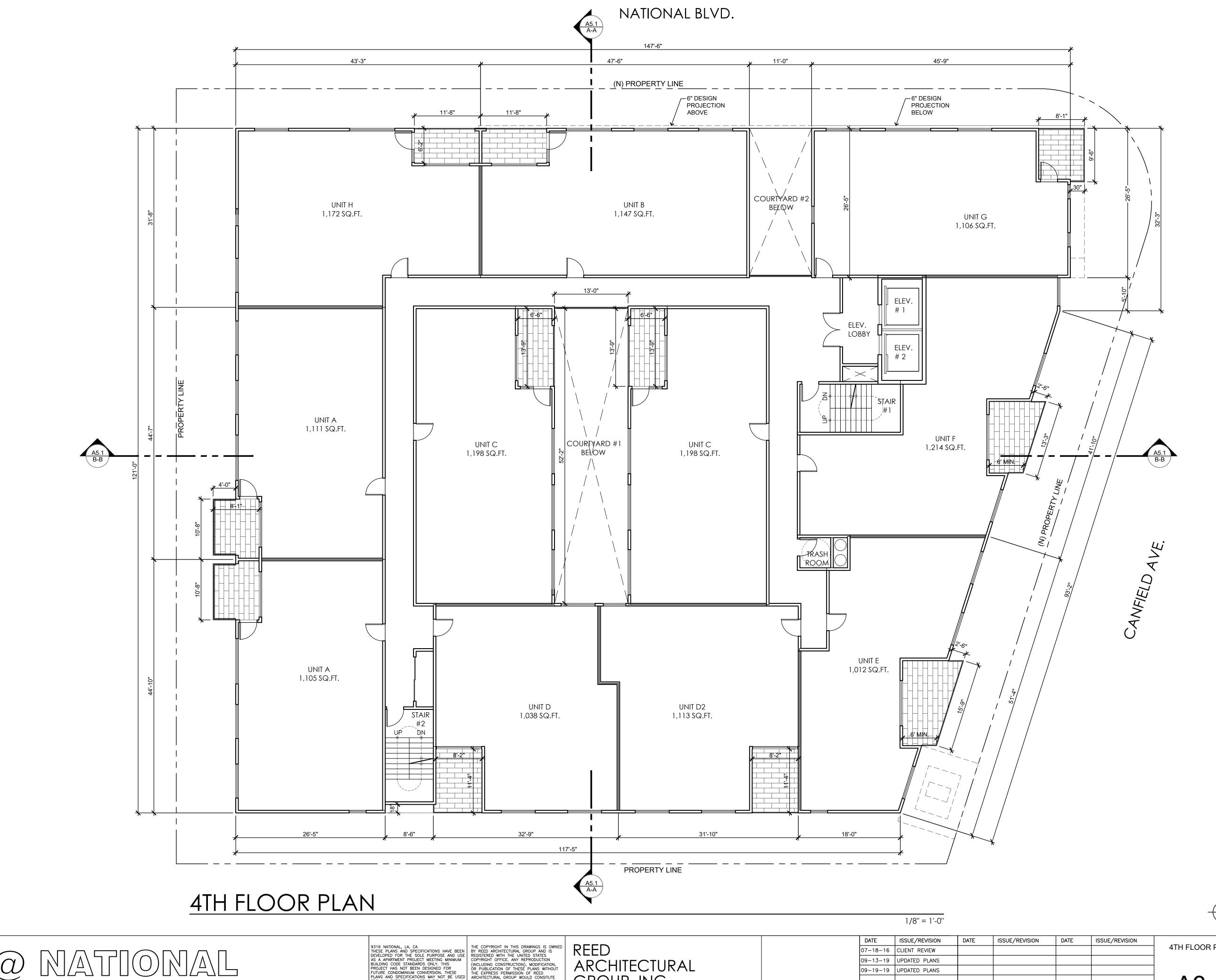
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3RD FLOOR PLAN A3.3



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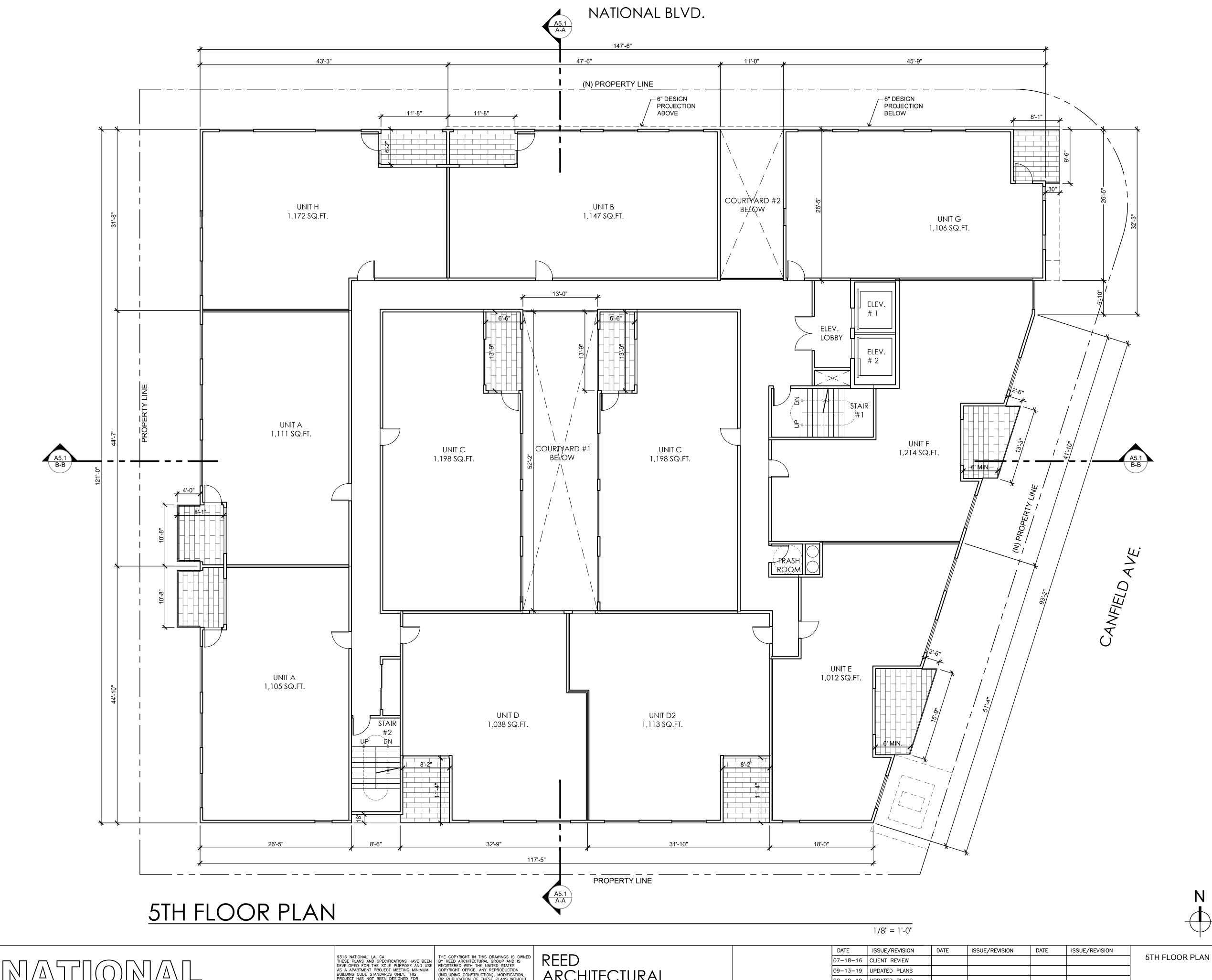
9316 NATIONAL, LA, CA
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AS A APARTMENT PROJECT MEETING MINIMUM
BUILDING CODE STANDARDS ONLY. THIS
PROJECT HAS NOT BEEN DESIGNED FOR
FUTURE CONDOMINIUM CONVERSION. THESE
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4TH FLOOR PLAN A3.4



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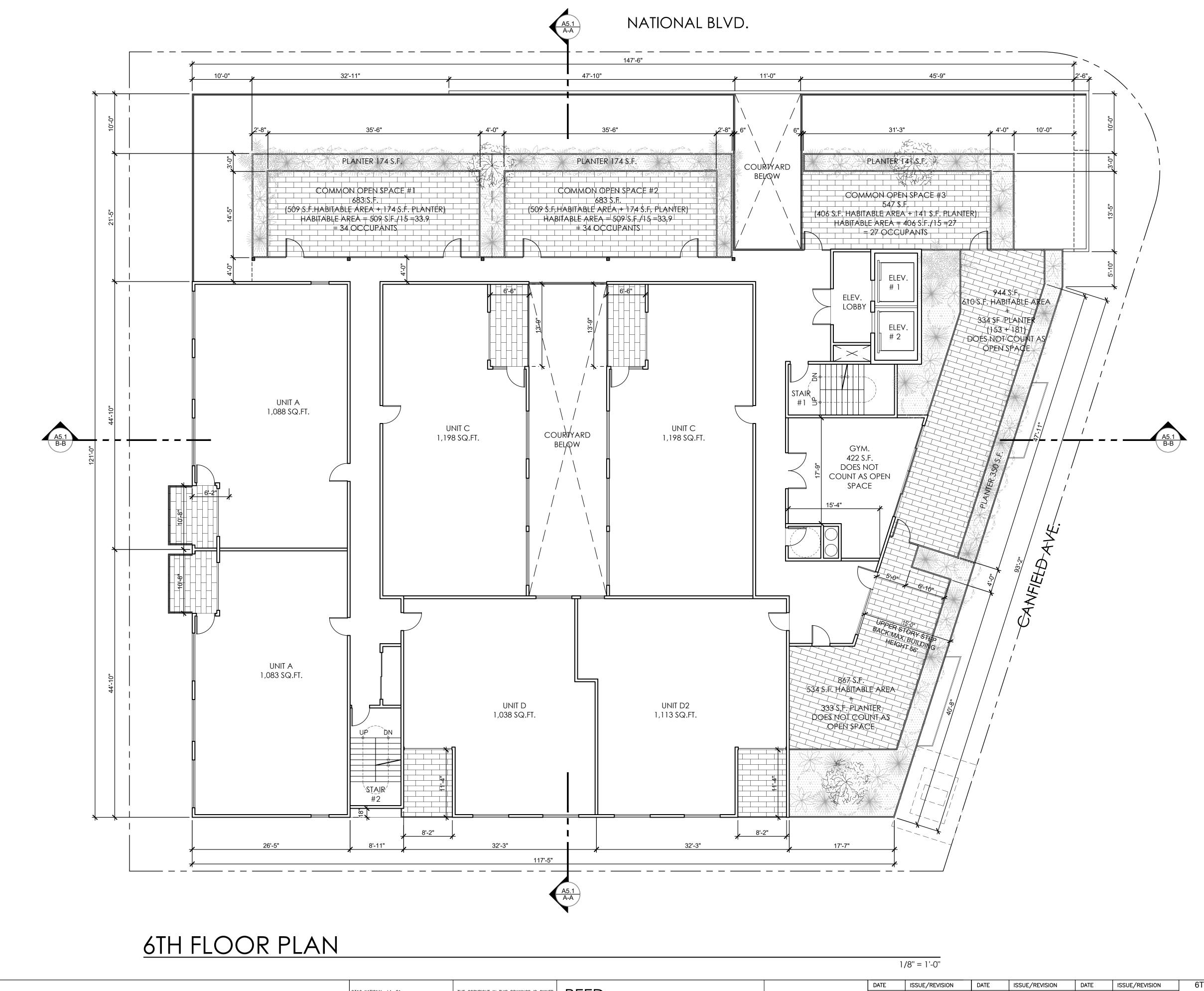
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NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

09-19-19 UPDATED PLANS

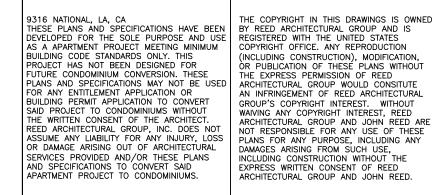
A3.5



6TH FLOOR PLAN

3301 CANFIELD @ NATIONAL

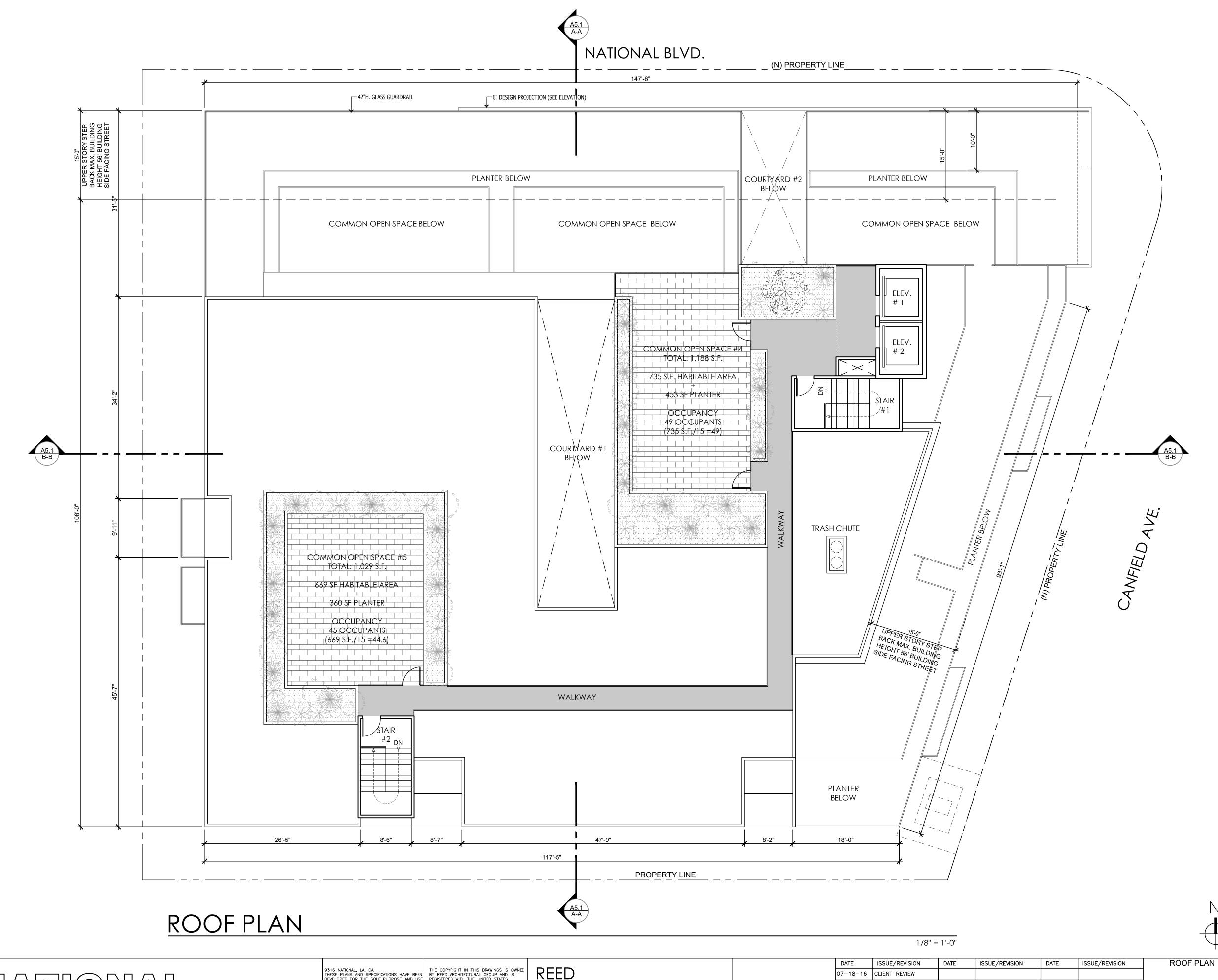
3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034	-
50-UNIT APARTMENT BUILDING	



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07-18-16 | CLIENT REVIEW 09-19-19 UPDATED PLANS NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

A3.6



3301 S. CANFIELD AVENUE, LOS ANGELES, CA 90034 50-UNIT APARTMENT BUILDING

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PROJECT HAS NOT BEEN DESIGNED FOR
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PLANS AND SPECIFICATIONS MAY NOT BE USED
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BUILDING PERMIT APPLICATION TO CONVERT
SAID PROJECT TO CONDOMINIUMS WITHOUT
THE WRITTEN CONSENT OF THE ARCHITECT.
REED ARCHITECTURAL GROUP, INC. DOES NOT
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OR DAMAGE ARISING OUT OF ARCHITECTURAL
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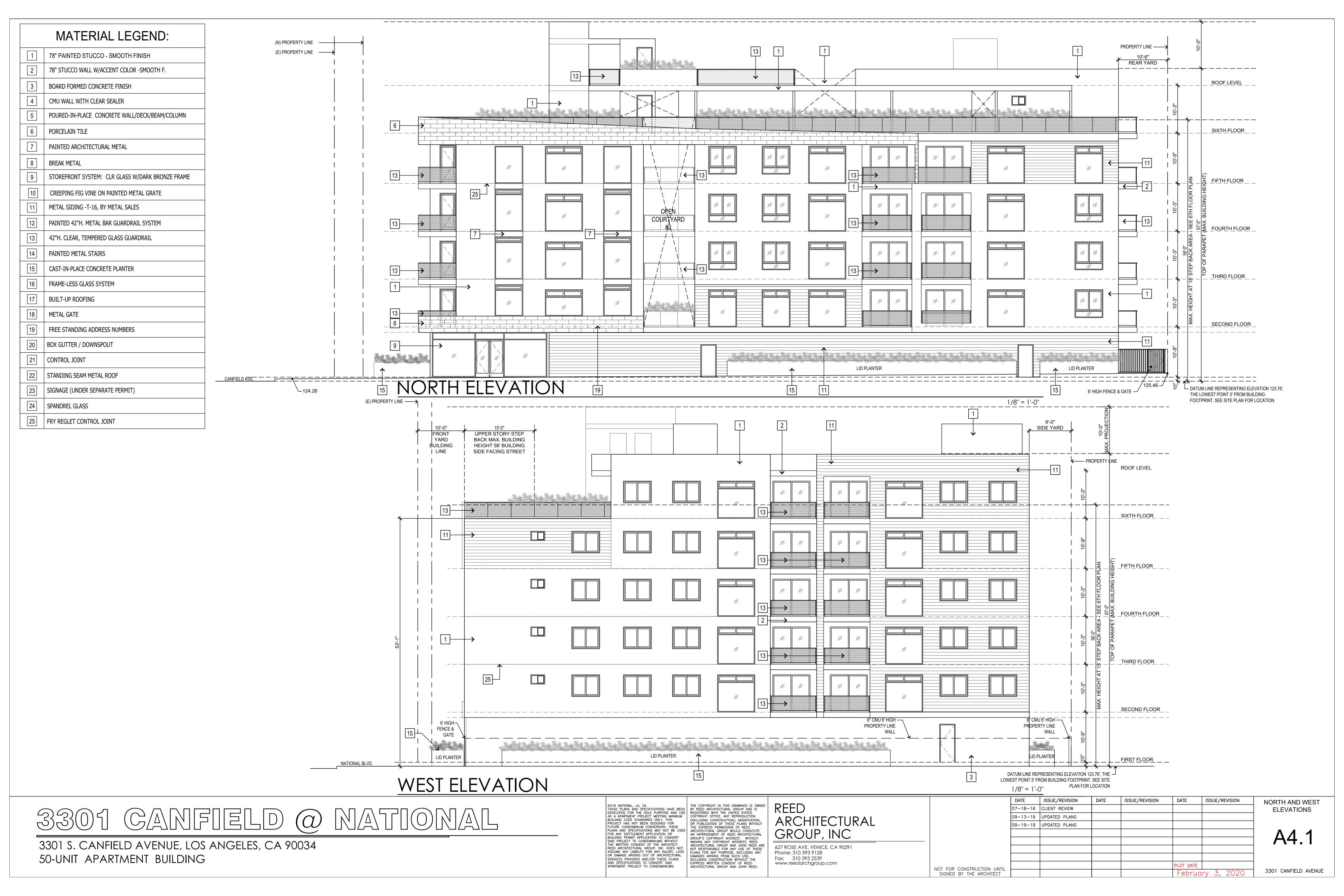
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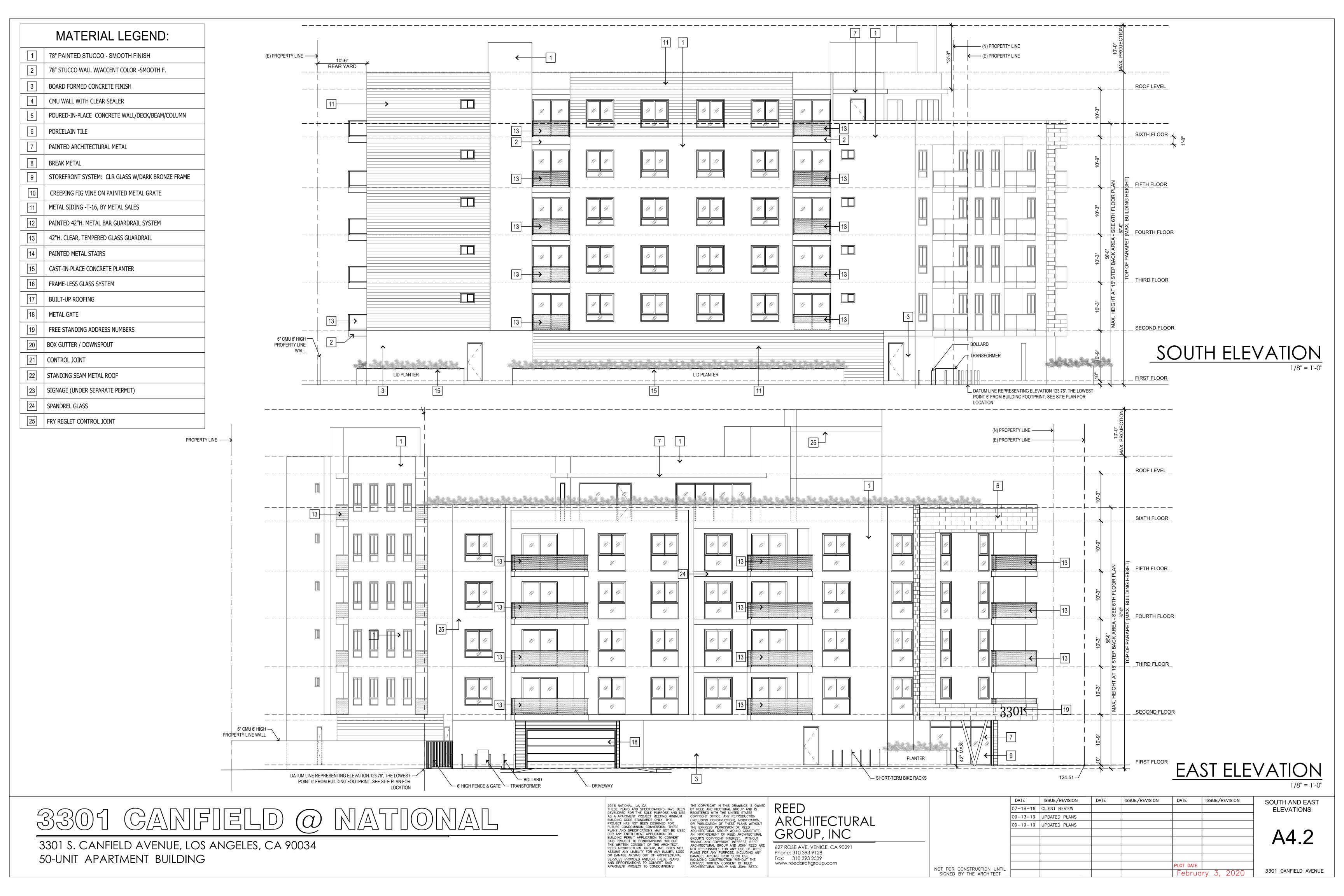
REED ARCHITECTURAL GROUP, INC 627 ROSE AVE. VENICE, CA 90291 Phone: 310 393 9128
Fax: 310 393 2539
www.reedarchgroup.com

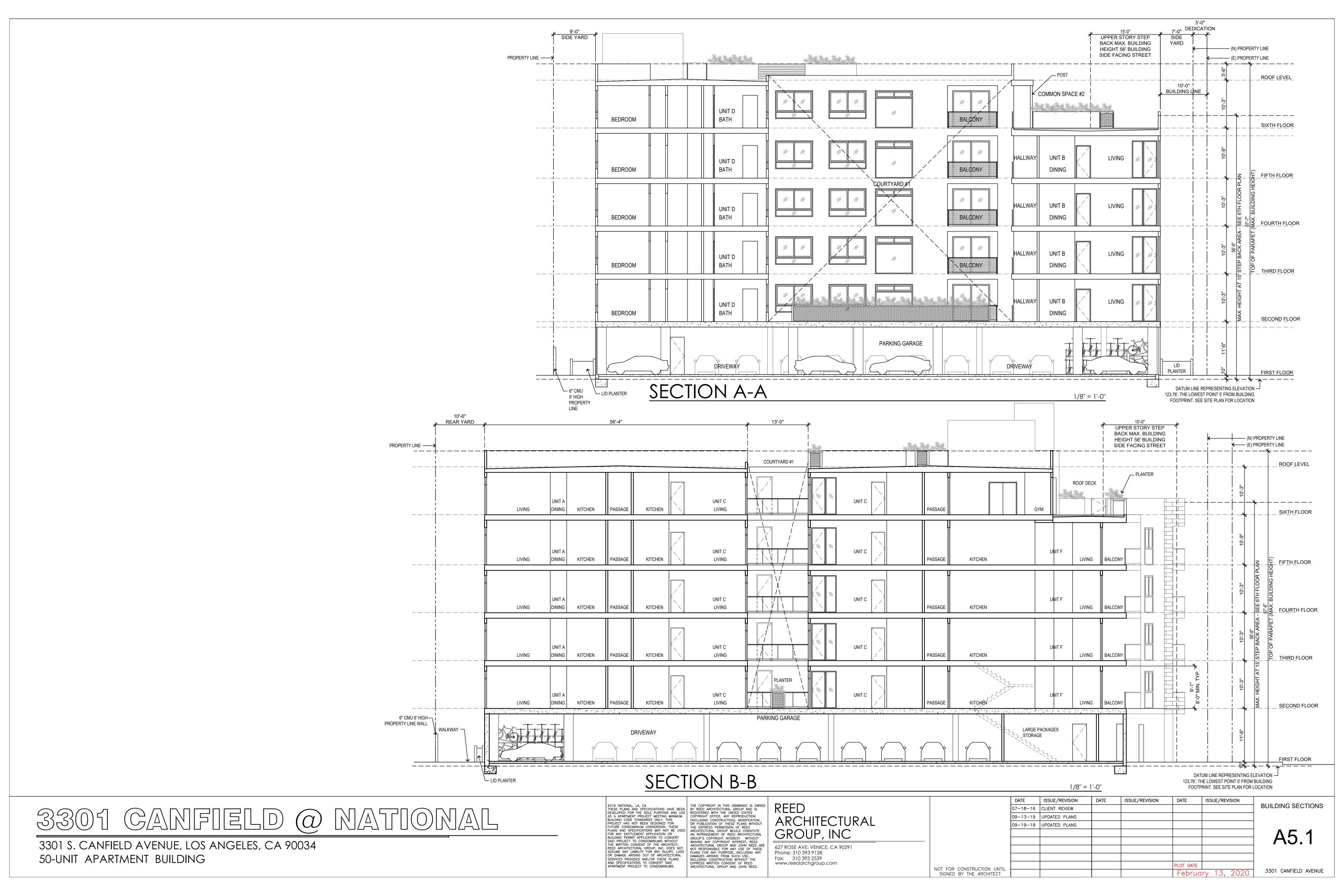
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09-19-19 UPDATED PLANS

A3.7









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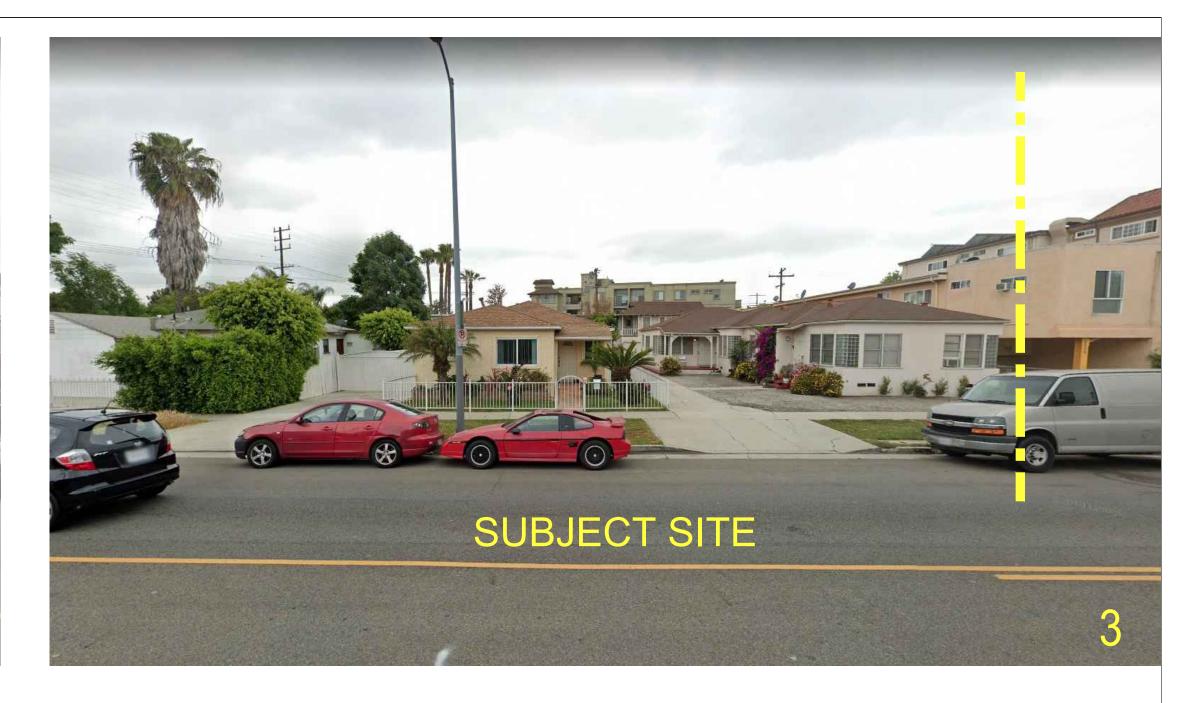
627 ROSE AVE. VENICE, CA 90291 Phone: 310 393 9128 Fax: 310 393 2539 www.reedarchgroup.com

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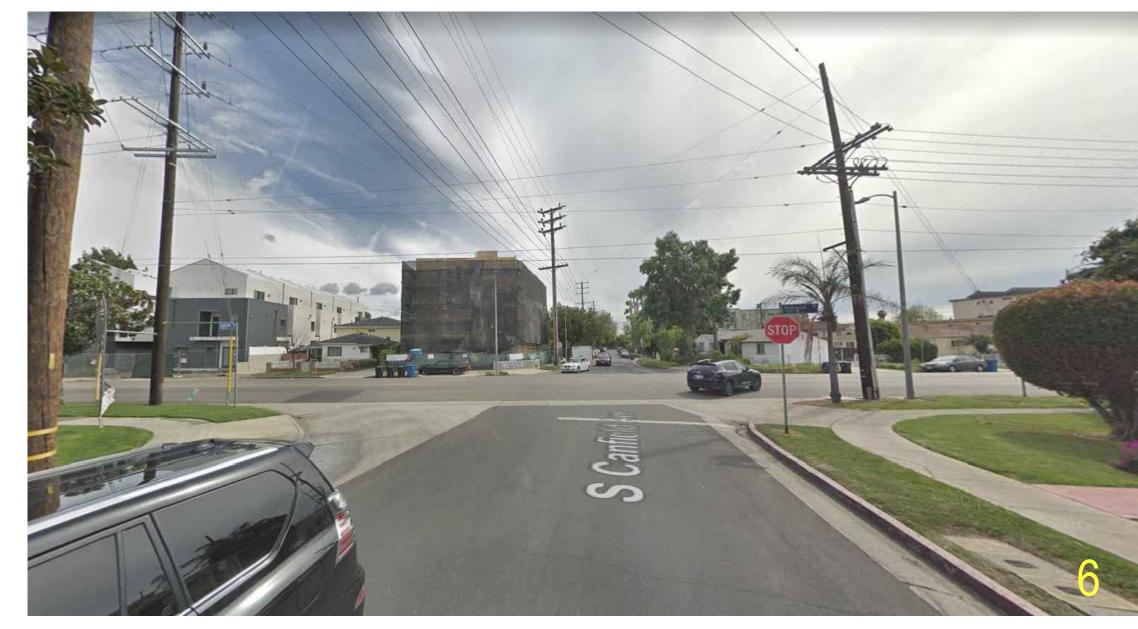




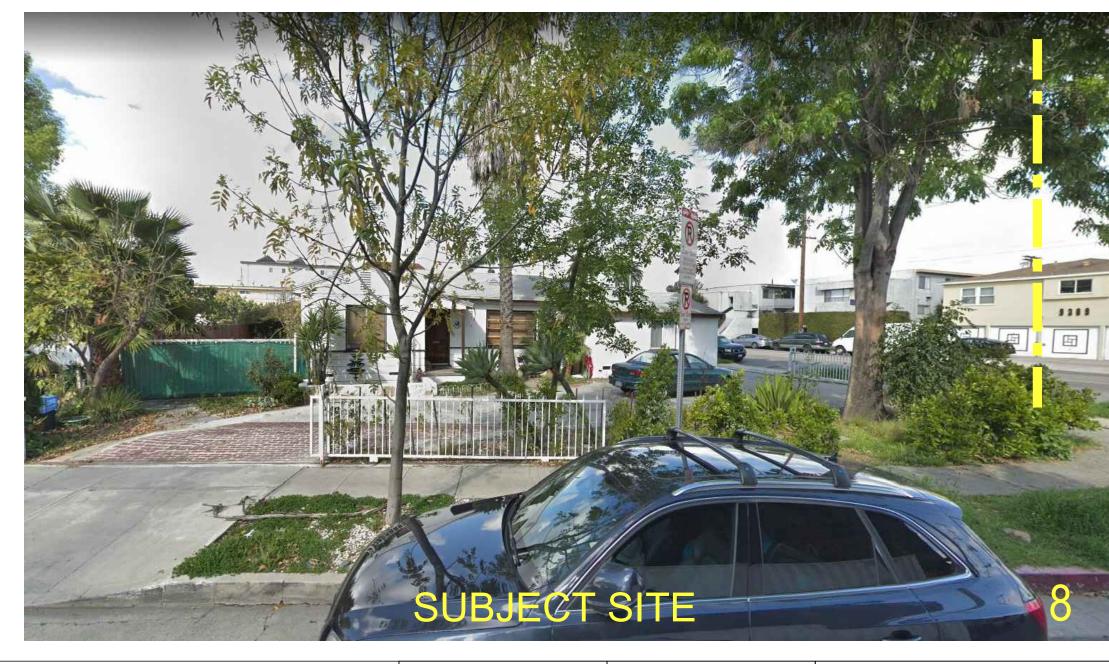














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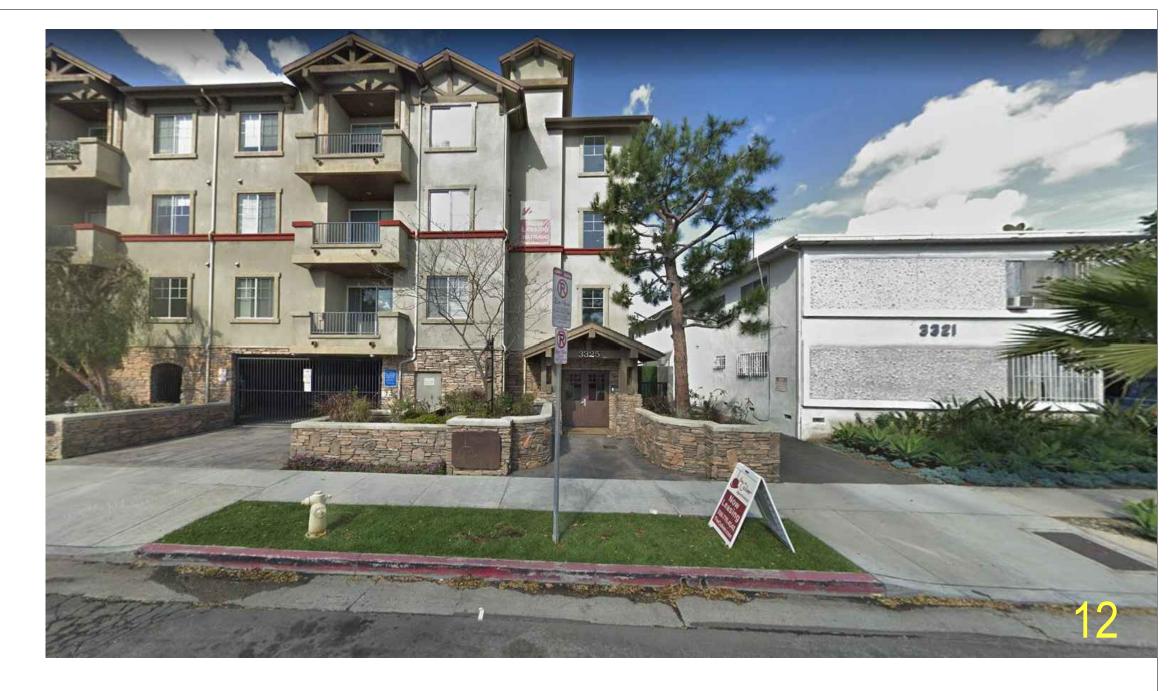
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SITE PHOTOS

A6.2





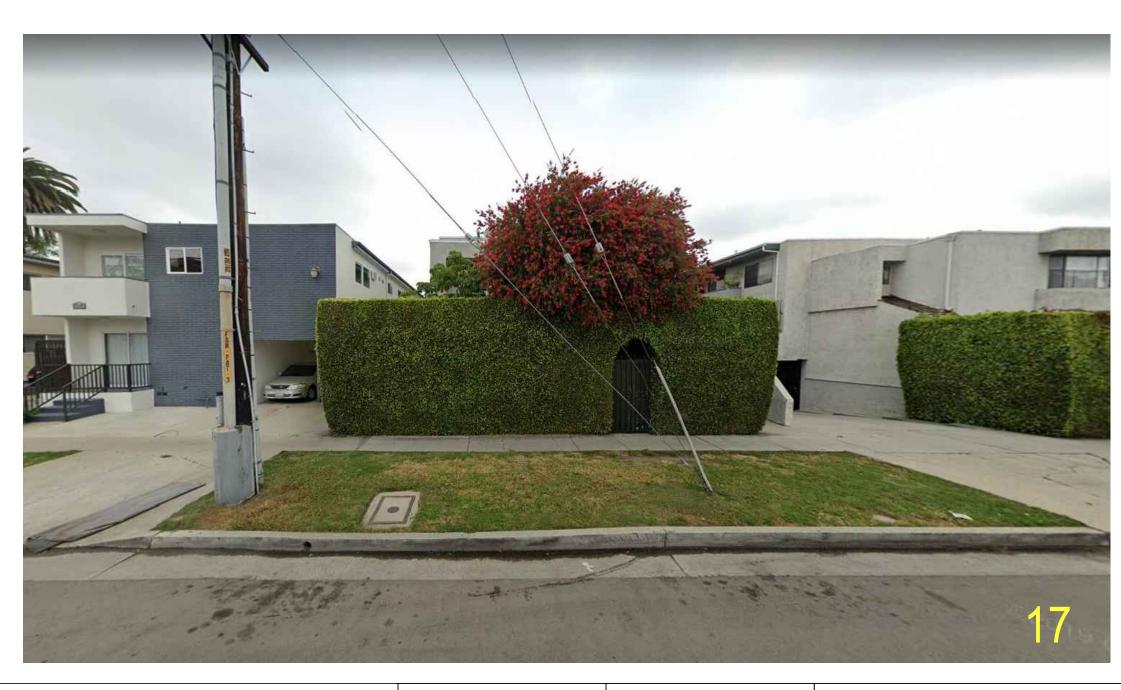














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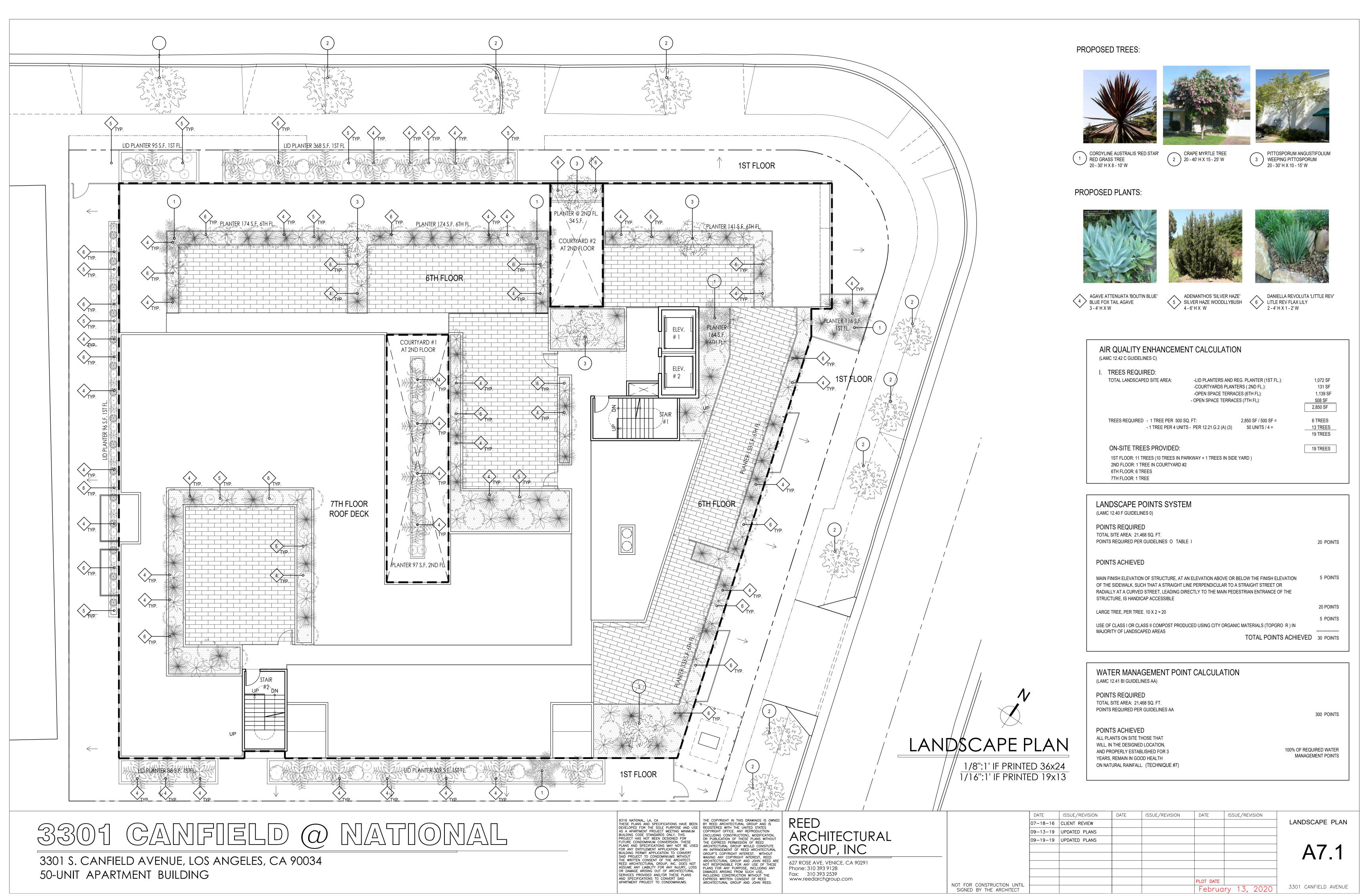
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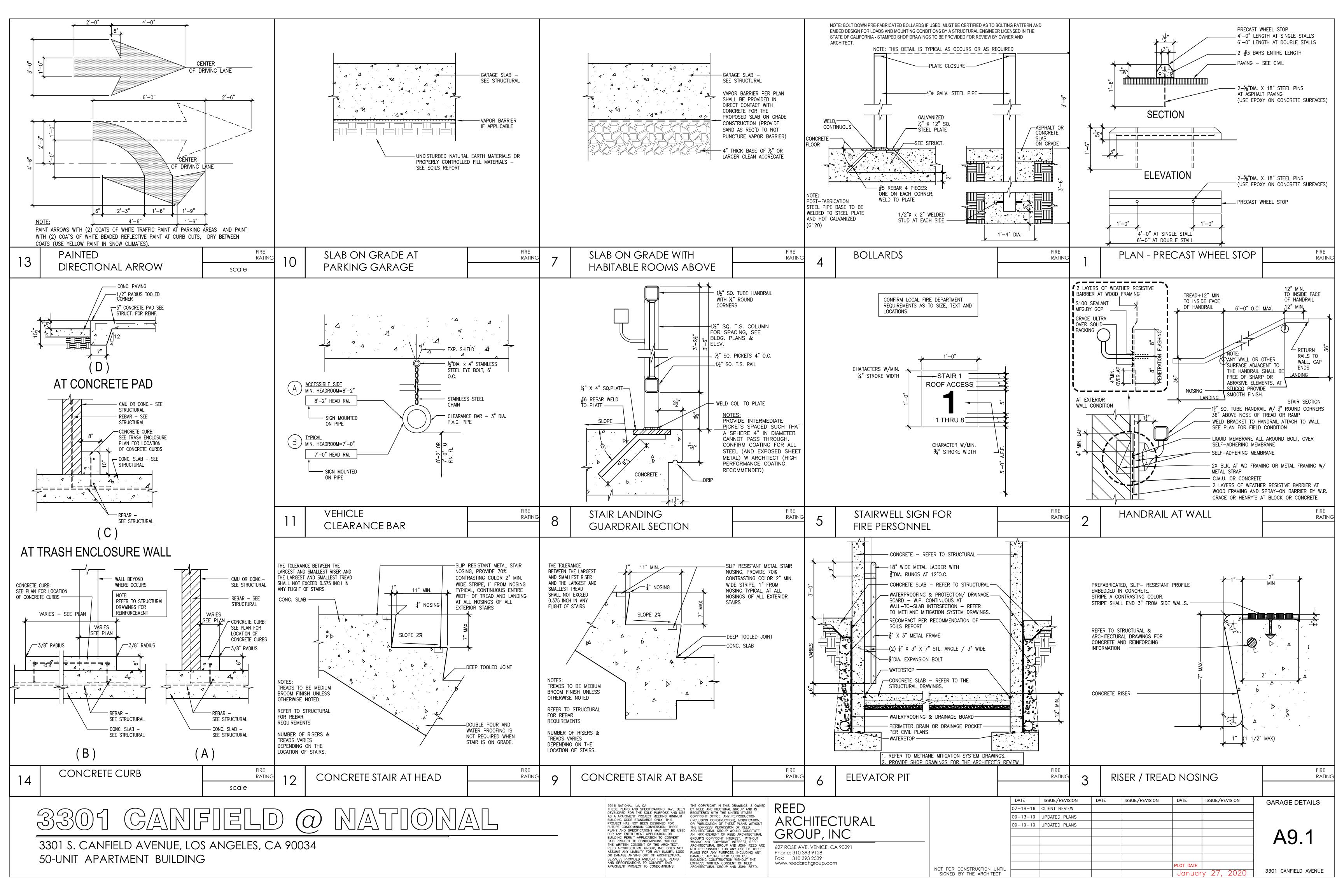
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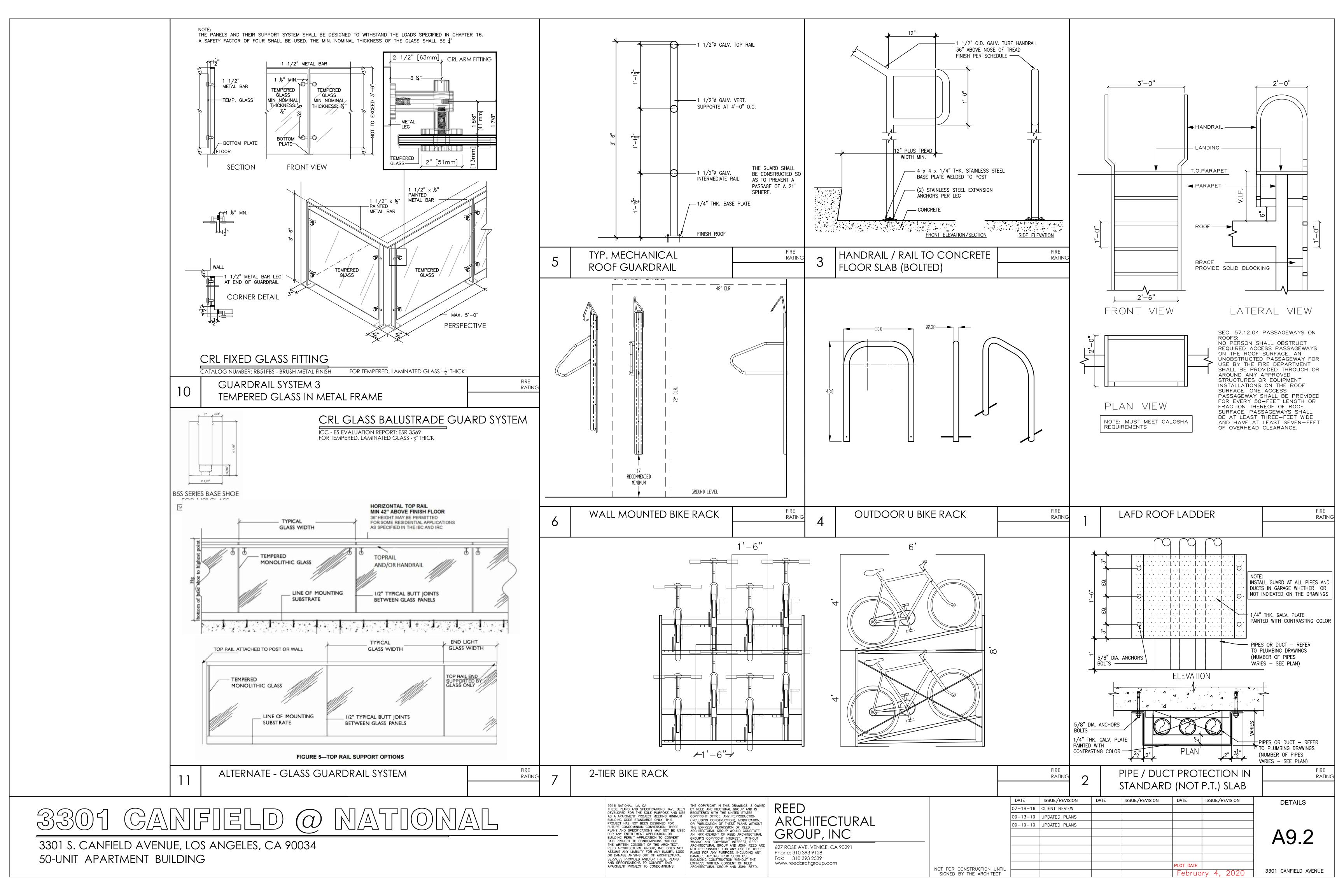
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	09-13-19	UPDATED PLANS				
	09-19-19	UPDATED PLANS				
NOT FOR CONSTRUCTION UNTIL						
SIGNED BY THE ARCHITECT						

SITE PHOTOS

A6.3







THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00216886-995-LBO-VE, DATED FEBRUARY 11, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00216886-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 127 OF TRACT 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP IN BOOK 18 PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID

#### APN: 4311-024-013

#### TITLE EXCEPTIONS (ORDER NO.: 00216886-995-LBO-VE):

THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2. CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- A EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES OVER THE REAR OF SAID LAND AS CONDEMNED BY FINAL DECREE OF CONDEMNATION ENTERED IN CASE NO. 590389, SUPERIOR COURT, A CERTIFIED COPY THEREOF BEING RECORDED

RECORDING NO.: BOOK 38409, PAGE 4, OFFICIAL RECORDS

- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- DELETED.
- DELETED.
- PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY.

IN ORDER TO CLOSE THIS PENDING TRANSACTION, WE WILL NEED THE FOLLOWING INFORMATION:

- COMPLETION OF THE ATTACHED OWNER'S DECLARATION
- COMPLETED ESCROW OWNER INFORMATION SHEET A STATEMENT FROM ESCROW PROVIDING THE COMPLETE NAME OF THE ACCOUNT THAT PROCEEDS ARE GOING TO.

THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS AND/OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION.

### **COMMENTS**

DATE OF SURVEY. MARCH, 2019

**BOUNDARY LINES.** WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

INDICATES EXCEPTION SHOWN HEREON.

SITE ADDRESS. 9316 & 9324 NATIONAL BLVD., LOS ANGELES, CA 3301 & 3305 SOUTH CANFIELD AVE., LOS AGELES, CA

A.P.N'S. . . . . . . . . . . . 4311-024-013, 4311-024-015, 4311-024-030, 4311-024-031

THE BEARING OF S 88° 46' W ALONG THE CENTERLINE OF NATIONAL BOULEVARD AS BASIS OF BEARINGS . . SHOWN ON TRACT NO. 625, BOOK 18, PAGE 125 OF MAPS, WAS USED AS THE BASIS OF

BEARINGS FOR THIS MAP.

BENCH MARK . . . . CITY OF LOS ANGELES BM # 13-27285: WIRE SPK S CURB NATIONAL BLVD; 4.4 FT E OF BC RET E OF BAGLEY AVE

ELEVATION = 125.670 '; NAVD 1988; RECORDED 1985, ADJ. 2000

22,462 SQ. FT. / 0.516 ACRES MORE OR LESS LAND AREA . .

FLOOD INSURANCE THE PROPERTIES ARE ALL LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD RATE MAP..... INSURANCE RATE MAP NO. 06037C1595G, PANEL 1595 OF 2350, DATED DECEMBER 21,

ZONE "X" IS DEFINED AS THE AREA OF MINIMAL FLOOD HAZARD.

UTILITIES . . . . . . . LOCATIONS OF UTILITIES SHOWN ON THIS MAP WERE OBTAINED FROM OBSERVED EVIDENCE DURING A FIELD SURVEY. THEY ARE FOR INFORMATION ONLY, NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID

> INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.

PUBLIC ACCESS. . NATIONAL BOULEVARD AND CANFIELD AVENUE

#### TITLE INFORMATION (ORDER NO.: 00209653-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00209653-995-LBO-VE, DATED JANUARY 11, 2019, AMENDED: JANUARY 22, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING NORTHWESTERLY OF A LINE DRAWN PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT AND THE NORTHEASTERLY PROLONGATION THEREOF FROM A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTERLY 61.50 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID LOT.

EXCEPT ALL CRUDE OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDERED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF SAID LAND AS CONVEYED TO MILDRED JAKES OSBURNE, AN UNMARRIED WOMAN IN DEED RECORDED JULY 29, 1980 AS INSTRUMENT NO.

EXCEPT ALL RIGHT, TITLE AND INTEREST IN AND TO CRUDE OIL PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND. BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF SAID LAND AS GRANTED BY DEED RECORDED FEBRUARY 26, 1986 AS INSTRUMENT NO. 86-250442.

#### APN: 4311-024-015

#### TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):

- PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:

CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-015 FISCAL YEAR: 2018-2019 1ST INSTALLMENT: \$1.755.31 PAID 2ND INSTALLMENT: \$1,755.30 OPEN EXEMPTION: \$0.00 LAND: \$189.764.00 IMPROVEMENTS: \$77,677.00 PERSONAL PROPERTY: \$0.00

- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING
- NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDING NO.: BOOK 27302, PAGE 297, OFFICIAL RECORDS WESTERLY 3 FEET OF SAID LAND

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW

AMOUNT: \$350,000.00 DATED: JUNE 6, 2007 TRUSTOR/GRANTOR: MARTIN LAX TRUSTEE: PRLAP INC **BENEFICIARY:** BANK OF AMERICA LOAN NO.: 68249016641099 RECORDING DATE: JULY 10, 2007 RECORDING NO: 1635709, OFFICIAL RECORDS

THE DEED OF TRUST SET FORTH ABOVE IS PURPORTED TO BE A "CREDIT LINE" DEED OF TRUST. UNDER CALIFORNIA CIVIL CODE SECTION 2943.1 IT IS A REQUIREMENT THAT THE TRUSTOR/GRANTOR OF SAID DEED OF TRUST EITHER IMMEDIATELY PROVIDE THE BENEFICIARY WITH THE "BORROWER'S INSTRUCTION TO SUSPEND AND CLOSE EQUITY LINE OF CREDIT" OR PROVIDE A SATISFACTORY SUBORDINATION OF THIS DEED OF TRUST TO THE PROPOSED DEED OF TRUST TO BE RECORDED AT CLOSING.

IF THE ABOVE CREDIT LINE IS BEING PAID OFF, THIS COMPANY WILL REQUIRE THAT ESCROW OBTAIN WRITTEN CONFIRMATION FROM THE CURRENT BENEFICIARY THAT THE ACCOUNT HAS BEEN FROZEN PRIOR TO RECORDING. FAILURE TO DO SO WILL RESULT IN THIS COMPANY HOLDING FUNDS AT THE CLOSE OF ESCROW UNTIL SUCH CONFIRMATION IS OBTAINED FROM THE BENEFICIARY.

THIS MORTGAGE APPEARS TO BE AN EQUITY LINE MORTGAGE. A FULL SATISFACTION OF SAME MUST BE OBTAINED AND ALL CREDIT CARDS AND/OR THE BALANCE OF VERIFIED UNUSED ACCOUNT CHECKS MUST BE SENT TO THE LENDER TOGETHER WITH A 'CANCELLATION OF EQUITY LINE AFFIDAVIT' FROM THE MORTGAGE INSTRUCTING THE LENDER TO CLOSE THE ACCOUNT.

## DESIGN SURVEY,

#### TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 00209992-995-LBO-VE, DATED DECEMBER 18, 2019, AMENDED: JANUARY 4, 2019, AMENDEMENT NO. 1 AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00209992-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 128 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE EASTERLY 31 FEET OF THE SOUTHERLY 61.5 FEET OF SAID LOT.

#### APN: 4311-024-030

#### TITLE EXCEPTIONS (ORDER NO.: 00209992-995-LBO-VE):

IMPROVEMENTS: \$121,909.00

PERSONAL PROPERTY: \$0.00

- 1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS: CODE AREA: 00067 TAX IDENTIFICATION NO.: 4311-024-030 FISCAL YEAR: 2018-2019 1ST INSTALLMENT: \$2,758.56 PAID 2ND INSTALLMENT: \$2,758.55 OPEN EXEMPTION: \$0.00 LAND: \$319,518.00
- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2. CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- 4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO: BOOK 5108, PAGE 139, DEEDS SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF A FIRST MORTGAGE OR FIRST DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

#### AND RECORDING NO.: BOOK 5505, PAGE 130, DEEDS

RECORDING NO: 2018-363444, OFFICIAL RECORDS

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW,

AMOUNT: \$328,500.00 DATED: APRIL 12, 2018 TRUSTOR/GRANTOR: ANDREAS MOLINA, A MARRIED MAN, AS HIS SOLE AND SEPARATE PROPERTY TRUSTEE: OLIVIA TODD BENEFICIARY: U.S. BANK NATIONAL ASSOCIATION LOAN NO.: NONE SHOWN RECORDING DATE: APRIL 16, 2018

#### TITLE INFORMATION (ORDER NO.: 00209992-995-LBO-VE):

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.: 002014773-995-LBO-VE, DATED JANUARY 11, 2019, AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

#### LEGAL DESCRIPTION (ORDER NO.: 00209653-995-LBO-VE):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 129 OF TRACT NO. 625, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 125 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING SOUTHEASTERLY OF A LINE DRAWN PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT, AND THE NORTHEASTERLY PROLONGATION THEREOF, FROM A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT, DISTANT NORTHWESTERLY 61.50 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT TO THE EASTERLY LINE OF SAID LOT, AND THE EASTERLY 31 FEET OF THE SOUTHERLY 61.5 FEET OF LOT 128 OF SAID TRACT 625.

APN: 4311-024-031

#### TITLE EXCEPTIONS (ORDER NO.: 00209653-995-LBO-VE):

- 1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- 2. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:

CODE AREA:

TAX IDENTIFICATION NO.: 4311-024-031FISCAL YEAR:2018-2019 1ST INSTALLMENT: \$1,220,38 PAID 2ND INSTALLMENT: \$1,220.37 OPEN

EXEMPTION: \$0.00 \$187,468.00 IMPROVEMENTS: \$1,464.00 PERSONAL PROPERTY: \$0,00

THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

NOTE: IF SAID SUPPLEMENTALS (IF ANY) ARE NOT POSTED PRIOR TO THE DATE OF CLOSING, THIS COMPANY ASSUMES NO LIABILITY FOR PAYMENT THEREOF.

- 4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES

BOOK 26457, PAGE 266, OFFICIAL RECORDS RECORDING NO.: THE WESTERLY 5 FEET OF SAID LAND

NO REPRESENTATION IS MADE AS TO THE PRESENT OWNERSHIP OF SAID EASEMENT

SURVEYOR'S NOTE: EASEMENT IS PLOTTED HEREON PER TITLE REPORT DESCRIPTION, HOWEVER THE RECORDED DOCUMENT HAS NOT BEEN MADE AVAILABLE TO SURVEYOR AS OF THE DATE HEREON FOR CONFIRMATION.

#### 6. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

**EXECUTED BY:** EDWARD SHAPIRO AND HERTA SHAPIRO IN FAVOR OF: CITY OF LOS ANGELES BOOK 56037, PAGE 4, OFFICIAL RECORDS RECORDING NO.:

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

EXECUTED BY: SARMAN CHANNEL ISLAND LTD I IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: OCTOBER 9, 1990 RECORDING NO.: 1990-1714752, OFFICIAL RECORDS

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

#### AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

EXECUTED BY: SARMAN CHANNEL ISLAND LTD I IN FAVOR OF: CITY OF LOS ANGELES OCTOBER 9, 1990 RECORDING DATE: 1990-1714754, OFFICIAL RECORDS RECORDING NO.:

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

#### TITLE EXCEPTIONS (CONTINUED):

9. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

SARMAN CHANNEL ISLAND LTD I EXECUTED BY: IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: OCTOBER 9, 1990 RECORDING NO.: 1990-1714755, OFFICIAL RECORDS

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

10. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

SARMAN CHANNEL ISLAND LTD I (CALIFORNIA PARTNERSHIP)

IN FAVOR OF: CITY OF LOS ANGELES OCTOBER 12, 1990 RECORDING DATE:

RECORDING NO.: 1990-1742585, OFFICIAL RECORDS

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT

11. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR

PUBLIC STREET PURPOSE(S): OCTOBER 24, 1990 RECORDING DATE: RECORDING NO.: 1990-1801610, OFFICIAL RECORDS

UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

THE NORTHERLY 3 FEET OF LOT 128

SAID EASEMENT WAS ACCEPTED FOR PUBLIC USE BY A RESOLUTION:

RECORDING DATE: OCTOBER 29, 1991 RECORDING NO.: 1991-1708866, OFFICIAL RECORDS

SURVEYOR'S NOTE: THIS ITEM WIDENED PORTIONS OF NATIONAL BOULEVARD AND CANFIELD AVENUE, AND IS SHOWN BY THE RIGHT OF WAY WIDTH CHANGES HEREON.

12. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT

EXECUTED BY: SARMAN CHANNEL ISLAND LTD. I JAMES E. MANN, GENERAL PARTNER

IN FAVOR OF: CITY OF LOS ANGELES RECORDING DATE: DECEMBER 11, 1991 1991-1947204, OFFICIAL RECORDS RECORDING NO.:

WHICH AMONG OTHER THINGS PROVIDES: AS PROVIDED THEREIN REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.

13. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW,

AMOUNT: \$115,650.00

RECORDING NO:

DATED: MARCH 23, 1995 TRUSTOR/GRANTOR: AARON LAX AND MYRA SHIRLEY LAX

VERDUGO SERVICE CORPORATION, A CALIFORNIA CORPORATION TRUSTEE:

GLENDALE FEDERAL BANK, FEDERAL SAVINGS BANK BENEFICIARY:

LOAN NO.: 7326287 MARCH 29, 1995 RECORDING DATE:

AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN

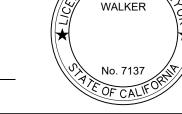
1995-445465, OFFICIAL RECORDS

MYRA SHIRLEY LAX AND GLENDALE FEDERAL BANK, FEDERAL SAVINGS EXECUTED BY:

JULY 8, 1998 RECORDING DATE:

1998-1145175, OFFICIAL RECORDS RECORDING NO.:

ROBERT WALKER, PLS 7137



ROBERT

1'=20"

04/05/2019

1 of 2



ROJECT NO: PREPARED FOR: **OAKMONT PROPERTIES** OAKM00004009 BAH CHECKED BY:

640 S. SAN VINCENTE BLVD., STE 350 LOS ANGELES, CA 90048

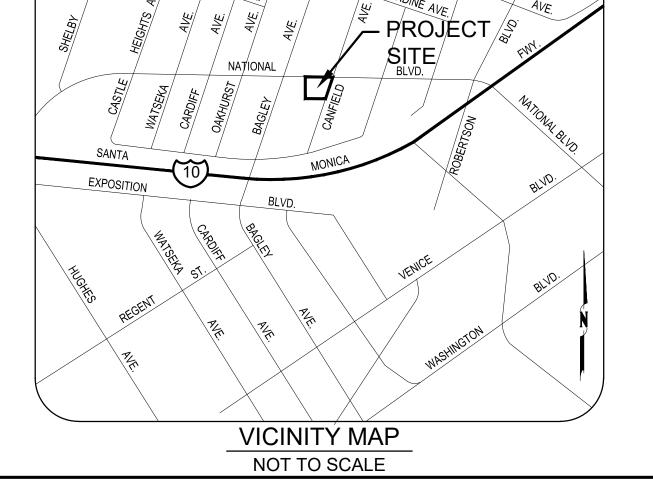
LOS ANGELES, CA

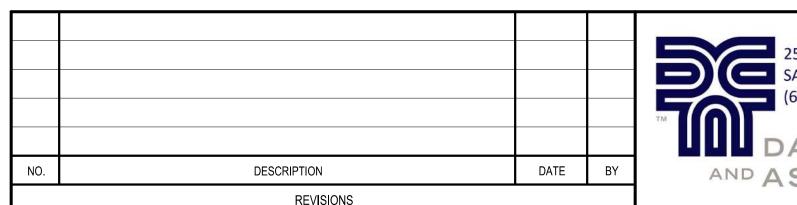
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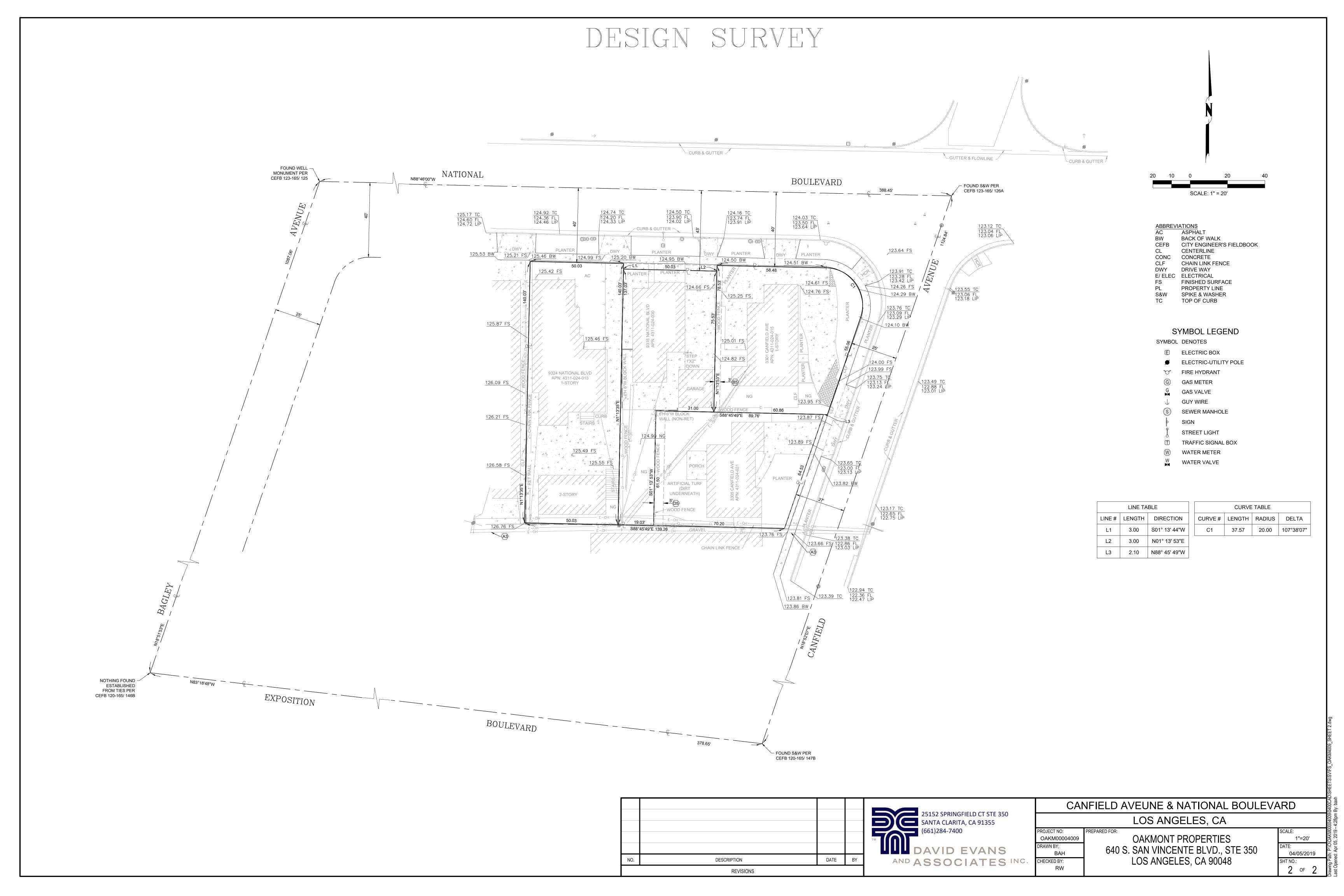
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Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

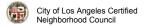
Charlie Stein
Corresponding Secretary

#### South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920 F: (310) 295-9906 E: info@soronc.org

soronc.org



### Motion to support 6-home Small Lot at 1951 S Preuss Rd

Agenda Item: To be filled in by Exec Committee

**Date:** June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

#### **Background**

The project applicant and representative presented this proposed 6-home small lot subdivision to the Land Use Committee at their March 05, 2020 meeting. The applicant's entitlement request is for a tentative tract map to subdivide the existing property at 1951 S Preuss Rd into 6 smaller lots to build 6 separate homes per the City's small lot subdivision ordinance.

The property is located south of Sawyer St, north of Guthrie Ave, and one street west of Robertson Blvd. The neighborhood is a mix of 2-story apartment buildings, smaller multi-unit buildings, duplexes, and single-family homes. The adjacent properties consist of a single-family dwelling the north and a duplex to the south. The property shares a rear alley with the R3 properties along Robertson Blvd. The proposed homes are 4 stories at 44 feet tall. Each home includes an attached 2-car garage. The front 5 homes' vehicular access is off of Preuss, while the rear home's garage access is off of the alley.

The applicant noticed residents within 500 feet of the property for the LUED meeting. One neighbor attended the meeting and inquired about the status of the current tenants of the buildings slated to be demolished.

#### **Proposed Motion**

Submit a letter in support of the project to City Planner Sergio Ibarra (sergio.ibarra@lacity.org) to be included in case file for the small lot subdivision project at 1951-1953 S Preuss Rd; VTT-82683-SL.

#### Considerations

Committee review: Votes For: 8 Against: 0 (highly recommended)

### Arguments for: Arguments against:

Proposed project adds 4 homes to the housing supply. (6 - 2 = 4)

2 existing units will be demolished.

The RD1.5 zone is a transitional density between the R3 zone on Robertson and the RD2 zone one street east.

The new homes will be taller than the surrounding buildings.





<sup>i</sup> Supporting Documents/Drawings: https://www.dropbox.com/sh/1frwxxpdyt7zes5/AADE7M1ICImPlsUWvdg70PCFa?dl=





Sergio Ibarra
Department of City Planning
200 N. Spring Street
Los Angeles, CA 90012

19 June 2020

Re: Case Number VTT-82683-SL

Dear Mr. Ibarra:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed 6-home small lot subdivision project at 1951 S Preuss Rd.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The proposed 6 homes are appropriate per the density, with the RD1.5 zone acting as a transitional zone between the R3 zone on Robertson Blvd to the west and the RD2 zone one street east. Therefore, we support the request for a Tentative Tract Map. The addition of 6 single-family homes in Los Angeles is much needed.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Officerety

Martin Epstein
President, South Robertson Neighborhoods Council

Cc: Jordan Beroukhim, Office of Council Member Herb Wesson Krystal Návar, SORO NC Land Use Committee Chair

Martin Epstein President

Ken Blaker

Vice-President

Jon Liberman Treasurer

Vacant Secretary

Charlie Stein Corresponding Secretary

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920 F: (310) 295-9906 E: info@soronc.org

soronc.org



#### **Developer Guidelines**

Requested SORO NC Land Use Committee meeting date

Thursday, March 5, 2020

### **Project information**

Planning case number VTT82683

**Project address**1951-1953 S. PREUSS ROAD
LOS ANGELES, 90034

#### **Contact information**

Information for

Owner

Name MIKE LAVAEI

Address 643 S, OLIVE ST., #1000 LOS ANGELES, CA, 90014

**Phone number** (213) 612-0000

**Email** mike@atlantic777.com

Representative of the Owner

Representative name HARVEY GOODMAN

**Address** 834 17TH ST., #5

SANTA MONICA, CA, 90403

**Phone number** (310) 829-1037

Email sheri@harveygoodman.com

#### **Project background**

1. Description of what is being requested of this Committee that is not "by right"

VTT-82683 proposed 6 lot small lot subdivision with ownership parking spaces provided on each individual lot

2. Description of project 11272 a. Size of property b. Size of proposed building(s) 2050 Proposed project is within allowable "by right" size 6 lot small lot subdivision 3. Proposed use of property Property is zoned RD1.5-1 Provides more housing units on the site and is consistent 4. Describe the community benefit from your proposed use of the with all zoning requirements for small lot subdivisions property 5. Parking spaces 4 a. Currently on property b. Required by code 4 c. Breakdown of the actual spaces 2 Standard spaces 2 **Compact spaces** 0 **Handicap spaces** 6. Trash enclosure and loading dock a. Trash enclosure No b. Loading dock No Additional notes on trash and loading trash enclosures will be in individual garages 7. Have you provided any additional landscaping and open space as required by code. amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO

8. Outreach

community?

For discretionary approval, SORO requires, *prior* to this meeting, your notification of neighbors within a 500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

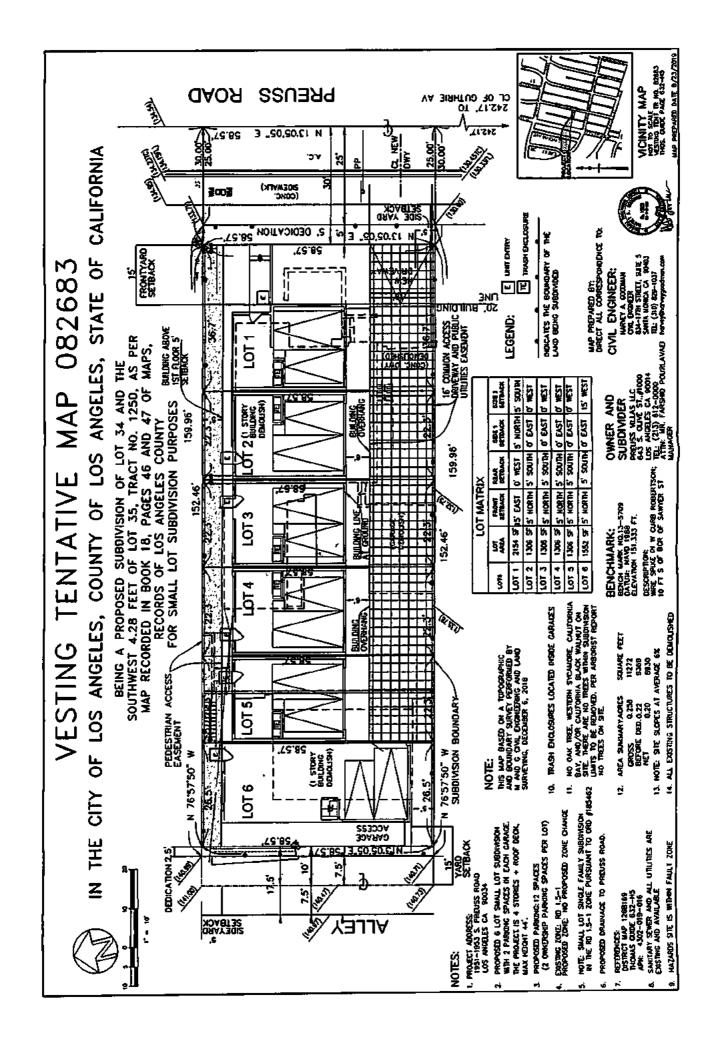
9. Name and ID of all environmental or planning documents prepared to support this project. Click the + sign to add more lines.

N a m e	ID	Link (if availab le)
E A	EAF- 2019-	2

F 5697-EAF

#### 10. Additional comments

This proposed project is consistent with all zoning code requirements and requirements of the small lot subdivision. We are not asking for any variances.





#### APPLICATIONS:

#### DEPARTMENT OF CITY PLANNING APPLICATION

	THIS BOX FOR CITY PLA	NNING STAFF USE ONLY
Ca	se Number	
En	w. Case Number	
	pplication Type	
Ca	se Filed With (Print Name)	Date Filed
Арі	plication includes letter requesting:	
0	Waived hearing	aring not be scheduted on a specific date (e.g. vacation hold)
	Provide all information requested. Missing, incompl All terms in this document are applicable to the sin Detailed filing instructions an	gular as well as the plural forms of such terms.
1.	PROJECT LOCATION	
	Street Address¹ 1951-1953 S. Preuss Road	Unit/Space Number
	Legal Description <sup>2</sup> (Lot, Block, Tract) Lot 34 & SW 4.28 fe	et of Lot 35, Tract No. 1250, M.B. 18, Pgs. 46 & 47
	Assessor Parcel Number 4302-019-016	Total Lot Area 9369 sq. ft.
2.	PROJECT DESCRIPTION	
	Present Use 2 unit residential	
	Proposed Use 6 lot small lot subdivision	
	Project Name (if applicable)	
	• • • • • • • • • • • • • • • • • • • •	on of the proposed project
	VTT-82683 proposed 6 lot small lot subdivision with 2 own	
	Additional information attached    YES	<u> </u>
	Complete and check all that apply:	
	Existing Site Conditions	
	☐ Site is undeveloped or unimproved (i.e. vacant)	☐ Site is located within 500 feet of a freeway or railroad
	☑ Site has existing buildings (provide copies of building permits)	Site is located within 500 feet of a sensitive use (e.g. school, park)

Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)
 Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Site is/was developed with us hazardous materials on soil a dry cleaning, gas station, auto	☐ Site has special designation (e.g. National Historic Register, Survey LA)						
Proposed Project Information			of protected trees	on site or in the			
(Check all that apply or could app	oly)	public righ	t of way				
Demolition of existing building	s/structures	□ New construction: 16850 square feet					
☐ Relocation of existing building	s/structures	☐ Accessory use (fence, sign, wireless, carport, etc.)					
☐ Interior tenant improvement		□ Exterior renovation or alteration					
☐ Additions to existing buildings		☐ Change of	use <u>and/or</u> hours of	f operation			
☐ Grading		☐ Haul Route	•				
☑ Removal of any on-site tree		Uses or str	uctures in public rig	ht-of-way			
☑ Removal of any street tree		☐ Phased pro	oject				
Housing Component Information	<u>on</u>						
Number of Residential Units:	Existing 2 - Dem	olish(ed) <sup>3</sup> 2	+ Adding <u>6</u>	= Total <u>6</u>			
Number of Affordable Units <sup>4</sup>	Existing 0 - Dem	olish(ed)0	+ Adding <u>0</u>	= Total0			
Number of Market Rate Units	Falada - Dan			= Total			
Mixed Use Projects, Amount of N	on-Residential Floor Area:	<u>N/A</u>		square feet			
Public Right-of-Way Information Have you submitted the Planning Is your project required to dedicate If so, what is/are your dedication of If you have dedication requirement	Case Referral Form to BO te land to the public right-of requirement(s)? 5' Preuss	f-way? ☑ YES ft.	□ NO				
ACTION(S) REQUESTED							
Provide the Los Angeles Municipa Section or the Specific Plan/Overlay							
Does the project include Multiple A	pproval Requests per LAM	C 12.36?	YES 🖸	NO			
Authorizing Code Section 17.06	, 12.22-C,27, Ordinance No	o. 185462					
Code Section from which relief is	s requested (if any):						
Action Requested, Narrative: Co	onstruct 6 lot small lot subd	<u>ivision</u>	<u> </u>				
Authorizing Code Section	,						
Code Section from which relief is							
Action Requested, Narrative:							
Additional Requests Attached	□ YES ☑ NO		<del></del> -				

3.

Number of units to be demolished and/or which have been demolished <u>within the last five (5) years</u>.
 As determined by the Housing and Community Investment Department

A	, ,	ions/environmental clearances on the <u>project site</u> ?	-	ZI NO
	the <u>application/project</u> is directly related omplete/check all that apply (provide copy	d to one of the above cases, list the pertinent case nur	nbers t	elow an
	Case No.	Ordinance No.:		
1	☐ Condition compliance review	☐ Clarification of Q (Qualified) classification	1	
1	☐ Modification of conditions	☐ Clarification of D (Development Limitation	ns) clas:	sification
1	☐ Revision of approved plans	☐ Amendment to T (Tentative) classification	1	
	☐ Renewal of entitlement	• •		
ĺ	☐ Plan Approval subsequent to Master C	onditional Use		
	• • • • • • • • • • • • • • • • • • • •	_	] YES	Ø NO
	ave you filed, or is there intent to file, a S		Z YES	□ NO
	-	other parts of the projects or the larger project below, whether		
	ed with the City:	parts of the projects of the larger project octons, inner	0, 0, 1,0,	
	TT82683 proposed 6 lot small lot subdivis	enn.		
a a.	copy of any applicable form and reference Specialized Requirement Form	e number if known.		
b.	· ·			
C.	• , • •	ecklist		
d.	•			
е.	•			
f.	· · · · · · · · · · · · · · · · · · ·	Agency Referral Form		
g.	LIBOT Authoritation Form			
h.		· · · · · · · · · · · · · · · · · · ·		_
j.	Expedite Fee Agreement			
j.	Department of Transportation (DOT) R	eferral Form		
k.	Bureau of Engineering (BOE) Planning	Case Referral Form (PCRF) 201900288		
I.		<u></u> .		
m	. Building Permits and Certificates of Oc	cupancy		
n.	Hillside Referral Form			
0.	• • • • • •	al Form (Storm water Mitigation)		
p	•	ommunity Investment Department		
q.	Are there any recorded Covenants, affic	davits or easements on this property?   ☐ YES (provident)	e copy)	Ø NO

PROJECT T	Samuel Villes LLC		
• •	name Preuss Villas LLC		·
	Firm Attn: Mr. Faramarz Lavaei		
Address:	643 S. Olive St.		
City	•		Zip Code: 90014
-	(213) 612-0000		
Are you in	escrow to purchase the subject property	n □ YES	☑ NO
Property C	Owner of Record	olicant 🗆 Differe	nt from applicant
Name (if di	ifferent from applicant)		
Address			Unit/Space Number
City		Cioto	Zio Code:
		State	zip Code
•		E-mail:	
Agent/Rep Company/F Address:	oresentative name <u>Harvey Goodman, (</u> Firm <u>Harvey Goodman Civil Engineeri</u> 834 17th St.	E-mail:	Unit/Space Number <u>5</u>
Agent/Rep Company/F Address: City	oresentative name <u>Harvey Goodman, (</u> Firm <u>Harvey Goodman Civil Engineeri</u> 834 17th St. Santa Monica	E-mail: Civil Engineer  ng Inc.  State CA	Unit/Space Number <u>5</u> Zip: <u>90403</u>
Agent/Rep Company/F Address: City Telephone Other (Spe	oresentative name <u>Harvey Goodman, (</u> Firm <u>Harvey Goodman Civil Engineeri</u> 834 17th St.	E-mail:  Civil Engineer  ng Inc.  State CA  E-mail: sheri@h  ant etc.) Architect	Unit/Space Number <u>5</u> Zip: <u>90403</u> arveygoodman.com
Agent/Rep Company/F Address: City Telephone Other (Spe Name <u>Mat</u>	Presentative name Harvey Goodman, Goodman, Goodman Civil Engineeri 834 17th St. Santa Monica (310) 829-1037  Beify Architect, Engineer, CEQA Consultation	E-mail:  Civil Engineer  ng Inc.  State CA  E-mail: sheri@h	Unit/Space Number <u>5</u> Zip: <u>90403</u> arveygoodman.com
Agent/Rep Company/F Address: City Telephone Other (Spe Name <u>Mat</u>	presentative name Harvey Goodman, ( Firm Harvey Goodman Civil Engineeri 834 17th St. Santa Monica (310) 829-1037  poify Architect, Engineer, CEQA Consultation	E-mail:  Civil Engineer  ng Inc.  State CA  E-mail: sheri@h  ant etc.) Architect	Unit/Space Number <u>5</u> Zip: <u>90403</u> arveygoodman.com
Agent/Rep Company/F Address: City Telephone Other (Spe Name <u>Mat</u> Company/F	Presentative name Harvey Goodman, Grim Harvey Goodman Civil Engineeri 834 17th St.  Santa Monica (310) 829-1037  Diricity Architect, Engineer, CEQA Consultation AUX Architecture 2404 Wilshire Blvd.,	E-mail:  Civil Engineer  ng Inc.  State CA  E-mail: sheri@h  ant etc.) Architect	Unit/Space Number <u>5</u> Zip: <u>90403</u> arveygoodman.com
Agent/Rep Company/F Address: City Telephone Other (Spe Name Mat Company/F Address: City	Presentative name Harvey Goodman, Grim Harvey Goodman Civil Engineeri 834 17th St.  Santa Monica (310) 829-1037  Diricity Architect, Engineer, CEQA Consultation AUX Architecture 2404 Wilshire Blvd.,	E-mail:  Civil Engineer  ng Inc.  State CA  E-mail: sheri@h  ant etc.) Architect  State CA	Unit/Space Number _5Zip: 90403 arveygoodman.comUnit/Space Number _12DZip Code: 90057

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

<sup>&</sup>lt;sup>8</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

#### MANAGER OF THE PROPERTY OF THE

- 7. PROPERTY OWNER AFFIDAVIT. Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.
  - Ownership Disclosure. If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
  - Letter of Authorization (LOA). A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
  - Grant Deed. Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
  - Multiple Owners. If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
  - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
  - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
  - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
  - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Property Owner's signatures must be signed/notarized in the presence of a Notary Public.

The City requires an original signature from the property owner with the "wet" notary stamp.

A Notary Acknowledgement is available for your convenience on following page.

Signature _	Bre manger	Date	7/16/19
Print Name	Prens Villas, LLC; Farded Pourlami, many		•
Signature _	<u> </u>	Date	<u> </u>
Print Name			

#### A THE PARTY OF THE PROPERTY OF THE PROPERTY OF THE PARTY OF THE PARTY

A notary public or other office document, to which this certific	•		•	<b>*</b>
State of California  County of Los A	naole.			
on 1116/14	v		+ NACHTAPA	NOTARY PURE
personally appeared		POURLANA		, who
proved to me on the basis of s instrument and acknowledged to by his/her/their signature(s) on executed the instrument.	me that he/she/	they executed the s	ame in his/her/their au	thorized capacity(les), and that
certify under PENALTY OF PE	RJURY under th	e laws of the State	of California that the fo	oregoing paragraph is true and
WITNESS my/hand and official s	eal.		<del>,</del>	
Signature		(Seal)	NOT	ITHIAH NACHIAPPAN COMM. # 2175823 W ARY PUBLIC-CALIFORMA U DWITY OF LOS ANGELES GMM. EXP. JAN. 13. 2021 =

Civil Code ' 1189

California All-Purpose Acknowledgement

8. APPLICANT DECLARATION. A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.

- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
- b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
- c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required. .
- d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
- e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally,
   I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
- f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
- g. I understand that if this application is denied, there is no refund of fees paid.
- i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
- i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City re	quires an original s	signature from the applic	ant. The applicant	's signature below <u>doe</u>	s not need to be noterized.
<b>0</b> 1t	Bu.	12		anace note	7/1/19
Signature: _ Print Name:	Preuss	Villas Lister	Farshd	Pourlavaei	Manager

# FINDINGS FOR APPROVAL VTT-82683 PROPOSED 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

- THE PROPOSED MAP IS CONSISTENT WITH THE APPLICABLE GENERAL AND SPECIFIC PLANS.
- 1A. THE SUBJECT PROPERTY IS ZONED RD1.5 AND IS LOCATED WITHIN THE WEST ADAMS BALDWIN HILLS LEIMERT COMMUNITY PLAN AREA. THE LAND USE ELEMENT OF THE CITY'S GENERAL PLAN, DESIGNATES THE SUBJECT PROPERTY FOR LOW MEDIUM II RESIDENTIAL LAND USES WITH THE CORRESPONDING ZONES OF RD2, RW2 AND RZ2.5. AS SUCH, THE COMMUNITY PLAN ALLOWS FOR THE PROPOSED SUBDIVISION AND USE OF THE SUBJECT PROPERTY.

CURRENTLY, THE SUBJECT PROPERTY IS DEVELOPED WITH 2 SINGLE FAMILY HOUSES. THE PROPOSED PROJECT INVOLVES A SMALL LOT SUBDIVISION TO AUTHORIZE THE SUBDIVISION OF THE EXISTING LOT INTO SIX SMALL LOTS IN CONJUNCTION WITH THE DEMOLITION OF THE EXISTING STRUCTURES ON SITE AND CONSTRUCTION OF SIX SINGLE -FAMILY DWELLINGS WITH TWO PARKING SPACES ON EACH PROPOSED SMALL LOT. THE LOT SIZES WILL RANGE FROM 1306 TO 2154 SQUARE FEET, WHICH EXCEEDS THE MINIMUM LOT SIZE OF 600 SQUARE FEET REQUIRED BY THE SMALL LOT SUBDIVISION ORDINANCE. ADDITIONALLY, THE LOT WIDTHS WILL BE AT LEAST 22.3 FEET WIDE, WHICH EXCEEDS THE MINIMUM LOT WIDTH OF 18 FEET BY THE SMALL LOT SUBDIVISION ORDINANCE. THE LOT COVERAGE OF EACH LOT IS APPROXIMATELY 60 PERCENT WHICH IS BELOW THE MAXIMUM 75% LOT COVERAGE ALLOWED BY THE SMALL LOT SUBDIVISION ORDINANCE. THE PROPOSED PROEJCT WILL BE CONSISTENT WITH THE DENSITY REQUIREMENTS OF THE RD1.5 ZONE. THEREFORE, AS CONDITIONED, THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN.

- 2Q. THE DESIGN AND IMPROVEMENT OF THE PROPOSED SUBDIVISON ARE CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.
- 2A. THE BUREAU OF ENGINEERING WILL REVIEW THE PROPOSED PROJECT AND WILL SUBMIT CONDITIONS REQUIRING ANY NECESSARY DEDICATION OF PUBLIC SANITARY SEWER EASEMENTS AND CONSTRUCTION OF ANY OFF-SITE IMPROVEMENTS INCLUDING TREE REPLACEMENT REQUIREMENTS.

MOREOVER, THE PROPOSED PROJECT WILL RESULT IN A LOT SIZE THAT MEETS THE MINIMUM LOT SIZE REQUIRED IN THE RD1.5-1 ZONE AND LOT CUT PATTERN THAT WILL BE CONSISTENT WITH THE OTHER PROPERTIES IN THE NEIGHBORHOOD. THEREFORE, THE DESIGN AND IMPROVEMENT OF THE PROPOSED SUBDIVISON WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN.

# FINDINGS FOR APPROVAL, CONTINUED VTT-82683 PROPOSED 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

- THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED TYPE OF DEVELOPMENT.
- 3A. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A LANDSLIDE AREA OR LIQUEFACTON ZONE BUT IS LOCATED WITHIN A FAULT ZONE. A GEOTECHNICAL REPORT WAS SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY GRADING DIVISON ON MAY 28, 2019, IN WHICH THE REPORT ADDRESSES APPROPRIATE SEISMIC DESIGN STANDARDS. THE PROPOSED PROJECT IS SIMILAR IN SIZE AND SCOPE TO TWO OTHER SIX LOT SMALL LOT SUBDIVISION APPLICATIONS LOCATED ON THE SAME BLOCK, VTT-82365, 1959 S. PREUSS ROAD AND VTT-82264, 1973 S. PREUSS ROAD. WE ARE NOT REQUESTING ANY VARIANCES IN CONJUNCTION WITH THE APPLICATION FOR SMALL LOT SUBDIVISION.
- 4Q. THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.
- 4A. THE SURROUNDING PROPERTIES ARE ZONED RD1.5-1, RD2-1, R3-1-CPIO, C2-1VL-CPIO AND R1V2-O, THE ADJACENT LAND USES INCLUDE A MIXTURE OF SINGLE FAMILY HOMES, MULTI-FAMILY HOMES AND SOME COMMERICAL DEVELOPMENTS ALONG ROBERTSON BOULEVARD. THE SUBJECT PROPERTY IS CURRENTLY DEVELOPED WITH TWO ONE-STORY SINGLE FAMILY HOUSES, WHICH WILL BE DEMOLISHED TO ALLOW FOR A SMALL LOT SUBDIVISION OF THE EXISTING LOT INTO SIX LOTS AND THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING ON EACH PROPOSED SMALL LOT. THE PROPOSED PROJECT WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE MUNICIPAL CODE AND SMALL LOT ORDINANCE.
- 5Q. THE DESIGN OF THE SUBDIVISION AND PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OF SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.
- 5A. THE APPLICANT HAS SUBMITTED AN ENVIRONMENTAL ASSESSMENT FORM AS PART OF THE SUBDIVISION APPLICATION. THE CITY WILL BE RESPONSIBLE FOR PREPARING AN INITIAL STUDY TO DETERMINE THAT NO POTENTIAL ADVERSE IMPACTS ON FISH OR WILDLIFE RESOURCES AS FAR AS PLANT LIFE OR ANIMAL LIFE ARE CONCERNED. MEASURES WILL BE REQUIRED AS PART OF THE APPROVAL WHICH WILL MITIGATE IMPACTS TO A LESS THAN SIGNIFICANT LEVEL. FURTHERMORE, THE SURROUNDING AREA IS PRESENTLY DEVELOPED WITH RESIDENTIAL STRUCTURES AND DOES NOT PROVIDE A NATURAL HABITAT FOR EITHER FISH OR WILDLIFE. THE PROPOSED PROJECT IS SIMILAR IN SIZE AND SCOPE TO TWO OTHER SIX LOT SMALL LOT SUBDIVISION APPLICATIONS LOCATED ON THE SAME BLOCK, VTT-82365, 1959 S. PREUSS ROAD AND VTT-82264, 1973 S. PREUSS ROAD. WE ARE NOT REQUESTING ANY VARIANCES IN CONJUNCTION WITH THE APPLICATION FOR SMALL LOT SUBDIVISION.

## FINDINGS FOR APPROVAL, CONTINUED VTT-82683 PROPOSED 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

- 6Q. THE DESIGN OF THE SUBDIVISION AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.
- 6A. THERE APPEARS TO BE NO POTENTIAL HEALTH PROBLEMS CAUSED BY THE DESIGN OR IMPROVEMENT OF THE PROPOSED PROJECT. AN EXISTING SANITARY SEWER IS AVAILABLE IN PREISS ROAD ADJOINING THE SUBDIVISION. THE PROPOSED DEVELOPMENT WILL BE REQUIRED TO BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM, WHERE THE SEWAGE WILL BE DIRECTED TO THE LOS ANGELES HYPERION TREATMENT PLANT, WHICH HAS BEEN UPGRADED TO MEET STATEWIDE OCEAN DISCHARGE STANDARDS.
- 7Q. THE DESIGN OF THE SUBDIVISION AND THE PROPOSED IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS ACQUIRED BY THE PUBLIC AT LARGE FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.
- 7A. NO SUCH EASEMENTS ARE KNOWN TO EXIST. NEEDED PUBLIC ACCESS FOR ROADS AND UTILITIES, IF REQUIRED, WILL BE ACQUIRED BY THE CITY PRIOR TO RECORDATION OF THE PROPOSED TRACT MAP.



#### SMALL LOT DESIGN STANDARDS (SLD) Administrative Review

RELATED CODE SECTION: Los Angeles Municipal Code Section 12.22 C.27(a)(2) authorizes the Director of Planning's review for compliance with the Commission's Small Lot Design Standards.

#### GENERAL INFORMATION

New Applications - This application and full set of architectural plans as listed below shall be filed concurrently with any small lot subdivision application request (Vesting Tentative Tract or Preliminary Parcel Map) and along with any applicable Geographic Project Planning Referral Form (CP-7812).

Modifications to Approved Projects (Deemed Complete After April 18, 2018) - Any subsequent modifications to architectural plans found not to be in substantial compliance with the originally approved Exhibit A shall be required to file a new application for Administrative Clearance and pay all applicable fees concurrently with a building permit application for a small lot project ("Project").

#### Determining a Project:

For the purposes of Small Lot Administrative Clearance application, the term "Project" includes the erection or construction, reconstruction, rehabilitation, relocation, addition to, or exterior alteration of any building or structure, which require the issuance of a demolition permit, grading permit, or building permit. Projects include the preservation of existing structures in a single lot and the subdivision of land for Small Lot purposes. A Project excludes work that consists solely of interior remodeling, interior rehabilitation or repair work that does not result in alterations to the façade or change in floor area. The following are examples of building permits that are generally exempt from administrative review:

- · Re-roof with no alterations to the existing roof form, roof details, eave depth, eave details, or facades of the buildings
- In-ground swimming pools where permitted by the

- Maintenance, repair, and/or rehabilitation of existing foundations
- Maintenance, repair, and/or rehabilitation of existing window and door treatments
- Mechanical equipment
- Exterior lighting

	Reconstitutities solar modules							
1.	SUBMITTAL REQUIREMENTS Size and Number of Copies: Provide one full st Site Plan Contextual and Dimensioned Floor Plans Detailed Elevations Roof Plan	☐ Materials Sheet ☐ Renderings	See Technical Requirements applicable to all					
2.	APPLICANT INFORMATION	APPLICANT INFORMATION						
	Applicant Name Preuss Villas LLC, Attn: Mr. Faramarz Lavaei							
	Address 643 S. Olive		Unit/Space Number 1000					
	City Los Angeles	State <u>CA</u>	Zip <u>90014</u>					
Telephone (213) 612-0000		E-mail receptionist@	atlantic777.com					
3.	CASE INFORMATION							
	Administrative Clearance Case Number	Tract/Parcel Map Case Number	Additional Case Number (If applicable)					
	RD1,5-1	RD1.5-1	Low Medium II Residential					
	Existing Zone	Proposed Zone (If Applicable)	General Plan Land Use Designation					
	Residential	6 lot small lot subdivision	_					
	Existing Use	Proposed Use						

Existing Use

4.	PROJECT SUMMARY									
	Project Address:	1951 - 1953 9	S. Preuss Roa	d, Los Angeles CA 90034						
	Community Plan Area: West Adams - Baldwin Hills-Leimert									
	Specific Plan, DRB, CDO, POD, NOD, CPIO or SN, including subarea if applicable:									
	Small Lot Subdivision Type (check all that apply)									
	☑ New construction ☐ Small Lot Subdivision of Existing Dwelling Unit/s** ☐ Renovation/Addition									
	** If your project involves	the small lot s	subdivision of	existing dwelling units, please describe the propos	ed alterations.					
	(Please note that any nonc	onforming buildin 12.23-A):	g, structure or im	provements may be maintains or repaired or structurally alter	ed provided it					
5.	PROJECT DETAILS									
	Proposed number of lots:		6	Proposed number of small lot homes:	6					
	Maximum building height:		44'-6"	Number of stories:	4+roof deck					
	Roof deck(s) proposed:		ØYes □ No	Maximum building height with railing:	44'-6"					
	Total number of parking spa	ices provided:	10	Number of guest parking spaces provided (If applicable):	n/a					
	Common open space provid	led:	□Yes Ø No	Size of common open space:						
TI	ne following section sh	ail he comple	eted by City	Planning staff at the time of filing:	<del></del> }					
6				· iag care at the time of timeg.						
٥.	ACCEPTANCE FOR FILING Project Type									
□ New Construction □ Change of use from apartment unit to Small Lot Home □ Modification to an existing Small Lot Home that constitutes a Project □ Not a Project										
	Planning Signature			Phone Number						
	Figuring Signature									
	Print Name			Date						

Fee Miscellaneous sign off - Director

Receipt Number

Small Lot Design Standards Checklist

To be completed by applicant and subsequently verified by Project Planners during project review.

	BŲ	LDING DESIGN						
1.	Dv	elling Orientation	Yes	No	N/A	Plan Sheet	Administ Veo O	
	a.	Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways ("right-of-way") or private street shall orient the primary entryway ("front door") toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.			0	<u>A1,10</u>		
	b.	Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.	Ø			A1,10		
	C.	Small Lot Homes that abut an alley shall orient the primary entryway toward the alley or shall be connected to a pedestrian pathway that leads directly to a right-of-way.	v			<u>A1.10</u>		
2.	Pri	mary Entryways						
	a.	All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.	Ø	_		A4.00		
	b.	All primary entryways shall incorporate at least four of the following elements:						
		The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.						
		ii. The doorway shall be recessed at least 3 inches from the building façade.	包			<u>A1.10</u>		
		iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.	0		₽			
		iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.	Ø			<u>A1.10</u>		
		v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.	Ø			A1.10		
		vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.	V			<u>A1.10</u>		
3.	Pri	mary Entryways Between Small Lot Homes					M. M.	
	a.	Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The	_	_	_	A4 40		

☑ □ □ A1.10 □

provides access to the entryway.

separation may include projections as listed in 2.b.iil above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that

4.	Facad	le Ari	ticula	tion
₹.	ıuvuv			

- a. Façades facing a right-of-way, the project perimeter, and all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate all of the following facade articulation techniques:
  - i. Change in exterior building materials to include at least two high-quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.
  - Porticos, awnings, terraces, balconies, eyebrows, or trellises of at least 6 inches in depth that provide variations in the building plane.
  - iii. Window treatments that are extruded or recessed from the building façade a minimum of 3 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.
  - iv. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the facade.
  - v. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.

#### 5. Varied Roofline

- a. For any Small Lot Home façade fronting a right-of-way exceeding two stories in height, the roofline shall be articulated by incorporating two of the following:
  - A roof with a slope equal to or greater than 2 inches to 12 inches, including but not limited to a sloped or curved roofline at the top of the dwelling.
  - A flat roof with a minimum of 2 feet vertical height difference for a minimum of 10 horizontal feet along the roofline of each building façade.
  - iii. A break in façade plane of a minimum of 6 inches in depth that is carried up to the roofline.
  - iv. Any form of roofline modulation such as a step back, an outdoor stairwell, or a corner balcony.

#### 6. Roof Decks

a. All roof decks along the project perimeter and abutting residential uses shall be stepped back a minimum of 5 feet from the roof edge, so that they are oriented away from and screened to prevent direct views of abutting residential neighbors. Roof decks facing a right-of-way are not required to be stepped back.

Yes	No	N/A	Plan Sheet	Administrative Use Only
v			A4.00	
☑			A4.00	
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	_	_	A4 40	
			A1.10	
	_	_	Δ1 10	
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V			A4.00	
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Ø			A4.00	
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7	7. Bu	ilding Massing Variation	Yes	No	N/A	Plan Sheet	Administrative Use Only
		Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.			<b>2</b>		
	b.	Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.	Ø			<u>A4.00</u>	· o
	C.	Small Lot Homes shall be unique in design so that there is variety between Small Lot Homes within a subdivision. For a Small Lot Subdivision containing more than six Small Lot Homes in a single row, there shall be at least two variations in building design, such as changes in dwelling orientation, primary entryways, fenestration pattern, façade articulation, or varied roofline as prescribed in Subsections 1-5. For a Small Lot Subdivision of 20 or more Small Lot Homes, there shall be at least three variations in building design as stated above.		0	Ø		
В.	PEDI	ESTRIAN CONNECTIVITY AND ACCESS					
1.	Pe	destrian Pathways					
	a.	Pedestrian pathways of a minimum width of 3 feet shall be provided from the right of-way to all primary entryways and common areas, such as common open space areas, guest parking, mailboxes, and centralized trash enclosures.	v		0	<u>A1.10</u>	
	b.	A pedestrian pathway located within or parallel to a Common Access Driveway shall be constructed and/or treated with a change of materials, finishes, pattern, or paving that distinguishes the pathway from vehicular traffic.	Ø			A1.10	
	C.	Small Lot Subdivisions of 20 or more Small Lot Homes shall provide pedestrian and bicycle access to surrounding neighborhood rights-of-way.			V		
2.	Fer	ices/Walls					1. <b>13</b> 1.
	a.	Fences or walls abutting the street or common open space areas shall be decorative, including but not limited to latticework, ornamental fences, screen walls, hedges or dense shrubs or trees. Solid masonry walls along the right-of way are not permitted.	V	_		<u>A1.10</u>	
	b.	Fences or walls abutting the right-of-way and within the yard shall provide a point of entry into each lot abutting the right-of-way.	v			<u>A1.10</u>	
C.	LAN	DSCAPING					1
1.	Lar	dscaping, Common Open Space Areas and Amenities					
•	a.	All setback and open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, and common open space areas shall be attractively landscaped and maintained.	Ø			A1.10	

	b.	Required Common Open Space Areas must:  i. Be open to the sky and have no structures that project into	Yes	No	N/A	Plan Sheet	Administrative Use Only
		the common open space area, except as provided in Section 12.22 C.20 (b).			Ø	<del></del>	. <u> </u>
		<ol> <li>Be located at grade level, contiguous or connected, and readily accessible to all residents of the site.</li> </ol>			V		
		iii. Have a minimum area of 300 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Driveways, parking spaces, or pedestrian pathways cannot be counted toward the open space requirement.	0		V		
	C.	The combination of required Common Open Space Areas shall be multifunctional and designed to accommodate a range of passive, active, or social uses, with enhancements such as landscaping, activity lawns, swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, decorative bike racks, and/or dog washing stations. Common open space areas may include enhanced side yards and rear yards that meet the minimum area and dimension requirement above.			v		
	d.	All yards of a subdivision abutting the right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patios, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks.	0		_	<u> A1.10</u>	
D.	Small Use S site wi	DUSE SMALL LOTS  Lot Subdivisions may provide Small Lot Homes that contain comme mail Lot Homes"). Mixed Use Small Lots must comply with all other th regards to parking, signage, access, and FAR limitations in the LA required for any Mixed Use Small Lot Home in addition to the other nent.	appli MC.	cable The f	regi follow	ulations ring Des	governing the ign Standards
	1. Bu	illding Orientation and Entry					
	a.	Mixed Use Small Lot Homes shall be first located along the perimeter of the subdivision abutting the right-of-way.			Ø		

#### 1. E

- a.
- b. A Mixed Use Small Lot Home shall provide a separate ground floor entrance to the commercial use, or an identifiable lobby that serves both the residential and commercial uses. The commercial entrance shall be directly accessible from the right-of-way and open during the normal business hours posted by the business.

#### 2. Building Design

- a. A Mixed Use Small Lot Home shall be designed with an identifiable ground floor commercial component.
- b. Store entrances shall be recessed, not flush, with the edge of the building facade to articulate the storefront and provide shelter for persons entering and exiting.
- c. The ground floor commercial use shall be visually separated from upper residential floors, with a façade treatment such as an awning, framing, setback, or overhang of at least 18 inches in depth, so as to distinguish the commercial base of the building.

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					' **	110	11/	Sheet	Use Only
		d.	The storefront of a ground floor non-residential right-of-way shall consist of at least fifty per windows and doors, unless otherwise prohibited of the L.A.M.C.	rcent transparent			Ø		
		е.	Signage for the ground floor commercial use s or adjacent to the ground level, and be located feet.				Ø		1968 1871 (1 <mark>1</mark> <b>□</b> 1872 (11 <del>□</del> □
E.	Exi	istin core	ALOW COURTS AND EXISTING STRUCTURE  g bungalow courts and detached single, dup  lance with the 2018 Small Lot Code Amendment  ure" to a Small Lot Subdivision shall only be requ	lex, or triplex dwelling. The conversion of an	n exis	ting '	'Bung	jalow Co	urt or Existing
	1.	Co	emmon Access Driveway						
			Existing Common Access Driveways, pedestricentral common open space areas shall be mareduced in size.						
	2.	Pe	destrian Pathway						
		a.	Pedestrian pathways of a minimum width or provided from the public rights-of-way to all pland common areas, such as centralized trashiparking, and open space easements. If narrowethey may be maintained in the same footprint a not be further reduced in width.	rimary entryways enclosures, guest er pathways exist,	_	_			
	3.	Ex	isting Structures						
		a.	New dwelling construction or additions to identified historic structure shall be in confo Secretary of the Interior's Standards for Rehabi	rmance with the				<del></del> :	
	4.	Ne	w Dwellings						
		a,	All new dwellings proposed in addition to a Be Existing Structure Small Lot project shall also m design standards in sections A, B, and C of the Standards. 5. Landscaping All open areas not uparking areas, driveway, pedestrian pathwamenity areas shall be attractively landscaped a	eet the applicable Small Lot Design ised for buildings, ays, utilities, or			Ø.	· · · · · · · · · · · · · · · · · · ·	
Ado	litio	nal	Design Details						
									<del></del>
	The following section shall be completed by Project Planning staff after the review and approval of submitted plans:								
8.	AD	MIN	IISTRATIVE CLEARANCE APPROVAL						
			Signature	Phone Number					······································
Pric	nt Na	am	···	Date					_ <del>.</del>
			<u> </u>	<del>.</del> .					

Plan Administrative

## INSTRUCTIONS: Administrative Clearance - SLD

- 1. Submittal Applicants are required to submit a completed Administrative Clearance Application, including the project summary and checklist, at the time of Administrative Clearance filing.
- 2. Review Materials Review of the application by an assigned project planner will verify if the project meets the requirements of the Small Lot Design Standards.
- 3. Timing of Review The Administrative Clearance shall be completed prior to the scheduling of any required hearing for a proposed small lot subdivision map. In cases where a hearing has been waived, this review shall be completed prior to the issuance of the subdivision determination.
- 4. Relief The Administrative Clearance does not provide any relief mechanisms for project applicants. Applicants are required to demonstrate compliance with all applicable design standards.
- 5. Appeal Rights The Administrative Clearance process is non-appealable.
- 6. Conditions of Approval As a condition of approval, all small lot subdivisions, including Vesting Tentative Tract Maps and Preliminary Parcel Maps, shall be required to conform to the plans approved during the Administrative Clearance review process. These plans shall be stamped Exhibit A and included in the related subdivision map case file.
- 7. Building Permit Clearance Following the entitlement approval of a small lot subdivision map, subsequent building permit applications for the new construction of said map's small lot homes shall be in substantial conformance with the most recently approved set of plans.
- 8. Other Applicable Approvals Applicants are strongly advised to consult with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filling. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.
- 9. Modifications to Projects Deemed Complete after April 18, 2018 If a project's architectural plans are modified subsequent to the initial approval of the project and determined by the Department of City Planning to no longer be in substantial compliance with Exhibit A, the applicant shall file a new application for Administrative Clearance and pay all applicable fees.
- 10. Exceptions The following projects are not required to file an Administrative Clearance pursuant to L.A.M.C. Section 12.22 C.27(c):
  - a. Any small lot subdivision entitlement application filed, accepted and deemed complete prior to April 18, 2018, as determined by the Department of City Planning.
  - b. Any project for which the City has approved a small lot subdivision discretionary land use entitlement as of April 18, 2018, but that has not yet submitted plans and appropriate fees to the Department of Building and Safety for plan check, as determined by the Department of City Planning.

City of Los Angeles Department of City Planning website:	http://planning.lacity.org
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### REFERRAL FORMS:

# GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, <u>must</u> accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
- ◆ Community Design Overlays (CDO)
- Neighborhood Oriented District (NOD)
- ◆ Sign District (SN)
- Zone Change

- Design Review Board (DRB)
- Pedestrian Oriented District (POD)
- Community Plan Implementation Ordinance (CPIO)
- Public Benefit Alternative Compliance
- Zone Variance

NOTE: The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the date of the Project Planning Signature, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

### **PROJECT SUMMARY**

1.	Subject Property Address	ss: <u>1951-19</u> 53	S. Preuss Road, Los Ar	geles CA 9003	4				
2.	Community Plan Area Name: West Adams-Baldwin Hills-Leimert								
	a. Specific Plan Name, Density bonus, Small	DRB, CDO, Po Lot Subdivision	OD, NOD, CPIO, or SN or Zone Variance case,	l, including su please write in	barea if applicable: the application type).	(If this is a			
	VTT-82683-SL propos	sed 6 lot small id	t subdivision						
3.	Project Type (check all t	hat apply)							
	☑ New construction ☐ Change of Use ☐ Other (describe)	☐ Grading	☐ Density Bonus	Small Lo	Subdivision	<del></del>			
	If Change of Use, what is: Existing Use?		Proposed	Use?					
	Description of proposed po	roject: <u>Vesting T</u> with ownership :	entative Tract Map No. parking provided on indi	82683 to permit vidual lots.	construction of				
_		s 4-7 to be comp	leted by Department of C	City Planning St	iff Only				
1.	<b>AUTHORIZATION TO FIL</b>				· · · · · · · · · · · · · · · · · · ·				
	Specific Plan/SN								
	greater than 200	del or renovation sq. fi. more than rojects, e.g. nev	n in which additions are 3 signs, wireless equip buildings, remodels tha	ment	☐ Adjustment☐ Exception☐ Amendment☐ Interpretation☐ Not a Project☐ Other				

	Design Review Board		
	☐ Preliminary Review ☐ Final Review	W	
	CDO/POD/NOD		
	☐ Discretionary Action		☐ Sign-off only
	<ul> <li>O Minor (3 signs or less OR change of use)</li> <li>O Standard (Remodel or renovation in which greater than 200 sq. ft. more than 3 signs,</li> <li>O Major (Ali other projects, e.g. new building include an addition of more than 200 sq. ft</li> </ul>	h additions are no , wireless equipment gs, remodels that	☐ Not a Project
	Community Plan implementation Overlay (CPIO	1	
	☐ Administrative Clearance (Multiple Approvals) ☐ Potentially Historic Resource	☐ CPIO Adjustment (CPIOA)	☐ CPIO Exception (CPIOE)
	Affordable Housing		
	<ul> <li>□ Density Bonus</li> <li>□ Affordable Housing Referral Form</li> <li>○ Off-menu incentives requested</li> </ul>	☐ Conditional ☐ Public Bene	-
	Small Lot Subdivision		
	☐ Consultation completed		
	Streetscape Plan		
	☐ Consultation completed ☐ Not a Proje	ct or N/A under Streetscape Plan	1:
5.	ENVIRONMENTAL CLEARANCE		(mitout otherwise Lieus Ward)
	☐ Not Determined		
	Categorical Exemption	☐ Environmental Assessment ☐ Other Entitlements needed	Form (EAF)
	☐ Class 32 Categorical Exemption ☐ Existing ENV Case Number:		
	☐ ENV Addendum Case Number:		
6.	PUBLIC NOTICING		
	☐ Standard (BTC to mail hearing notice) ☐ Special (At time of filing applicant must pay BTC ☐ Abutting owners ☐ Abutting occupants		у)
7.	NOTES		
_		Phone Number:	
•	Project Planning Signature:	23-9	78-1348 7
F	rifit Narrie Kyla Winston	Date 8/22/(9	₹

. .4



THIS BOX FOR CITY	PLANNING STAFF USE ONLY
Environmental Case Number:	
Related Case Numbers:	
Case Filed With (Print Name):	Date Filed:
EAF Accepted By (Print Name):	Date Accepted:
All terms in this document are applicable to the	ne singular as well as the plural forms of such terms.
Project Address1: 1951-1953 S. Preuss Road, Los Angele	es CA 90034
Assessor's Parcel Number: 4302-019-016	
Major Cross Streets: Sawyer Street to the north and Guth	orie Avenue to the south
Community Plan Area: West Adams - Baldwin Hills - Lein	· · · · · · · · · · · · · · · · · · ·
APPLICANT (if not Property Owner)	PROPERTY OWNER
Name: Preuss Villas LLC	Name: Same as Applicant
Company: Altn: Mike Lavaei	Company:
Address: 643 S. Olive St., Suite 1000	Address:
City: Los Angeles State: CA Zip Code:	
E-Mail: mike@atlantic777.com	E-Mail:
Telephone No.: (213) 612-0000	Telephone No.:
APPLICANT'S REPRESENTATIVE	ENVIRONMENTAL REVIEW CONSULTANT
Name: Harvey Goodman Civil Engineer	Name:
Company: Harvey Goodman Civil Engineering	Company:
Address: 834 17th St., #5	Address:
City: Santa Monica State: CA Zip Code: 90403	City: State: Zip Code:
E-Mail: sheri@harveygoodman.com	_ E-Mail:
Telephone No.: (310) 829-1037	Telephone No.:

<sup>1</sup> Project address must include all addresses on the subject site (as identified in ZIMAS; http://zimas.lacity.org)

### **OVERVIEW**

2.

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings, and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

1.		IECT	DESCRIPTION
	rku.		DESCRIPTION

A.	Briefly describe the entire project and any related entitlements (e.g. Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.								
	VTT82683 construct 6 lot small lot subdivision with 2 ownership parking spaces provided on each								
	individual lot pursuant to ordinance no. 185462								
	Additional information or Expanded Initial Study attached:   YES  NO								
В.	Will the project require certification, authorization, clearance or issuance of a permit by any federal, state county, or environmental control agency, such as Environmental Protection Agency, Air Quality Management District, Water Resources Board, Environmental Affairs, etc.?								
	If YES, please specify:								
EX	CISTING CONDITIONS								
A.	Project Site.								
	Lot Area: 9369 square feet								
	Net Acres: 0.20 Gross Acres: 0.22,								
В.	Zoning/Land Use.								

Existing

Low Medium II Residential

RD1.5-1

residential

Proposed

6 lot small lot subdivision

Low Medium II Residential

RD1.5-1

Zonina

Use of Land

General Plan Designation

	Structures.							
	1. Does the pr	roperty (	contain any	vacant structure?	□ YES	☑ NO		
	If YES, des	scribe an	nd state how	olong it has been vacant:				
1	•			I/demolished as a result of				
	ii i Ea, pio			total square foo				
	and age: a	рргох. 9	4 years old		of structures (	to be remove	ed.	
			ings (apartn	nents, single-family, condo	ominiums etc.	) are being	removed in	dicate the
•	Trees.							
		trees or	the proper	rty, <u>and/or</u> within the public	c right-of-way	nevt to the	nronerty fi	aat will he
				of the project?			property, u	iat wiit be
	If YES complete	e the fol	lowing:					
	Tr <del>ee</del> Status		Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted
	Non-Protes	cted L				]		
	Non-Protection (8" trunk diam		0	sec alla	ched	Free	-	
		meter	0	sec alla Report	ched	Free	·	
	(8" trunk dia	meter er)	0	Re POC	ched	Free		
	(8" trunk dia and great	meter er) ed meter		Report	ched	Free		
	(8" trunk dial and great Protecte (4" trunk dial	meter er) ed meter		Oak Tree (excluding Scrub Oak) Southern California	ched	Free		
	(8" trunk dial and great Protecte (4" trunk dial	meter er) ed meter		Oak Tree (excluding Scrub Oak) Southern California Black Walnut	ched	Free		
1	(8" trunk dial and great  Protecte (4" trunk dial and great	meter ded meter ter	0	Oak Tree (excluding Scrub Oak) Southern California Black Walnut Western Sycamore				nderneath
,	Protecte (4" trunk dial and great and great	meter den) deneter ter	grading or	Oak Tree (excluding Scrub Oak)  Southern California Black Walnut  Western Sycamore  California Bay construction activity will be				nderneath
-	Protects (4" trunk dial and great  4" trunk dial and great the tree's can Additional inform	meter ded meter ter ans that nopy.	grading or attached:	Oak Tree (excluding Scrub Oak)  Southern California Black Walnut  Western Sycamore  California Bay construction activity will be	conducted w	ithin five (5)	feet of, or u	
	Protects (4" trunk dial and great  4" trunk dial and great the tree's can Additional inform	meter ter ter ter ter mation and that the ter ter ter ter ter ter ter ter ter te	grading or attached:	Oak Tree (excluding Scrub Oak)  Southern California Black Walnut  Western Sycamore  California Bay construction activity will be	conducted w	ithin five (5)	feet of, or u	
	Protects (4" trunk dial and great  Protects (4" trunk dial and great the tree's can Additional inform	meter der der der der der der der der der d	grading or attached: defined in Se	Oak Tree (excluding Scrub Oak) Southern California Black Walnut Western Sycamore California Bay construction activity will be	conducted w	ithin five (5)	feet of, or u	

F.	Grading. Specify the total amount of dirt being moved:
	☑ 0-500 cubic yards ☐ More than 500 cubic yards
	If more than 500 cubic yards (indicate amount): cubic yards
G.	Import/Export. Indicate the amount of dirt to be imported or exported:
	Imported: 500 cubic yards Exported: cubic yards
	Location of disposal site:
	Location of borrow site: to be determined
	Is the Project Site located within a Bureau of Engineering (BOE) Special Grading Area?
	If YES, a Haul Route is required.
Н.	Hazardous Materials and Substances. Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination?
	If YES, describe:
	If YES, a Phase I Environmental Site Assessment (ESA) is required.
I.	Historic, Cultural and/or Architecturally Significant Site or Structure. Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:
	□ National Register of Historic Places:
	☐ California Register of Historic Resources:
	☐ City of Los Angeles Cultural Historic Monument:
	□ Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ):
	☐ Identified on SurveyLA:
	☐ Identified in HistoricPlacesLA:
	Does the Project affect any structure 45 or more years old that does not have a local, state, or federal
	designation for cultural or historic preservation?

		derground storage tanks or YES, describe:	* *		•		<b>—</b> 123	☑ NO
	_						and i	ndicate the she
	กบ	mber on your plans showin	g the condition:		<u>.                                    </u>	·		
 	n the s involve	OSED DEVELOPMENT sections below, describe the sections below, describe the sections that one phase or settle, with the total or project.	substantial expa	nsion or cha	inges of exis	iting uses	s, please docu	ment each portio
	A. AL	L PROJECTS						
	i.	Parking.						
		Vehicular Parking						
		Required: 12		+ Guest: <u>0</u>				
		Proposed: 12						
		Bicycle Parking:						
		Required Long-Term: 0		Req	uired Short-	Term: <u>0</u>		_
			· · · · · ·					
		Proposed Long-Term: 0		Prop		Term: <u>0</u>		_
		Proposed Long-Term: 0	<del></del>	Prop		Term: <u>0</u>		_
	ii.	Proposed Long-Term: 0 Height.	<del></del>	Prop		Term: <u>0</u>		_
	ii.			·	osed Short-			_
	ii.	Height.	cluding mezzani	ne levels): 4	osed Short-			_
	ii.	Height. Number of stories (not inc	:luding mezzani posed?	ne levels): 4	osed Short-			_
	ii.	Height. Number of stories (not inc	cluding mezzani posed? (floor:	ne levels): 4	stories	Maximu		_
	ii.	Height. Number of stories (not income Mezzanine levels proof of YES, indicate on which	cluding mezzani posed? [ floor: equare feet of ea g in a height in that are localed	ne levels): 4  YES  Ich mezzani excess of 6	stories  NO ne:  Ofeet may remait Priority	Maximu Maximu equire a Area (TF	m height: <u>44</u> " Shade/Shade (A) as defined	ow Analysis. Th
		Height. Number of stories (not income Mezzanine levels proof of YES, indicate on which If YES, indicate the total solution in the construction resulting does not apply to projects.)	cluding mezzani posed? [ floor: equare feet of ea g in a height in that are localed	ne levels): 4  YES  Ich mezzani excess of 6	stories  NO ne:  Ofeet may remait Priority	Maximu Maximu equire a Area (TF	m height: <u>44</u> " Shade/Shade (A) as defined	ow Analysis. Th
		Height. Number of stories (not income Are Mezzanine levels proof of YES, indicate on which If YES, indicate the total of the New construction resulting does not apply to projects the Planning and Zoning of the Planning and Zoning and Zoning of the Planning and Zoning and Zo	cluding mezzani posed? [ floor: square feet of ea g in a height in that are localed lab in ZIMAS for	ne levels): 4  YES  Ach mezzani excess of 6  within a Tra	stories  NO ne:  Ofeet may remait Priority	Maximu equire a Area (TF IMAS.Iac	m height: <u>44</u> " Shade/Shade (A) as defined	ow Analysis. Th by ZI-2452 (che
	m.	Height. Number of stories (not income Mezzanine levels proof of YES, indicate on which of YES, indicate the total state of the construction resulting does not apply to projects the Planning and Zoning of Project Size.	cluding mezzani posed?  floor:  quare feet of ea g in a height in that are located tab in ZIMAS for	ne levels): 4  YES  Ach mezzani excess of 6 within a Tra this informa	stories  NO ne:  of feet may resit Priority ation http://Z	Maximu equire a Area (TF IMAS.Iac	Shade/Shade/A) as defined oity.org).	ow Analysis. Th by ZI-2452 (chec
	m.	Height. Number of stories (not income Mezzanine levels proof of YES, indicate on which of YES, indicate the total state of the New construction resulting does not apply to projects the Planning and Zoning of Project Size. What is the total floor area.	cluding mezzani posed?  floor:  quare feet of ea g in a height in that are located tab in ZIMAS for	The levels): 4  YES  The mezzani excess of 6  within a Tra this information 16850	stories  NO ne:  of feet may resit Priority ation http://Z	Maximu equire a Area (TF IMAS.Iac	Shade/Shade/A) as defined oity.org).	ow Analysis. Th by ZI-2452 (chec
	m.	Height. Number of stories (not income Are Mezzanine levels proof of YES, indicate on which If YES, indicate the total some construction resulting does not apply to projects the Planning and Zoning of Project Size. What is the total floor area. Lot Coverage. Indicate the	cluding mezzani posed?  floor:  quare feet of ea g in a height in that are located lab in ZIMAS for a of the project?	ne levels): 4  YES  Ach mezzani excess of 6 within a Tra this information 16850	stories NO ne: Ofeet may rensit Priority ation http://Z	Maximu equire a Area (TF IMAS.Iac	Shade/Shade/A) as defined oity.org).	ow Analysis. Th by ZI-2452 (chec

₽.	KE	SIDEN HAL PROJECT		
	lf n	o portion of the project is residential check	A and continue to next section	on
	j.	Number of Dwelling Units.		
		Single Family:6 515 , Apartment:	, Condominiu	m:
	ii.	Recreational Facilities. List recreational facilities	for project:	
			·	
	HI.	Open Space.		
	•41.	Does the project involve new construction resulting	in additional floor area and	units? Ø YES 🗆 NO
		Does the project involve six or more residential unit		☑ YES □ NO
		If YES to both, complete the following		
		Pursuant to LAMC 12.21.G	Required	Proposed
		Common Open Space (Square Feet)	NIA	NA
		Private Open Space (Square Feet)	N/A	NIA
		Landscaped Open Space Area (Square Feet)	NIA	NIA
		Number of trees (24 inch box or greater)	NIA	NIA
				,
	iv.	Utilities. Describe the types of appliances and hea	ating (gas, electric, gas/elect	ric, solar):
		To Be Determined		<del></del> .
	.,	Accessory Uses. Describe new accessory struct	ures (detached garage, que	est house, swimming pool
	٧.			
		Terroe, stable, co., and of deditions.		
		<u> </u>		
C.	co	MMERCIAL, INDUSTRIAL OR OTHER PROJECT		
•		ne project is residential only check	ntinue to next section	
	i.	Type of Use.		<del>_</del>
				<del></del>
	il.	Project Size. Does the project only involve the re	model or change of use of a	an existing interior space o
		leasehold?		
		If YES, indicate the total size of the interior space of	or leasehold:	square feet
	lii.	Hotel/Motel. Identify the number of guest rooms:	gues	t rooms

•	v. Days of operation.
	Hours of operation.
,	v. Special Events. Will there be special events not normally associated with a day-to-day operation (e.g.
	fund raisers, pay-for-view events, parent-teacher nights, athletic events, graduations)?   YES  NO
	If YES, describe events and how often they are proposed
	II 123, describe events and now often mey are proposed
	<del></del>
	<del></del>
٧	ri. Occupancy Limit. Total Fire Department occupancy limit:
	a. Number of fixed seats or beds
	b. Total number of patrons/students
	c. Number of employees per shift, number of shifts
	d. Size of largest assembly areasquare feet
	v. Security. Describe security provisions for the project
	v. Security. Describe security provisions for the project
SEL	ECTED INFORMATION
	Circulation. Identify by name all arterial road types (i.e. Boulevard I, II, Avenue I, II, III) and freeways within
	1,000 feet of the proposed Project; give the approximate distances (check http://navigatela.lacity.org for this
	information). Robertson Blvd., approx. 339' to the west of the subject site is classified as Modified Avenue II
В.	Green building certification. Will the project be LEED-certified or equivalent? ☐ YES ☐ NO
	If YES, check appropriate box:
	☐ Certified ☐ Equivalent ☐ Silver ☐ Gold ☐ Platinum ☐ Other
C.	Fire sprinklers. Will the Project include fire sprinklers?

## 5. CLASS 32 URBAN INFILL CATEGORICAL EXEMPTION (CE) REQUEST

The Class 32 "Urban Infill" Categorical Exemption (Section 15332 of the State CEQA Guidelines), is available for development within urbanized areas. This class is not intended to be applied to projects that would result in any significant traffic, noise, air quality, or water quality impacts.

- ☐ Check this box if you are requesting a Class 32 Exemption, and:
  - ☑ You have read DCP's Specialized Instructions for the Class 32 Categorical Exemption (CP-7828) and,
  - You have submitted the written justifications identified in the Specialized Instructions, and any supporting documents and/or technical studies to support your position that the proposed Project is eligible for the Class 32 Exemption and the project does not fall under any of the Exceptions pursuant to CEQA Section 15300.2.

Note that requesting the Urban Infill CE does not guarantee that the request will be accepted. The City may require additional studies and information if necessary to process the CE. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.

## APPLICANT/CONSULTANT'S AFFIDAVIT

## OWNER MUST SIGN AND BE NOTARIZED,

## IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

PROPERTY OWNER CONSULTANT/AGENT
1, (print name) Preuss V: 141, Ut; Farshie Poularies (print name)
Signature By: Signature
being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
Space Below for Notary's Use
California All-Purpose Acknowledgement Civil Code Section 1189_
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.
State of California County of Los Maeles  On
personally appeared ARSHID POURIAVNET. who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.  WITNESS my hand and official seal.
Signature  (Seal)  MUTHIAH MACHIAPPAN COMM. # 2175823 WOTARY FURSIC-CALIFORNIA OCUMY OF EOS ANGELES Ser COMM. Exp. Jan. 13, 2021

# EAF WRITTEN JUSTIFICATION VTT82863 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

- A. THE PROPOSED PROJECT IS CONSISTENT WITH THE APPLICABLE GENERAL DESIGNATION AND ALL APPLICABLE GENERAL PLAN POLICIES AS WELL AS WITH APPLICABLE ZONING DESIGNATION REGULATIONS.
- A. THE SUBJECT PROPERTY IS ZONED RD1.5-1 AND IS LOCATED WITHIN THE WEST ADAMS BALDWIN HILLS –LEIMERT COMMUNITY PLAN AREA. THE LAND USE ELEMENT OF THE CITY'S GENERAL PLAN DESIGNATES THE SUBJECT PROPERTY FOR LOW MEDIUM II RESIDENTIAL LAND USES WITH THE CORRESPONDING ZONES OF RD2, RW2 AND RZ2.5. AS SUCH, THE COMMUNITY PLAN ALLOWS FOR THE PROPOSED SUBDIVISION AND USE OF THE SUBJECT PROPERTY.

CURRENTLY, THE SUBJECT PROPERTY IS DEVELOPED WITH 2 SINGLE FAMILY HOUSES. THE PROPOSED PROJECT INVOLVES A SMALL LOT SUBDIVISION TO AUTHORIZE THE SUBDIVISION OF THE EXISTING LOT INTO SIX SMALL LOTS IN CONJUNCTION WITH THE DEMOLITION OF THE EXISTING STRUCTURES ON SITE AND CONSTRUCTION OF SIX SINGLE -FAMILY DWELLINGS WITH TWO PARKING SPACES ON EACH PROPOSED SMALL LOT. THE LOT SIZES WILL RANGE FROM 1306 TO 2154 SQUARE FEET, WHICH EXCEEDS THE MINIMUM LOT SIZE OF 600 SQUARE FEET REQUIRED BY THE SMALL LOT SUBDIVISION ORDINANCE. ADDITIONALLY, THE LOT WIDTHS WILL BE AT LEAST 22.3 FEET WIDE, WHICH EXCEEDS THE MINIMUM LOT WIDTH OF 18 FEET BY THE SMALL LOT SUBDIVISION ORDINANCE. THE LOT COVERAGE OF EACH LOT IS APPROXIMATELY 60 PERCENT WHICH IS BELOW THE MAXIMUM 75% LOT COVERAGE ALLOWED BY THE SMALL LOT SUBDIVISION ORDINANCE. THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE DENSITY REQUIREMENTS OF THE RD1.5 ZONE. THEREFORE, AS CONDITIONED, THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN AND ALL APPLICABLE GENERAL PLAN AND ALL APPLICABLE GENERAL PLAN POLICIES AS WELL AS WITH APPLICABLE ZONING DESIGNATION REGULATIONS.

- B. THE PROPOSED DEVELOPMENT OCCURS WITHIN CITY LIMITS ON PROJECT SITE OF NO MORE THAN FIVE ACRES SUBSTANTIALLY SURROUNDED BY URBAN USES.
- B. THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE LIMITS OF THE CITY OF LOS ANGELES, WITH A TOTAL LOT AREA OF 0.20 ACRES AND IS SURROUNDED BY A MIXTURE OF MULTI-FAMILY AND SINGLE FAMILY RESIDENTIAL DEVELOPMENTS.

# EAF WRITTEN JUSTIFICATION VTT82863 6 LOT SMALL LOT SUBDIVISION 1951-1953 S. PREUSS ROAD LOS ANGELES CA 90034

- C. THE PROJECT SITE HAS NO VALUE AS HABITAT FOR ENDANGERED, RARE OR THREATENED SPECIES.
- C. THE PROJECT SITE IS LOCATED IN THE CENTER OF THE CITY AND CONTAINS EXISTING SINGLE FAMILY HOUSES. WE ARE NOT AWARE OF ANY RARE, THREATENED OR ENDANGERED SPECIES UTILIZING THE AREA AS A HABITAT. THE APPLICANT HAS SUBMITTED AN ENVIRONMENTAL ASSESSMENT FORM AS PART OF THE SUBDIVISION APPLICATION. THE CITY WILL BE RESPONSIBLE FOR PREPARING AN INITIAL STUDY TO DETERMINE THAT NO POTENTIAL ADVERSE IMPACTS ON FISH OR WILDLIFE RESOURCES AS FAR AS PLANT LIFE OR ANIMAL LIFE ARE CONCERNED. MEASURES WILL BE REQUIRED AS PART OF THE APPROVAL WHICH WILL MITIGATE IMPACTS TO A LESS THAN SIGNIFICANT LEVEL. FURTHERMORE, THE SURROUNDING AREA IS PRESENTLY DEVELOPED WITH RESIDENTIAL STRUCTURES AND DOES NOT PROVIDE A NATURAL HABITAT FOR EITHER FISH OR WILDLIFE. THE PROPOSED PROJECT IS SIMILAR IN SIZE AND SCOPE TO TWO OTHER APPLICATIONS FOR SMALL OT SUBDIVISONS, VTT-82264-SL, ENV-2018-3570, LOCATED AT 1973 S. PREUSS ROAD, PROPOSED SIX LOT SMALL LOT SUBDIVISION AND VTT-82365-SL, ENV-2018-6182-CE, LOCATED AT 1957-1959 S. PREUSS ROAD, PROPOSED SIX LOT SMALL LOT SUBDIVISON.
- D. APPROVAL OF THE PROJECT WOULD NOT RESULT IN ANY SIGNIFICANT EFFECTS RELATING TO TRAFFIC, NOISE, AIR QUALITY, OR WATER QUALITY.
- D. APPROVAL OF THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT EFFECTS RELATING TO TRAFFIC, NOISE, AIR QUALITY, OR WATER QUALITY. ANY IMPACTS WILL MITIGATE IMPACTS TO A LESS THAN SIGNIFICANT LEVEL.
- E. THE SITE CAN BE ADEQUATELY SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES.
- E. THE SITE CAN BE SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES INASMUCH AS THE PROPERTY IS CURRENTLY DEVELOPED WITH SINGLE FAMILY HOUSES AND ALL UTILITES ARE EXISTING.

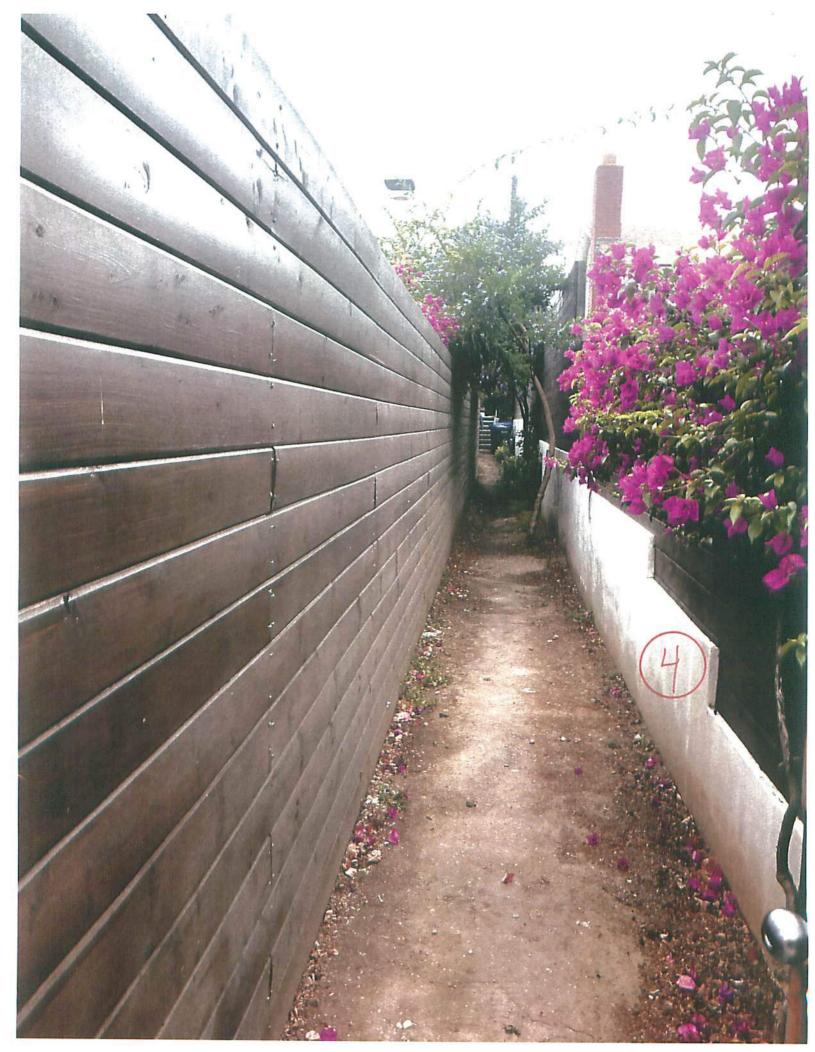
ROAD **b***E*Enza FD NULL ON CL. INTER-PER FB 17308-41 FD SPK/W ON CL INTER-NAME FOR OF LOT 33 -UNA GUTHRIE AVENUE LOT 34 TR. NO. 1250 M.B. 18-46-47 N78-57'50" \$389.70" SAWYER STREET N77-02'00"W 389.65" POR. OF LOT 33 TR. NO. 1250 M.B. 18-46-47 N76-57'50"W 159.96 LOT 35 TR. NO. 1250 M.B. 18-46-47 VILEY : EST Q. NTCR PCR FB 126-159-106 1186.71 € Bľ∧D KOBEKLZON

PHOTO KEY MAP VTT 82683, 1951 -1953 S. Preuss Road, Los Angeles CA 90034

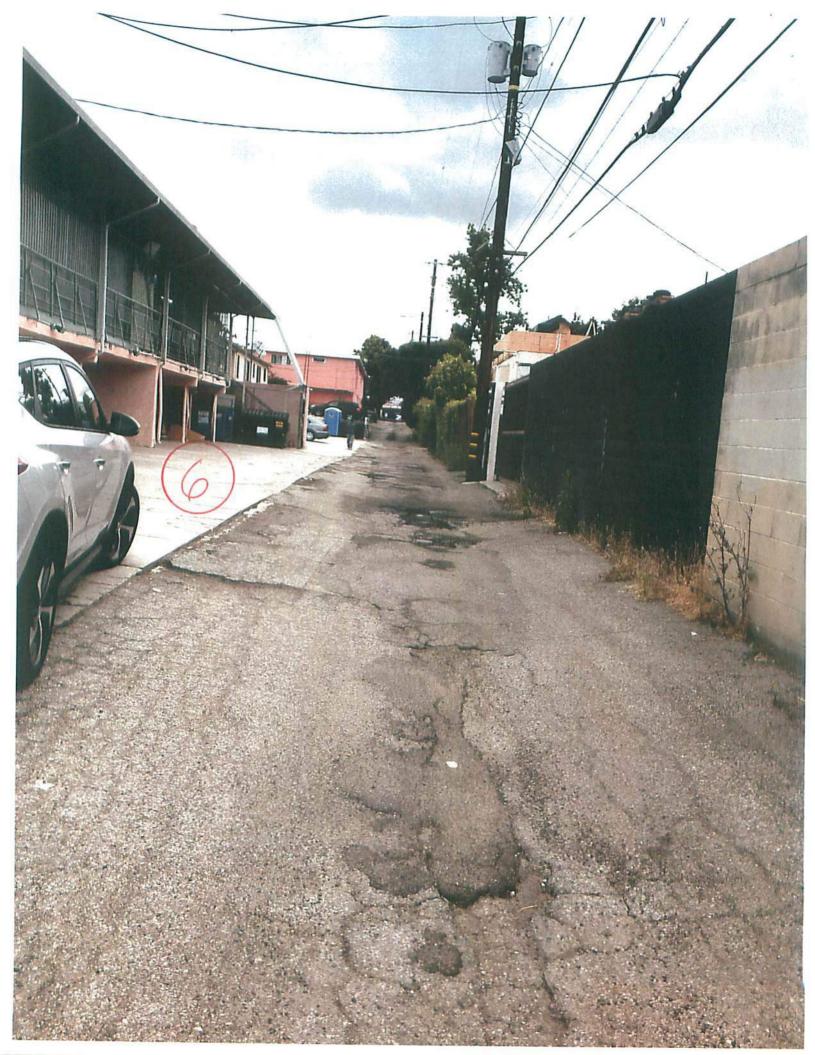


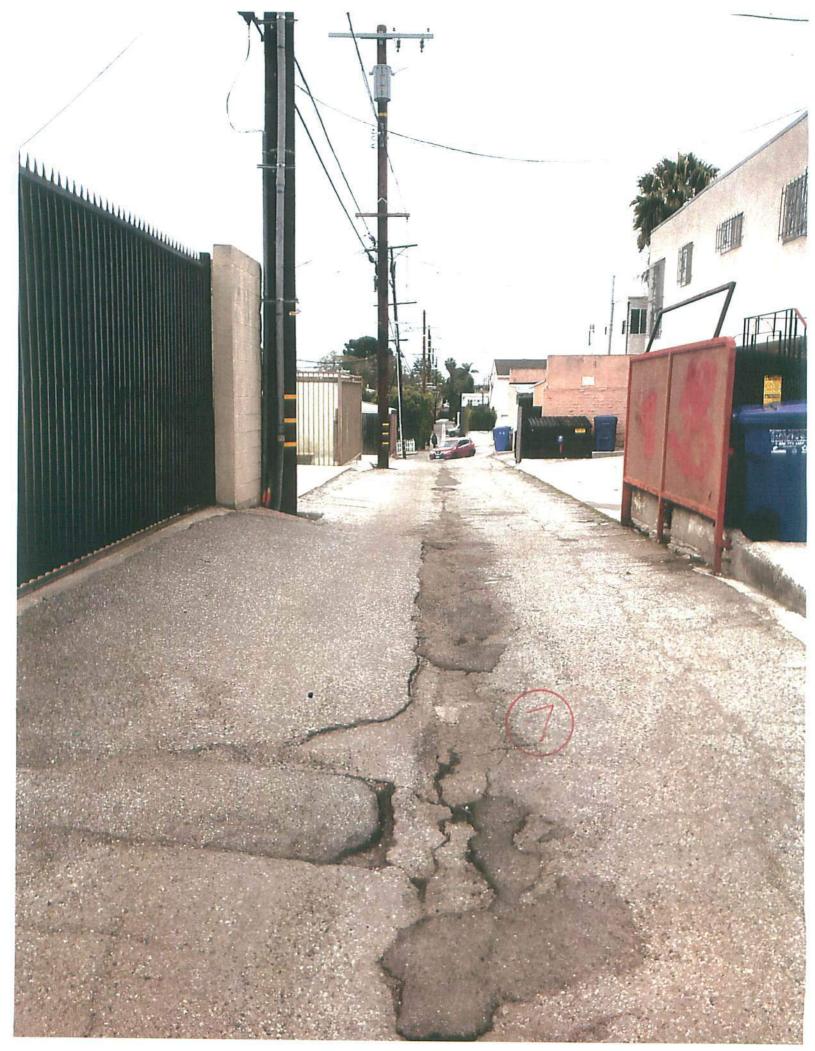


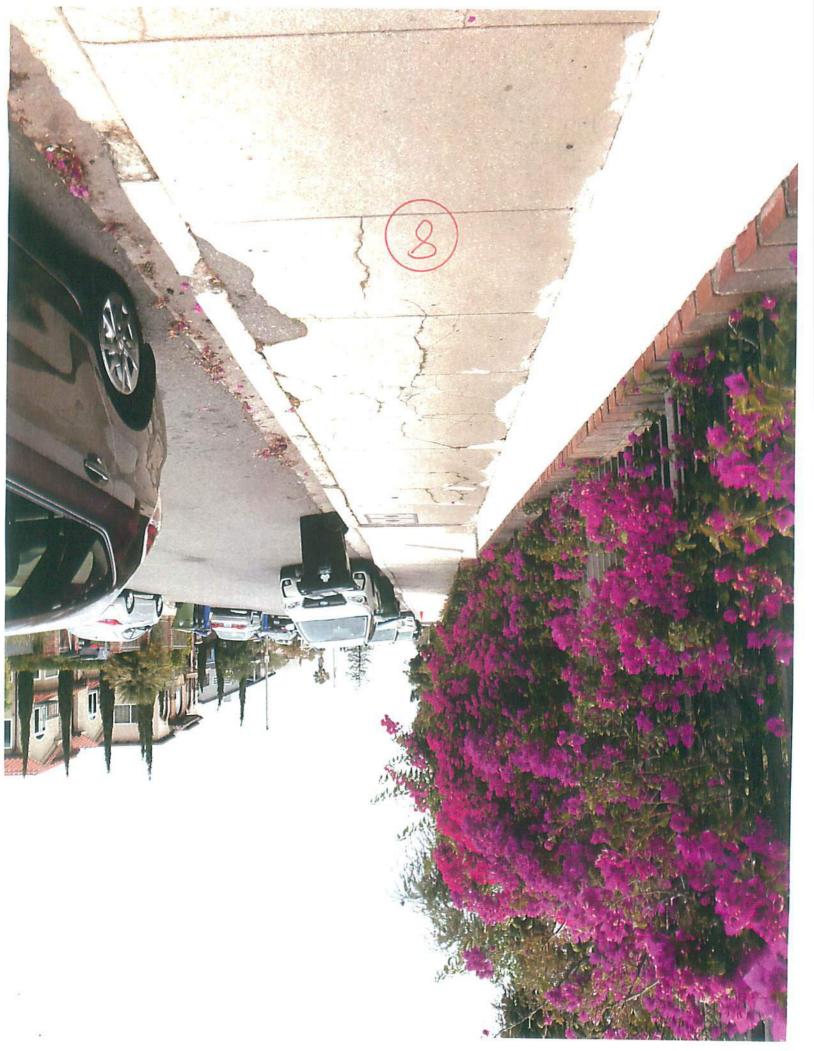














## NOTICE OF PUBLIC HEARING SOUTH OF ROBERTSON NEIGHBORHOOD COUNCIL LUED COMMITTEE MEETING

PROJECT SITE: 1951 - 1953 S. PREUSS ROAD, LOS ANGELES CA 90034

CASE NO.: VTT-82683

ENV- 2019-5697-EAF ADM-2019-5696-SLD

DATE: MARCH 5, 2020

TIME: 7:00PM

PLACE: SIMON WIESENTHALCENTER

1399 S. ROXBURY DR. LOS ANGELES CA 90035

(NORTHWEST CORNER OF PICO BLVD)

CONTACT: HARVEY GOODMAN CIVIL ENGINEER

(310)829-1037

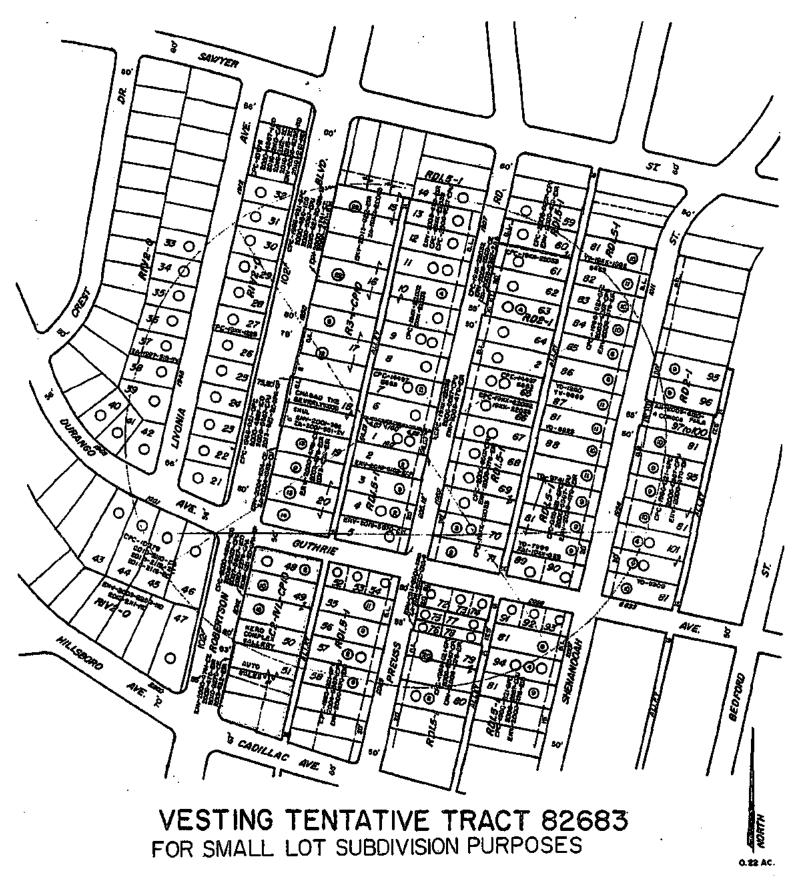
### **PROPOSED PROJECT:**

**DEMOLITION OF EXISTING STRUCTURES** 

CONSTRUCTION 4 STORY, 6 LOT SMALL LOT SUBDIVISION WITH OWNERSHIP PARKING

SPACES PROVIDED ON INDIVIDUAL LOTS

YOU ARE INVITED TO ATTEND THIS MEETING



LEGAL! LOT 34 & S'LY 4.28' CFLOT 35, TRACT NO. 1250 M.S. 18-46/47

CASE NO.
DATE APRIL 18, 2019
D.M. 126 B 169
SCALE "-100"
USES FIELD

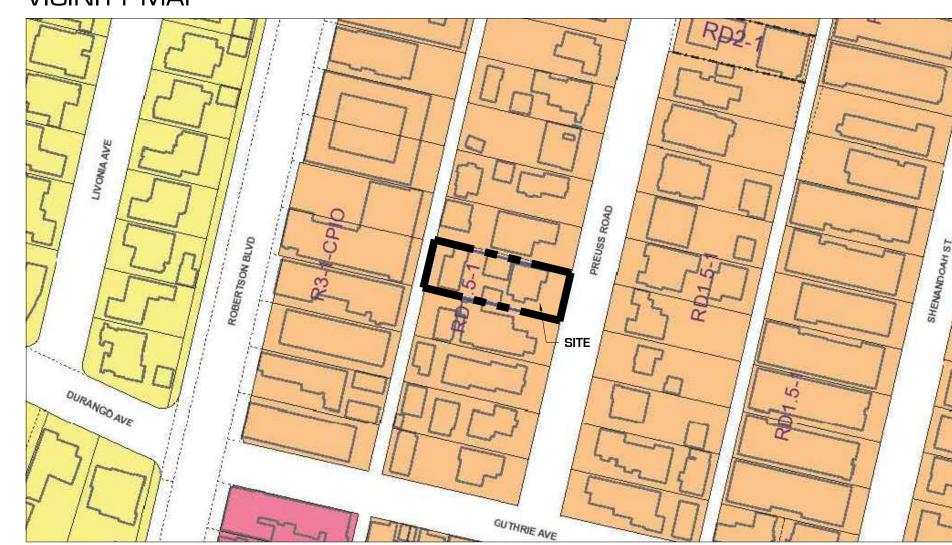
T.B. PAGE 632 GRID H-5 CD IO C.T. 2696.02 P.A. IO4 WAD REPRESENTATIVE:
HARVEY GOODMAN, C.E.
834 I7TH ST. Nº 5
SANTA MONICA, CA 90403

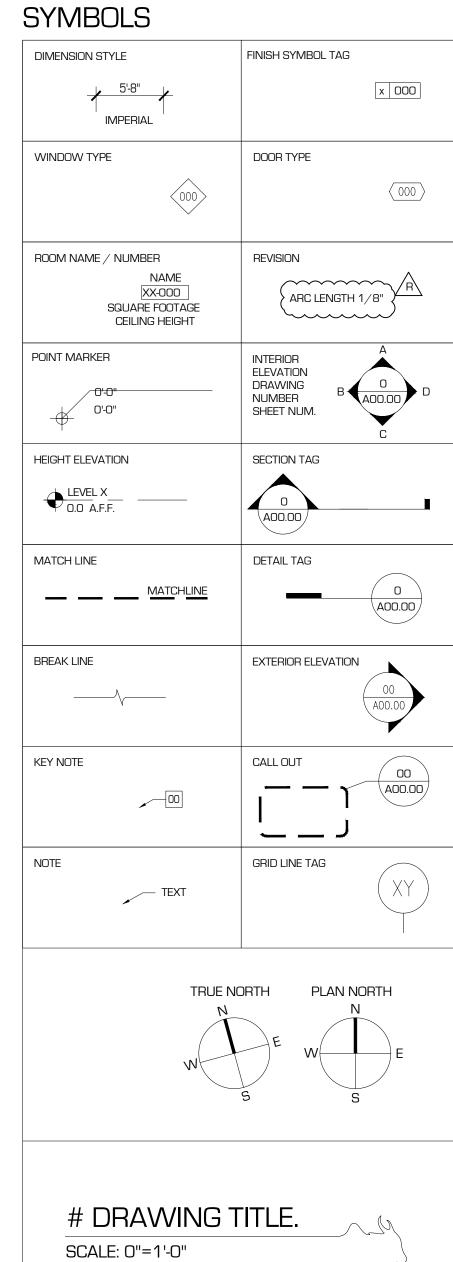
JEROME BUCKMELTER ASSOC, INC. 23534 AETNA ST. WOODLAND HILLS, CA 91397 (810) 340-8386

# RENDERING

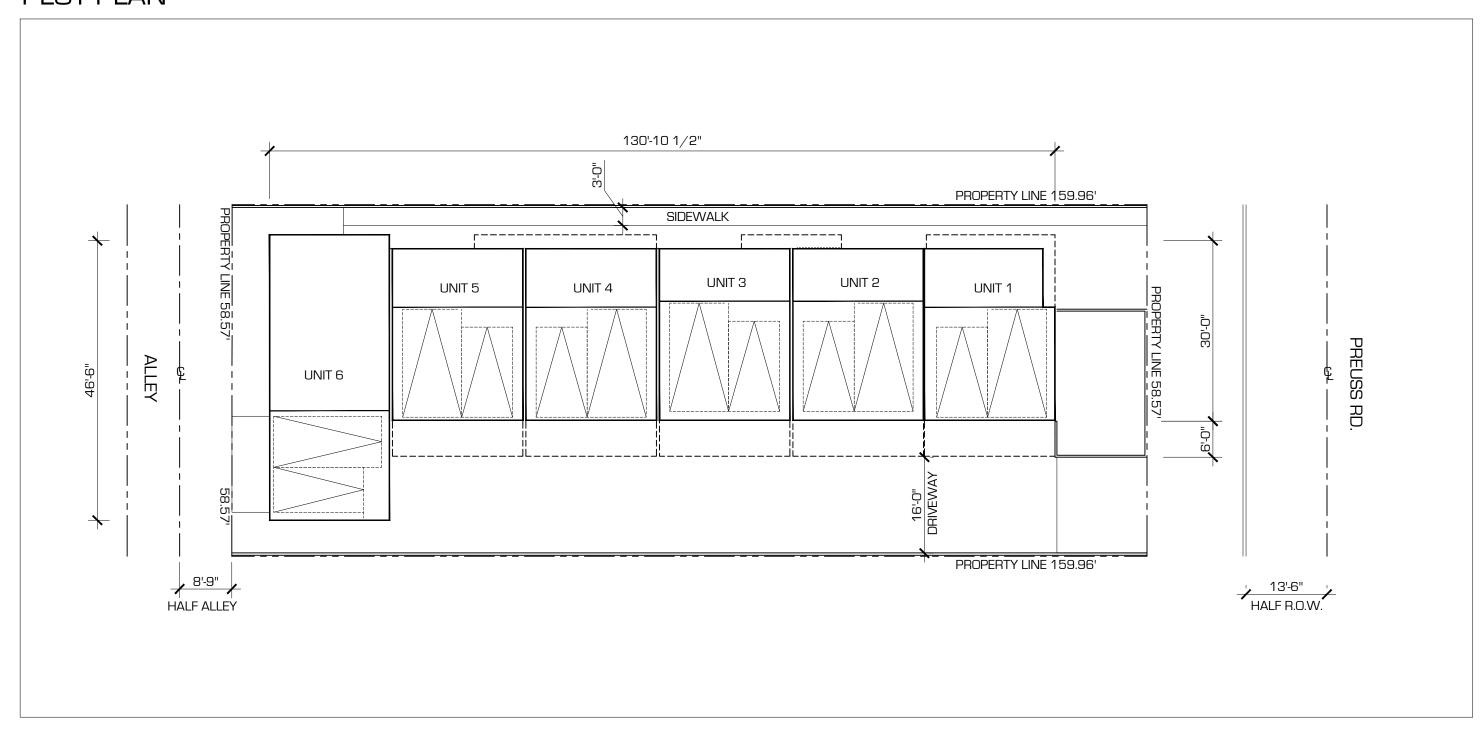


## VICINITY MAP





# PLOT PLAN



# DBV/V/IVIC I ECEVID

	AING LEGEND	ISS	SUE	: AN	ND	DA <sup>-</sup>	TE		
#	SHEET TITLE	2019.06.15 PLANNING SUBMITTAL							
	ARCHITECTURAL								
A0.00	COVER SHEET								
_	SURVEY								
A0.10	GENERAL NOTES								
AO.11	GREEN BUILDING FORMS								
A0.12	SOILS APPROVAL LETTER								
A0.16	CERTIFICATIONS								
A0.17	CERTIFICATIONS								
A0.18	SPECIFICATIONS								
A0.20	ACCESSIBILITY NOTES								
A1.10	SITE PLAN / FIRST FLOOR PLAN								
A1.11	EGRESS DIAGRAMS								
A1.20	SITE DETAILS								
A2.11	SECOND & THIRD FLOOR PLAN								
A2.12	FOURTH FLOOR & ROOF PLAN								
A3.00	SECTIONS								
A4.00	ELEVATIONS								
A4.01	ELEVATIONS								
A6.00	ENLARGED PLANS AND ELEV.								
A9.00	EXTERIOR DETAILS								
A10.00	INTERIOR DETAILS								
A11.00	DOOR SCHEDULE								
A11.01	WINDOW SCHEDULE								
A11.10	DOOR DETAILS								
A11.20	WINDOWS DETAILS								

## UNIT AREA SUMMARY (PER ZONING AREA)

UNIT 1		UNIT 4	
FIRST FLOOR	215 SF	FIRST FLOOR	200 SF
SECOND FLOOR	640 SF	SECOND FLOOR	640 SF
THIRD FLOOR	605 SF	THIRD FLOOR	605 SF
FOURTH FLOOR	605 SF	FOURTH FLOOR	605 SF
UNIT TOTAL	2,065 SF	UNIT TOTAL	2,050 SF
UNIT 2		UNIT 5	
FIRST FLOOR	200 SF	FIRST FLOOR	200 SF
SECOND FLOOR	640 SF	SECOND FLOOR	640 SF
THIRD FLOOR	605 SF	THIRD FLOOR	605 SF
FOURTH FLOOR	605 SF	FOURTH FLOOR	605 SF
UNIT TOTAL	2,050 SF	UNIT TOTAL	2,050 SF
UNIT 3		UNIT 6	
FIRST FLOOR	200 SF	FIRST FLOOR	525 SF
SECOND FLOOR	640 SF	SECOND FLOOR	785 SF
THIRD FLOOR	605 SF	THIRD FLOOR	745 SF
FOURTH FLOOR	605 SF	FOURTH FLOOR	745 SF
UNIT TOTAL	2,050 SF	UNIT TOTAL	2,800 SF

## PROJECT INFORMATION

SCOPE OF WORK:	A C LINIT CNAALL LOT (	
CONSTRUCTION OF A	A 6-UNIT SMALL LOT S	PORDINIPION
PROJECT ADDRESS	•	
1953 S. PREUSS RO.		
LOS ANGELES, CA 90		
ASSESSOR PARCEL	. <b>NUMBER:</b> 4302 019	
<b>TRACT</b> : TR 1250	TIOIVIDEN. HOOL OT	010
	OF LOT 35 BLOCK: N	
<b>MAP REF:</b> M B 18-40		
	<u>-,                                    </u>	
GROSS SITE AREA:	9,369 SF	
GROSS BUILDING A	,	:
NET FLOOR AREA:	 13,065 SF	
	14'-0" (45'-0" MAX PEI	
NUMBER OF STORIE	•	,
BUILDING AREA PER		
UNIT 1:	2,065 SF	
UNIT 2:	2,050 SF	
UNIT 3:	2,050 SF	
UNIT 4:	2,050 SF	
UNIT 5:	2,050 SF	
UNIT 6:	2,800 SF	
TOTAL:	13,065 SF	
<b>BUILDING AREA PER</b>		
UNIT 1:	2,275 SF (SFD)	•
UNIT 2:	2,265 SF	370 SF (GARAGE)
UNIT 3:	2,265 SF	370 SF (GARAGE)
UNIT 4:	2,265 SF	370 SF (GARAGE)
UNIT 5:	2,265 SF	370 SF (GARAGE)
UNIT 6:	2,915 SF	325 SF (GARAGE)
TOTAL:	14,250 SF	•
AREA OF U OCCUPA	ANCY (RESIDENTIAL):	14,250 SF 2,175 SF
ANLA UI U UUGUPAI	NOT (BADABE).	د, ۱ / ح حا

2017 LA BUILDING CODE (LABC)

2017 LA RESIDENTIAL CODE (LARC) 2017 LA MECHANICAL CODE (LAMC) 2017 LA PLUMBING CODE (LAPC)

## CODE SUMMARY

**BUILDING CODES** 

2017 LA ELECTRICAL CODE (LAGEC) 2017 LA GREEN BUILDING CODE (LAGBC) 2016 ENERGY STANDARDS  ZONING CODES  LOS ANGELES MUNICIPAL CODE CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  ZONING CODE SUMMARY:  PARCEL ZONING GENERAL PLAN DESIGNATION LOW MEDIUM II RESIDENTIAL LAND USE RESIDENTIAL BUILDABLE AREA 6,539 SF (LOT AREA MINUS REG'D SETBACK ALLOWABLE FAR 3:1 FAR (LAMC SEC 12.21.1) ALLOWABLE FAR ALLOWABLE FLOOR AREA 19,617 SF (3:1 FAR) PROPOSED FLOOR AREA 19,617 SF (3:1 FAR) ALLOWABLE LOT DENSITY 1 UNIT PER 1,500 SF ALLOWABLE LOT COVERAGE 75% (PER SMALL LOT ORDINANCE) LOT AREA AFTER DEDICATION 8,929.7 SF BUILDING FOOTPRINT 4,900 SF PROPOSED LOT COVERAGE 55%  PARKING REGUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12 BUILDING CODE SUMMARY: BUILDING COCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL) U (GARAGE)  OCCUPANCY GROUP R-3: 14,650 SF U: 2,175 SF TYPE OF CONSTRUCTION TYPE V-A (DWELLING UNITS: 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED MAX. ALLOWABLE STORIES (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	2017 LA GREEN BUILDING CODE (LAGBC) 2016 ENERGY STANDARDS LOS ANGELES MUNICIPAL CODE CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA
ZONING CODES  JURISDICTION  COUNTY OF LOS ANGELES COUNTY OF CALLOW MILE ANGELES COUNTY OF LOS ANGELES COUNTY O	2016 ENERGY STANDARDS  LOS ANGELES MUNICIPAL CODE  CITY OF LOS ANGELES  COUNTY OF LOS ANGELES  STATE OF CALIFORNIA  RD1.5-1
ZONING CODES  JURISDICTION  CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  ZONING CODE SUMMARY:  PARCEL ZONING GENERAL PLAN DESIGNATION LOW MEDIUM II RESIDENTIAL LAND USE RESIDENTIAL BUILDABLE AREA BUILDABLE FARE ALLOWABLE FAR ALLOWABLE FLOOR AREA PROPOSED FLOOR AREA PROPOSED FLOOR AREA 13,085 SF PROPOSED FLOOR AREA 13,085 SF PROPOSED FAR ALLOWABLE LOT DENSITY ALLOWABLE LOT COVERAGE LOT AREA AFTER DEDICATION BUILDING FOOTPRINT 4,900 SF PARKING REQUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12  BUILDING CODE SUMMARY:  BUILDING PROVIDED 12  BUILDING CODE SUMMARY:  BUILDING CODE SUMMA	LOS ANGELES MUNICIPAL CODE CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  RD1.5-1
ZONING CODES  JURISDICTION  CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  ZONING CODE SUMMARY:  PARCEL ZONING GENERAL PLAN DESIGNATION LOW MEDIUM II RESIDENTIAL LAND USE RESIDENTIAL BUILDABLE AREA BUILDABLE FARE ALLOWABLE FAR ALLOWABLE FLOOR AREA PROPOSED FLOOR AREA PROPOSED FLOOR AREA 13,085 SF PROPOSED FLOOR AREA 13,085 SF PROPOSED FAR ALLOWABLE LOT DENSITY ALLOWABLE LOT COVERAGE LOT AREA AFTER DEDICATION BUILDING FOOTPRINT 4,900 SF PARKING REQUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12  BUILDING CODE SUMMARY:  BUILDING PROVIDED 12  BUILDING CODE SUMMARY:  BUILDING CODE SUMMA	LOS ANGELES MUNICIPAL CODE CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  RD1.5-1
JURISDICTION  CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  ZONING CODE SUMMARY:  PARCEL ZONING  RD1.5-1  GENERAL PLAN DESIGNATION LOW MEDIUM II RESIDENTIAL LAND USE BUILDABLE AREA BUILDABLE FAR ALLOWABLE FAR ALLOWABLE FLOOR AREA 13.085 SF PROPOSED FLOOR AREA 13.085 SF PROPOSED FLOOR AREA 2:1 FAR ALLOWABLE HO T DENSITY 1 UNIT PER 1,500 SF ALLOWABLE HO T COVERAGE 10T AREA AFTER DEDICATION BUILDING FOOTPRINT 4,900 SF PARKING REGUIRED 12 (2 PARKING PER SFD) PARKING REGUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12 BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL) U (GARAGE)  OCCUPANCY GROUP AND AREA U: 2,175 SF  TYPE OF CONSTRUCTION TYPE H2 (PARKING LEVEL - 1 STORY) TYPE V-4 (DWELLING UNTS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE HEIGHT FOOTAL HEIGHT PROPOSED MAX. ALLOWABLE STORIES  FIRE SPRINKLERS: [(N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA  RD1.5-1
COUNTY OF LOS ANGELES STATE OF CALIFORNIA  ZONING CODE SUMMARY:  PARCEL ZONING GENERAL PLAN DESIGNATION LAND USE BUILDABLE AREA BUILDABLE AREA BUILDABLE FAR BUILDABLE FAR BUILDOWABLE FLOOR AREA BUILDOWABLE FOR BUILDING BUILDING FOOTPRINT BUILDING FOOTPRINT BUILDING CODE SUMMARY: BUILDING CODE SUMMARY: BUILDING COUPANCY BUILDING	COUNTY OF LOS ANGELES STATE OF CALIFORNIA  RD1.5-1
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GENERAL PLAN DESIGNATION LAND USE RESIDENTIAL BUILDABLE AREA 6,539 SF (LOT AREA MINUS REG'D SETBACK: ALLOWABLE FAR 3:1 FAR (LAMC SEC 12.21.1) ALLOWABLE FLOOR AREA PROPOSED FLOOR AREA 13,085 SF PROPOSED FAR ALLOWABLE LOT DENSITY 1 UNIT PER 1,500 SF ALLOWABLE HOF UNITS 6 ALLOWABLE LOT COVERAGE LOT AREA AFTER DEDICATION BUILDING FOOTPRINT 4,900 SF PROPOSED LOT COVERAGE PARKING REQUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12 BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3: 14,650 SF WICH AREA BUILDING OCCUPANCY R-3: 14,650 SF WICH AREA BUILDING OCCUPANCY R-3: 14,650 SF WICH AREA WI	
LAND USE  BUILDABLE AREA  6,539 SF (LOT AREA MINUS REG'D SETBACK: ALLOWABLE FAR  3:1 FAR (LAMC SEC 12.21.1)  ALLOWABLE FLOOR AREA  19,617 SF (3:1 FAR)  PROPOSED FLOOR AREA  13,085 SF  PROPOSED FAR  2:1 FAR  ALLOWABLE LOT DENSITY  ALLOWABLE # OF UNITS  6  ALLOWABLE # OF UNITS  6  ALLOWABLE LOT COVERAGE  75% (PER SMALL LOT ORDINANCE)  LOT AREA AFTER DEDICATION  8,929.7 SF  BUILDING FOOTPRINT  4,900 SF  PROPOSED LOT COVERAGE  55%  PARKING REQUIRED  12 (2 PARKING PER SFD)  PARKING PROVIDED  12  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY  R-3 (SINGLE FAMILY RESIDENTIAL)  U (GARAGE)  OCCUPANCY GROUP  AND AREA  U: 2,175 SF  TYPE OF CONSTRUCTION  TYPE IB (PARKING LEVEL - 1 STORY)  TYPE VA (DWELLING UNITS - 4 STORIES)  FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL (SEC. 506.2.3 / TABLE 506.2)  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS:  (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
BUILDABLE AREA ALLOWABLE FAR ALLOWABLE FAR ALLOWABLE FLOOR AREA 19,617 SF (3:1 FAR) PROPOSED FLOOR AREA 13,085 SF PROPOSED FAR ALLOWABLE LOT DENSITY 1 UNIT PER 1,500 SF ALLOWABLE LOT COVERAGE 15% (PER SMALL LOT ORDINANCE) LOT AREA AFTER DEDICATION BUILDING FOOTPRINT PROPOSED LOT COVERAGE 12 (2 PARKING PER SFD) PARKING REQUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12 BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL) U (GARAGE)  OCCUPANCY GROUP AND AREA U: 2,175 SF  TYPE OF CONSTRUCTION TYPE IB (PARKING LEVEL - 1 STORY) TYPE VA (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2)  MAX. ALLOWABLE HEIGHT TOTAL AREA PROPOSED MAX. ALLOWABLE STORIES FIRE SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
ALLOWABLE FAR  ALLOWABLE FLOOR AREA  19,617 SF (3:1 FAR)  PROPOSED FLOOR AREA  13,085 SF  PROPOSED FAR  ALLOWABLE LOT DENSITY  ALLOWABLE LOT DENSITY  ALLOWABLE # OF UNITS  ALLOWABLE LOT COVERAGE  LOT AREA AFTER DEDICATION  BUILDING FOOTPRINT  PROPOSED LOT COVERAGE  2:1 FAR  ALLOWABLE LOT COVERAGE  ALLOWABLE LOT COVERAGE  ALLOWABLE LOT COVERAGE  LOT AREA AFTER DEDICATION  BUILDING FOOTPRINT  PROPOSED LOT COVERAGE  ALSOWABLE DOT COVERAGE  ALSOWABLE DOT COVERAGE  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY  BUILDING OCCUPANCY  R-3 (SINGLE FAMILY RESIDENTIAL)  U (GARAGE)  OCCUPANCY GROUP  AND AREA  BUILDING CODE SUMMARY:  TYPE OF CONSTRUCTION  TYPE IB (PARKING LEVEL - 1 STORY)  TYPE V-A (DWELLING UNITS - 4 STORIES)  FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL (SEC. 506.2.3 / TABLE 506.2)  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS:  (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
ALLOWABLE FLOOR AREA PROPOSED FLOOR AREA 13,085 SF PROPOSED FAR 2:1 FAR ALLOWABLE LOT DENSITY 1 UNIT PER 1,500 SF ALLOWABLE # OF UNITS 6 ALLOWABLE LOT COVERAGE LOT AREA AFTER DEDICATION 8,929.7 SF BUILDING FOOTPRINT PROPOSED LOT COVERAGE  PARKING REGUIRED PARKING PROVIDED 12 BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL) U (GARAGE)  OCCUPANCY GROUP AND AREA U: 2,175 SF  TYPE OF CONSTRUCTION TYPE HS (PARKING LEVEL - 1 STORY) TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA TOTAL AREA PROPOSED MAX. ALLOWABLE HEIGHT TOTAL HEIGHT PROPOSED MAX. ALLOWABLE STORIES FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	1
PROPOSED FLOOR AREA PROPOSED FAR 2:1 FAR  ALLOWABLE LOT DENSITY ALLOWABLE # OF UNITS 6  ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE  LOT AREA AFTER DEDICATION BUILDING FOOTPRINT A,900 SF  PROPOSED LOT COVERAGE  PARKING REGUIRED ARKING PROVIDED BUILDING CODE SUMMARY:  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY BUILDING OCCUPANCY AND AREA BYPE OF CONSTRUCTION  MAX. ALLOWABLE AREA ALLOWABLE AREA ALLOWABLE HEIGHT TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
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ALLOWABLE LOT DENSITY ALLOWABLE # OF UNITS 6 ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE LOT AREA AFTER DEDICATION 8,929.7 SF BUILDING FOOTPRINT 4,900 SF PROPOSED LOT COVERAGE 55%  PARKING REGUIRED 12 (2 PARKING PER SFD) PARKING PROVIDED 12 BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL) U (GARAGE)  OCCUPANCY GROUP AND AREA U: 2,175 SF  TYPE OF CONSTRUCTION TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2) TOTAL AREA PROPOSED MAX. ALLOWABLE HEIGHT TOTAL HEIGHT PROPOSED MAX. ALLOWABLE STORIES FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	13,085 SF
ALLOWABLE # OF UNITS  ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE  FOR SMALL LOT ORDINANCE  LOT AREA AFTER DEDICATION BY 1920 SF  PROPOSED LOT COVERAGE  BUILDING FOOTPRINT  4,900 SF  PROPOSED LOT COVERAGE  55%  PARKING REGUIRED  12 (2 PARKING PER SFD)  12  BUILDING CODE SUMMARY:  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY  BUILDING OCCUPANCY  AND AREA  CCCUPANCY GROUP  AND AREA  TYPE OF CONSTRUCTION  TYPE HB (PARKING LEVEL - 1 STORY)  TYPE V-A (DWELLING UNITS - 4 STORIES)  FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL (SEC. 506.2.3 / TABLE 506.2)  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  HAY. ALLOWABLE STORIES  FIRE SPRINKLERS:  (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	2:1 FAR
ALLOWABLE # OF UNITS ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE ALLOWABLE LOT COVERAGE FOR SMALL LOT ORDINANCE  LOT AREA AFTER DEDICATION BY 1929.7 SF  BUILDING FOOTPRINT BUILDING FOOTPRINT 4,900 SF  PROPOSED LOT COVERAGE  55%  PARKING REGUIRED 12 (2 PARKING PER SFD) 12  BUILDING CODE SUMMARY:  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY BUILDING OCCUPANCY AND AREA  COCCUPANCY GROUP AND AREA  TYPE OF CONSTRUCTION TYPE HB (PARKING LEVEL - 1 STORY) TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2)  TOTAL AREA PROPOSED 16,850 SF MAX. ALLOWABLE HEIGHT 60'-0" ABOVE GRADE PLANE (TABLE 504.3)  TOTAL HEIGHT PROPOSED 44'-0" ABOVE GRADE PLANE MAX. ALLOWABLE STORIES  FIRE SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	1 UNIT PER 1,500 SF
ALLOWABLE LOT COVERAGE  LOT AREA AFTER DEDICATION  8,929.7 SF  BUILDING FOOTPRINT  PROPOSED LOT COVERAGE  55%  PARKING REQUIRED  PARKING PROVIDED  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY  COCCUPANCY GROUP  AND AREA  TYPE OF CONSTRUCTION  MAX. ALLOWABLE AREA  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS:  [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
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BUILDING FOOTPRINT PROPOSED LOT COVERAGE  55%  PARKING REQUIRED PARKING PROVIDED 12  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY PAND AREA  TYPE OF CONSTRUCTION  MAX. ALLOWABLE AREA TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  MAX. ALLOWABLE STORIES  FILE SPRINKLERS:  [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
PROPOSED LOT COVERAGE 55%  PARKING REQUIRED 12 (2 PARKING PER SFD)  PARKING PROVIDED 12  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY R-3 (SINGLE FAMILY RESIDENTIAL)	
PARKING REQUIRED PARKING PROVIDED 12  BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 [SINGLE FAMILY RESIDENTIAL] U [GARAGE]  OCCUPANCY GROUP AND AREA PYPE OF CONSTRUCTION TYPE IB (PARKING LEVEL - 1 STORY) TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA UL (SEC. 506.2.3 / TABLE 506.2)  MAX. ALLOWABLE HEIGHT TOTAL HEIGHT PROPOSED MAX. ALLOWABLE STORIES FIRE SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
PARKING PROVIDED  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY  COCCUPANCY GROUP  AND AREA  TYPE OF CONSTRUCTION  MAX. ALLOWABLE AREA  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  MAX. ALLOWABLE STORIES  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS:  [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	0070
PARKING PROVIDED  BUILDING CODE SUMMARY:  BUILDING OCCUPANCY  CCCUPANCY GROUP  AND AREA  TYPE OF CONSTRUCTION  MAX. ALLOWABLE AREA  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  MAX. ALLOWABLE STORIES  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS:  [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	12 (2 PARKING PER SED)
BUILDING CODE SUMMARY: BUILDING OCCUPANCY R-3 [SINGLE FAMILY RESIDENTIAL] U [GARAGE]  OCCUPANCY GROUP AND AREA U: 2,175 SF  TYPE OF CONSTRUCTION TYPE I-B [PARKING LEVEL - 1 STORY] TYPE V-A [DWELLING UNITS - 4 STORIES] FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA UL [SEC. 506.2.3 / TABLE 506.2]  TOTAL AREA PROPOSED 16,850 SF MAX. ALLOWABLE HEIGHT 60'-0" ABOVE GRADE PLANE (TABLE 504.3)  TOTAL HEIGHT PROPOSED 44'-0" ABOVE GRADE PLANE MAX. ALLOWABLE STORIES  FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
BUILDING OCCUPANCY  R-3 [SINGLE FAMILY RESIDENTIAL] U [GARAGE]  OCCUPANCY GROUP AND AREA  U: 2,175 SF  TYPE OF CONSTRUCTION  TYPE I-B [PARKING LEVEL - 1 STORY] TYPE V-A [DVVELLING UNITS - 4 STORIES] FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL [SEC. 506.2.3 / TABLE 506.2]  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  60'-0" ABOVE GRADE PLANE [TABLE 504.3]  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  44'-0" ABOVE GRADE PLANE  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	IE
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OCCUPANCY GROUP AND AREA  IV: 2,175 SF  TYPE OF CONSTRUCTION  TYPE I-B (PARKING LEVEL - 1 STORY) TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL (SEC. 506.2.3 / TABLE 506.2)  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT 60'-0" ABOVE GRADE PLANE (TABLE 504.3)  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  44'-0" ABOVE GRADE PLANE MAX. ALLOWABLE STORIES  4 STORIES (TYPE V-B CONSTRUCTION)  FIRE SPRINKLERS: [N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
TYPE OF CONSTRUCTION  TYPE I-B (PARKING LEVEL - 1 STORY) TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL (SEC. 506.2.3 / TABLE 506.2)  TOTAL AREA PROPOSED  MAX. ALLOWABLE HEIGHT  TOTAL HEIGHT PROPOSED  MAX. ALLOWABLE STORIES  FIRE SPRINKLERS:  (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	,
TYPE OF CONSTRUCTION  TYPE I-B (PARKING LEVEL - 1 STORY) TYPE V-A (DWELLING UNITS - 4 STORIES) FULLY SPRINKLERED PER SEC. 903.3.1.2  MAX. ALLOWABLE AREA  UL (SEC. 506.2.3 / TABLE 506.2)  16,850 SF  MAX. ALLOWABLE HEIGHT 60'-0" ABOVE GRADE PLANE (TABLE 504.3)  TOTAL HEIGHT PROPOSED 44'-0" ABOVE GRADE PLANE MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION)  FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	•
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TOTAL AREA PROPOSED  16,850 SF  MAX. ALLOWABLE HEIGHT 60'-0" ABOVE GRADE PLANE (TABLE 504.3)  TOTAL HEIGHT PROPOSED 44'-0" ABOVE GRADE PLANE  MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION)  FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
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TOTAL HEIGHT PROPOSED  44'-0" ABOVE GRADE PLANE  MAX. ALLOWABLE STORIES  4 STORIES (TYPE V-B CONSTRUCTION)  FIRE SPRINKLERS: [N] NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	16,850 SF
MAX. ALLOWABLE STORIES 4 STORIES (TYPE V-B CONSTRUCTION)  FIRE SPRINKLERS:  (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT.  SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	60'-0" ABOVE GRADE PLANE (TABLE 504.3)
FIRE SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	44'-0" ABOVE GRADE PLANE
FIRE SPRINKLERS: (N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	4 STORIES (TYPE V-B CONSTRUCTION)
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(N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER	
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	TEM DED SEC ONS S 4 S TUDOUCUOUT
N) NFPA 13R SPRINKLER SYS SPRINKLER SYSTEM UNDER S	

# **AUXOFFICE**

2404 WILSHIRE BLVD. STE. 12D LOS ANGELES, CA 90057 TEL: 1.213.568.3578 ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19

PROJECT ADDRESS

1953 PREUSS ROAD LOS ANGELES, CA 90036

PROJECT OWNER

CIVIL ENGINEER

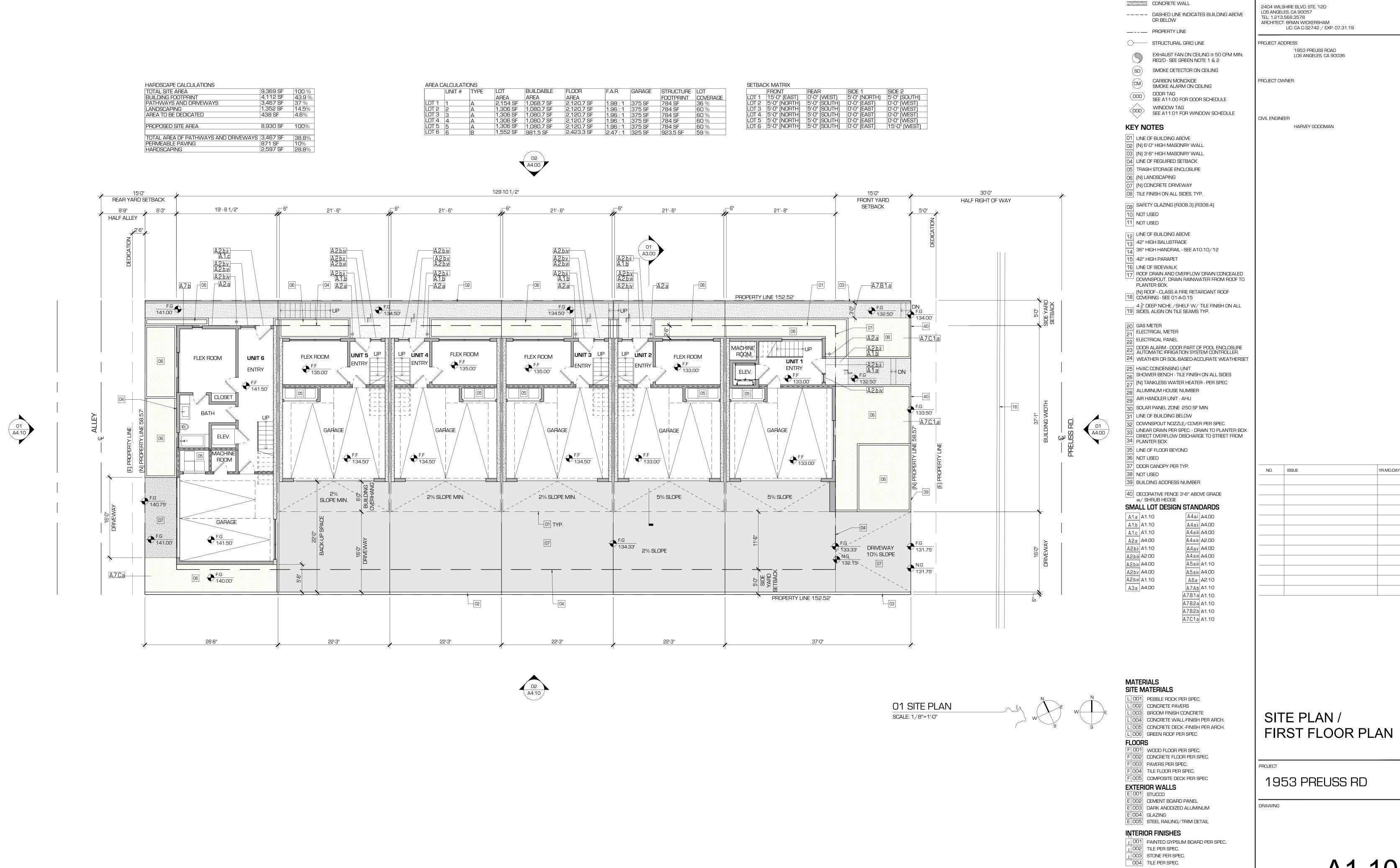
HARVEY GOODMAN

NO. ISSUE YR.MO.DAY

PROJECT INFO

1953 PREUSS RD

DRAWING



**AUXOFFICE** 

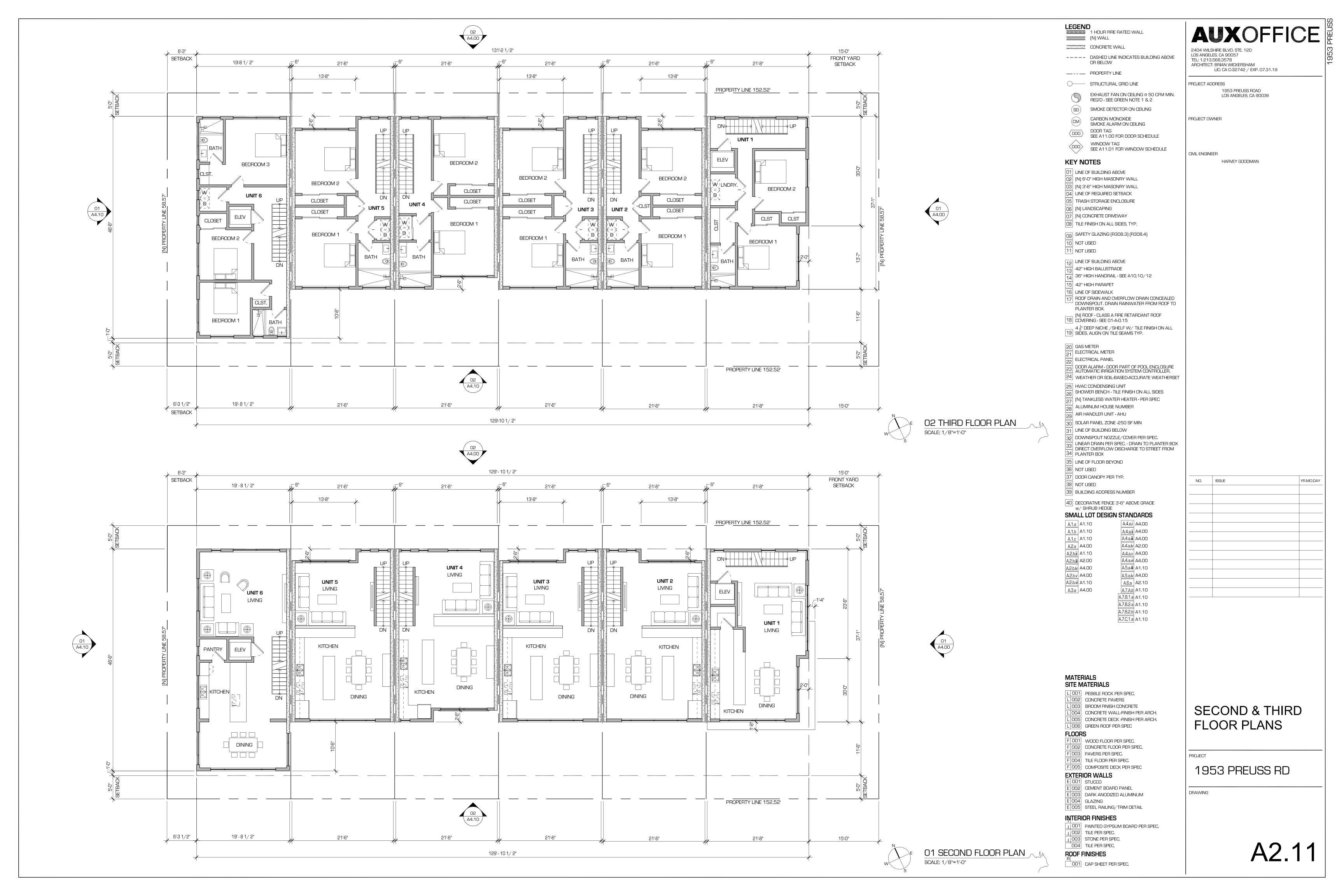
**LEGEND**====== 1 HOUR FIRE RATED WALL

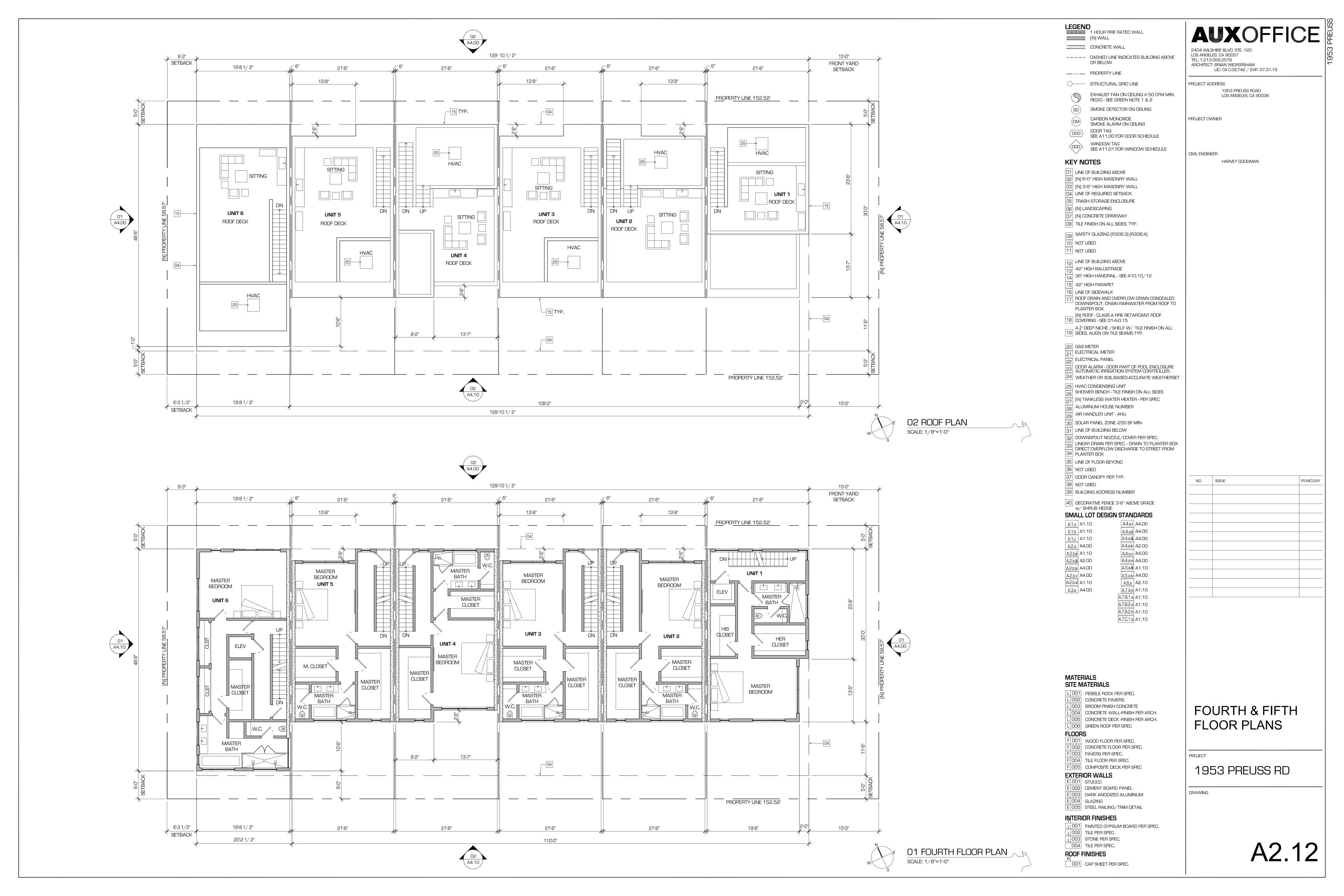
[N] WALL

**ROOF FINISHES** 

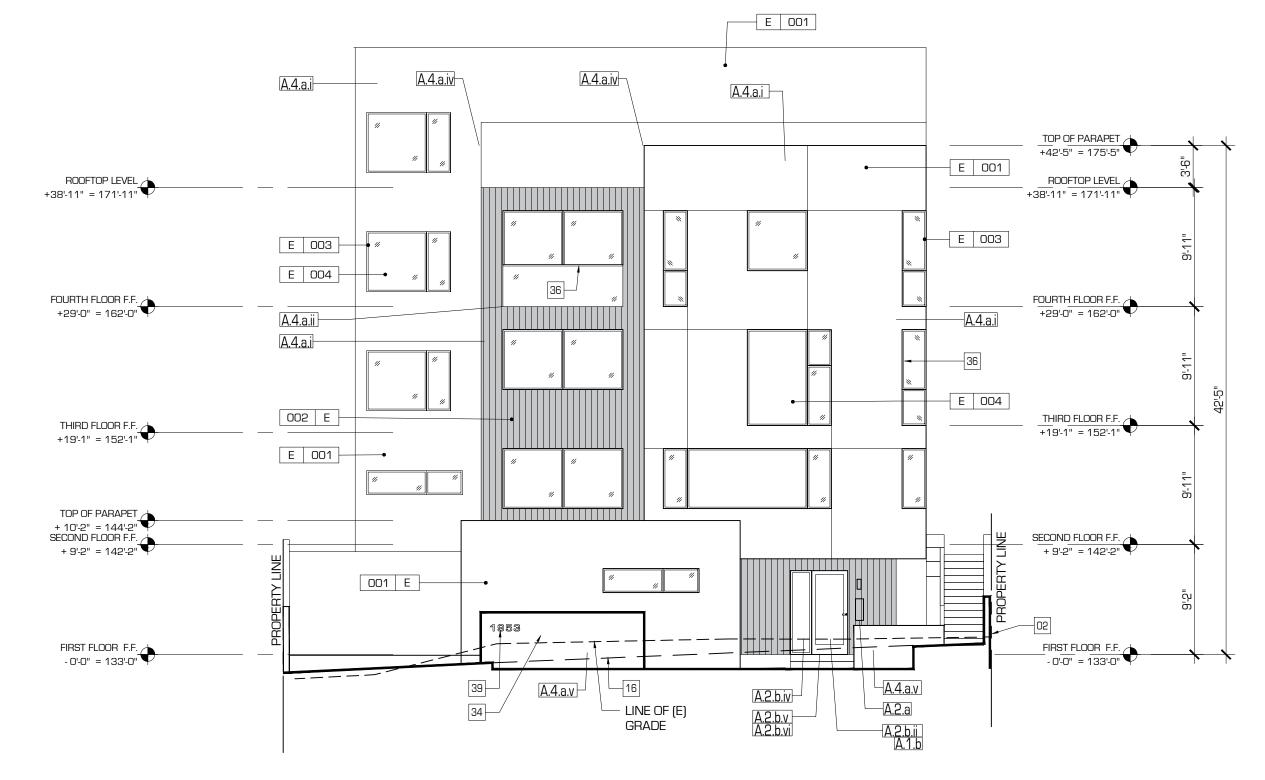
001 CAP SHEET PER SPEC.

A1.10









01 FRONT ELEVATION (EAST) SCALE: 1/8"=1'-0"

LEGEND
====== 1 HOUR FIRE RATED WALL **AUXOFFICE** [N] WALL CONCRETE WALL LOS ANGELES, CA 90057 ---- DASHED LINE INDICATES BUILDING ABOVE TEL: 1.213.568.3578 OR BELOW ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19 — -- PROPERTY LINE PROJECT ADDRESS STRUCTURAL GRID LINE 1953 PREUSS ROAD EXHAUST FAN ON CEILING @ 50 CFM MIN. LOS ANGELES, CA 90036 REQ'D - SEE GREEN NOTE 1 & 2 SD SMOKE DETECTOR ON CEILING CARBON MONOXIDE PROJECT OWNER SMOKE ALARM ON CEILING DOOR TAG
SEE A11.00 FOR DOOR SCHEDULE WINDOW TAG SEE A11.01 FOR WINDOW SCHEDULE CIVIL ENGINEER HARVEY GOODMAN **KEY NOTES** 01 LINE OF BUILDING ABOVE 02 (N) 6'-0" HIGH MASONRY WALL 03 (N) 3'-6" HIGH MASONRY WALL 04 LINE OF REQUIRED SETBACK 05 TRASH STORAGE ENCLOSURE 06 (N) LANDSCAPING 07 (N) CONCRETE DRIVEWAY 08 TILE FINISH ON ALL SIDES, TYP. 9 SAFETY GLAZING (R308.3) (R308.4) 10 NOT USED 11 NOT USED LINE OF BUILDING ABOVE 42" HIGH BALUSTRADE 36" HIGH HANDRAIL - SEE A10.10/12 15 42" HIGH PARAPET 16 LINE OF SIDEWALK 17 ROOF DRAIN AND OVERFLOW DRAIN CONCEALED DOWNSPOUT. DRAIN RAINWATER FROM ROOF TO PLANTER BOX. (N) ROOF - CLASS A FIRE RETARDANT ROOF 18 COVERING - SEE 01-A-0.15  $_{-}$  4  $_{2}^{1}$ " DEEP NICHE /SHELF W/ TILE FINISH ON ALL 19 SIDES, ALIGN ON TILE SEAMS TYP. 20 GAS METER ELECTRICAL METER ELECTRICAL PANEL DOOR ALARM - DOOR PART OF POOL ENCLOSURE
AUTOMATIC IRRIGATION SYSTEM CONTROLLER, 24 WEATHER OR SOIL-BASED-ACCURATE WEATHERSET 25 HVAC CONDENSING UNIT SHOWER BENCH - TILE FINISH ON ALL SIDES [N] TANKLESS WATER HEATER - PER SPEC ALUMINUM HOUSE NUMBER AIR HANDLER UNIT - AHU SOLAR PANEL ZONE -250 SF MIN LINE OF BUILDING BELOW DOWNSPOUT NOZZLE/COVER PER SPEC. LINEAR DRAIN PER SPEC. - DRAIN TO PLANTER BOX DIRECT OVERFLOW DISCHARGE TO STREET FROM 34 PLANTER BOX 35 LINE OF FLOOR BEYOND 36 NOT USED 37 DOOR CANOPY PER TYP. NO. ISSUE YR.MO.DAY 38 NOT USED 39 BUILDING ADDRESS NUMBER 40 DECORATIVE FENCE 3'-6" ABOVE GRADE w/ SHRUB HEDGE SMALL LOT DESIGN STANDARDS A.1.a A1.10 A.4.a.i A4.00 A.4.a.ii A4.00 A.1.b A1.10 A.4.a.iii A4.00 A.1.c A1.10 A.2.a A4.00 A.4.a.iv A2.00 A.4.a.v A4.00 A.2.b.ii A1.10 A.2.b.iii A2.00 A.4.a.vi A4.00 A.5.a.iii A1.10 A.2.b.iv A4.00 A.5.a.iv A4.00 A.2.b.v A4.00 A.6.a A2.10 A.7.A.b A1.10 A.2.b.vi A1.10 A.3.a A4.00 A.7.B.1.a A1.10 A.7.B.2.a A1.10 A.7.B.2.b A1.10 A.7.C.1.a A1.10 **MATERIALS** SITE MATERIALS L 001 PEBBLE ROCK PER SPEC.

L 002 CONCRETE PAVERS

L 003 BROOM FINISH CONCRETE L 004 CONCRETE WALL-FINISH PER ARCH. L 005 CONCRETE DECK -FINISH PER ARCH.

L 006 GREEN ROOF PER SPEC

## **FLOORS**

F 001 WOOD FLOOR PER SPEC. F 002 CONCRETE FLOOR PER SPEC.

F 003 PAVERS PER SPEC.

F 004 TILE FLOOR PER SPEC.

## F 005 COMPOSITE DECK PER SPEC EXTERIOR WALLS

E 001 STUCCO E 002 CEMENT BOARD PANEL

## E 003 DARK ANODIZED ALUMINUM E 004 GLAZING

E 005 STEEL RAILING/TRIM DETAIL INTERIOR FINISHES

| 1 001 PAINTED GYPSUM BOARD PER SPEC.
| 1 002 TILE PER SPEC.
| 1 003 STONE PER SPEC.
| 1 004 TILE PER SPEC.

**ROOF FINISHES** 001 CAP SHEET PER SPEC.

**EXTERIOR** 

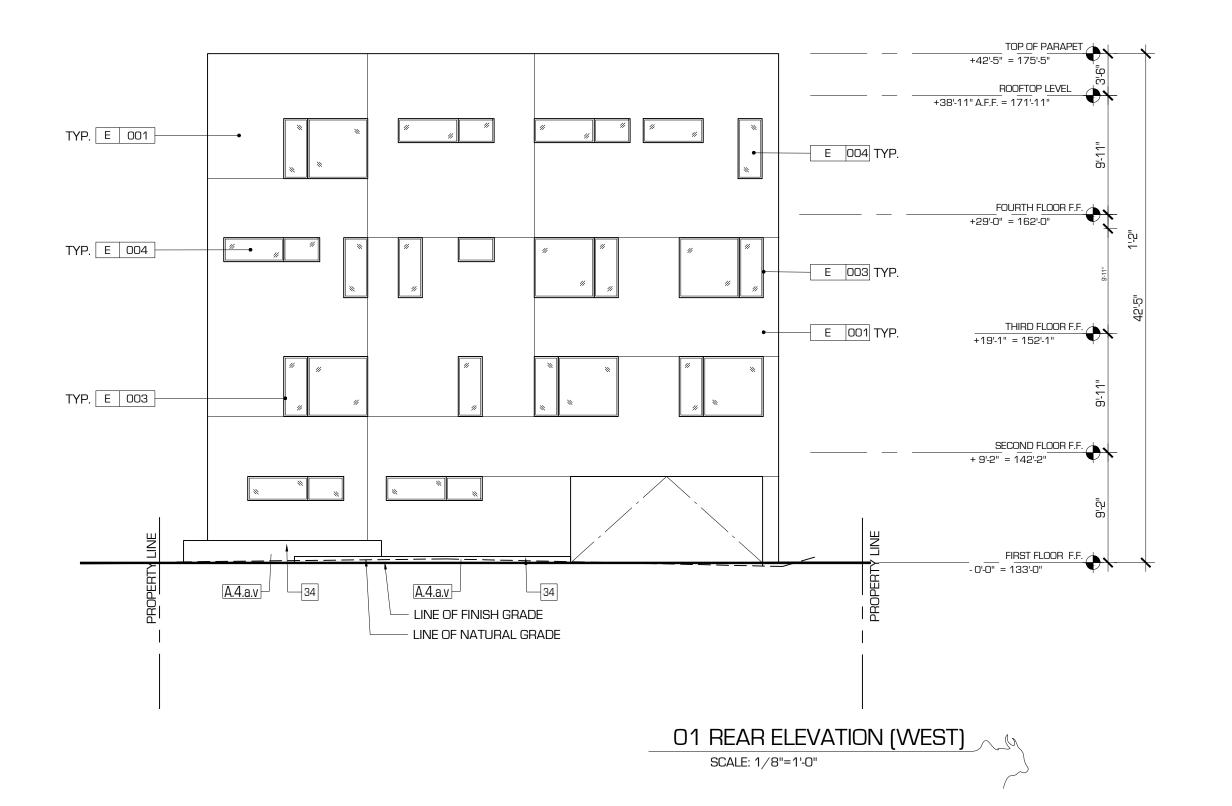
PROJECT

DRAWING

**ELEVATIONS** 

1953 PREUSS RD





## **LEGEND**====== 1 HOUR FIRE RATED WALL **AUXOFFICE** 2404 WILSHIRE BLVD. STE. 12D LOS ANGELES, CA 90057 ---- DASHED LINE INDICATES BUILDING ABOVE TEL: 1.213.568.3578 ARCHITECT: BRIAN WICKERSHAM LIC: CA C-32742 / EXP. 07.31.19 PROJECT ADDRESS STRUCTURAL GRID LINE 1953 PREUSS ROAD EXHAUST FAN ON CEILING @ 50 CFM MIN. LOS ANGELES, CA 90036 REQ'D - SEE GREEN NOTE 1 & 2 SMOKE DETECTOR ON CEILING CARBON MONOXIDE PROJECT OWNER SMOKE ALARM ON CEILING SEE A11.00 FOR DOOR SCHEDULE SEE A11.01 FOR WINDOW SCHEDULE CIVIL ENGINEER HARVEY GOODMAN 02 (N) 6'-0" HIGH MASONRY WALL 03 (N) 3'-6" HIGH MASONRY WALL 04 LINE OF REQUIRED SETBACK 05 TRASH STORAGE ENCLOSURE 07 (N) CONCRETE DRIVEWAY 08 TILE FINISH ON ALL SIDES, TYP. N9 SAFETY GLAZING (R308.3) (R308.4) 36" HIGH HANDRAIL - SEE A10.10/12 17 ROOF DRAIN AND OVERFLOW DRAIN CONCEALED $^{ m ullet}$ DOWNSPOUT. DRAIN RAINWATER FROM ROOF TO (N) ROOF - CLASS A FIRE RETARDANT ROOF 18 COVERING - SEE 01-A-0.15 $_{1}$ 4 $\frac{1}{2}$ " DEEP NICHE /SHELF W/ TILE FINISH ON ALL 19 SIDES, ALIGN ON TILE SEAMS TYP. DOOR ALARM - DOOR PART OF POOL ENCLOSURE AUTOMATIC IRRIGATION SYSTEM CONTROLLER, 24 WEATHER OR SOIL-BASED-ACCURATE WEATHERSET SHOWER BENCH - TILE FINISH ON ALL SIDES [N] TANKLESS WATER HEATER - PER SPEC ALUMINUM HOUSE NUMBER AIR HANDLER UNIT - AHU SOLAR PANEL ZONE -250 SF MIN 1 LINE OF BUILDING BELOW DOWNSPOUT NOZZLE/COVER PER SPEC. LINEAR DRAIN PER SPEC. - DRAIN TO PLANTER BOX DIRECT OVERFLOW DISCHARGE TO STREET FROM NO. ISSUE YR.MO.DAY 39 BUILDING ADDRESS NUMBER 40 DECORATIVE FENCE 3'-6" ABOVE GRADE SMALL LOT DESIGN STANDARDS A.4.a.i A4.00 A.4.a.ii A4.00 A.4.a.iii A4.00 A.4.a.iv A2.00 A.4.a.v A4.00 A.4.a.vi A4.00 A.5.a.iii A1.10 A.5.a.iv A4.00 A.6.a A2.10 A.7.A.b A1.10 A.7.B.1.a A1.10 A.7.B.2.a A1.10 A.7.B.2.b A1.10 A.7.C.1.a A1.10 **EXTERIOR**

## **MATERIALS** SITE MATERIALS

[N] WALL

CONCRETE WALL

— - - — PROPERTY LINE

OR BELOW

DOOR TAG

01 LINE OF BUILDING ABOVE

06 (N) LANDSCAPING

10 NOT USED

11 NOT USED

LINE OF BUILDING ABOVE 42" HIGH BALUSTRADE

15 42" HIGH PARAPET 16 LINE OF SIDEWALK

PLANTER BOX.

20 GAS METER

ELECTRICAL METER ELECTRICAL PANEL

25 HVAC CONDENSING UNIT

34 PLANTER BOX

36 NOT USED

38 NOT USED

A.1.a A1.10

A.1.b A1.10

A.1.c A1.10

A.2.a A4.00

A.2.b.ii A1.10

A.2.b.iii A2.00

A.2.b.iv A4.00

A.2.b.v A4.00

A.2.b.vi A1.10 A.3.a A4.00

35 LINE OF FLOOR BEYOND

37 DOOR CANOPY PER TYP.

w/ SHRUB HEDGE

**KEY NOTES** 

WINDOW TAG

L 001 PEBBLE ROCK PER SPEC. L 002 CONCRETE PAVERS L 003 BROOM FINISH CONCRETE

L 004 CONCRETE WALL-FINISH PER ARCH. L 005 CONCRETE DECK -FINISH PER ARCH.

# L 006 GREEN ROOF PER SPEC

FLOORS F 001 WOOD FLOOR PER SPEC.
F 002 CONCRETE FLOOR PER SPEC.

## F 003 PAVERS PER SPEC. F 004 TILE FLOOR PER SPEC. F 005 COMPOSITE DECK PER SPEC

**EXTERIOR WALLS** E 001 STUCCO

E 002 CEMENT BOARD PANEL E 003 DARK ANODIZED ALUMINUM E 004 GLAZING

## E 005 STEEL RAILING/TRIM DETAIL INTERIOR FINISHES

| 1 001 PAINTED GYPSUM BOARD PER SPEC.
| 1 002 TILE PER SPEC.
| 1 003 STONE PER SPEC.
| 004 TILE PER SPEC.

# **ROOF FINISHES**

001 CAP SHEET PER SPEC.

**ELEVATIONS** 

PROJECT

1953 PREUSS RD

DRAWING

# 1953 PREUSS ROAD

# 1953 PREUSS RD. LOS ANGELES, CA 90034

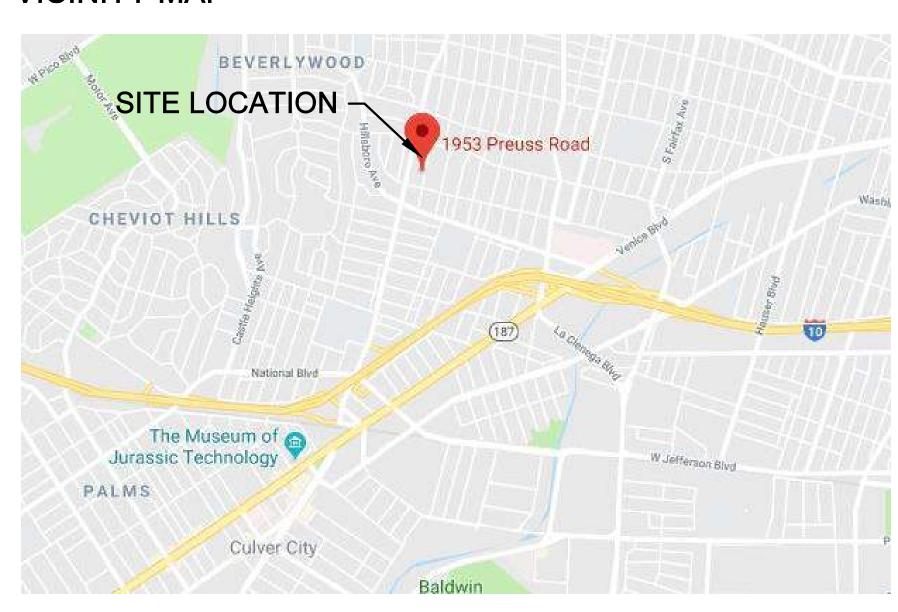
# LANDSCAPE ARCHITECT

SAVAGE LAND DESIGN 2651 E. CHAPMAN AVE. SUITE 110 **FULLERTON CA 92831** 

**CONTACT: MICHAEL SAVAGE** 

714-878-0335 SAVAGELANDDESIGN@ATT.NET

# **VICINITY MAP**

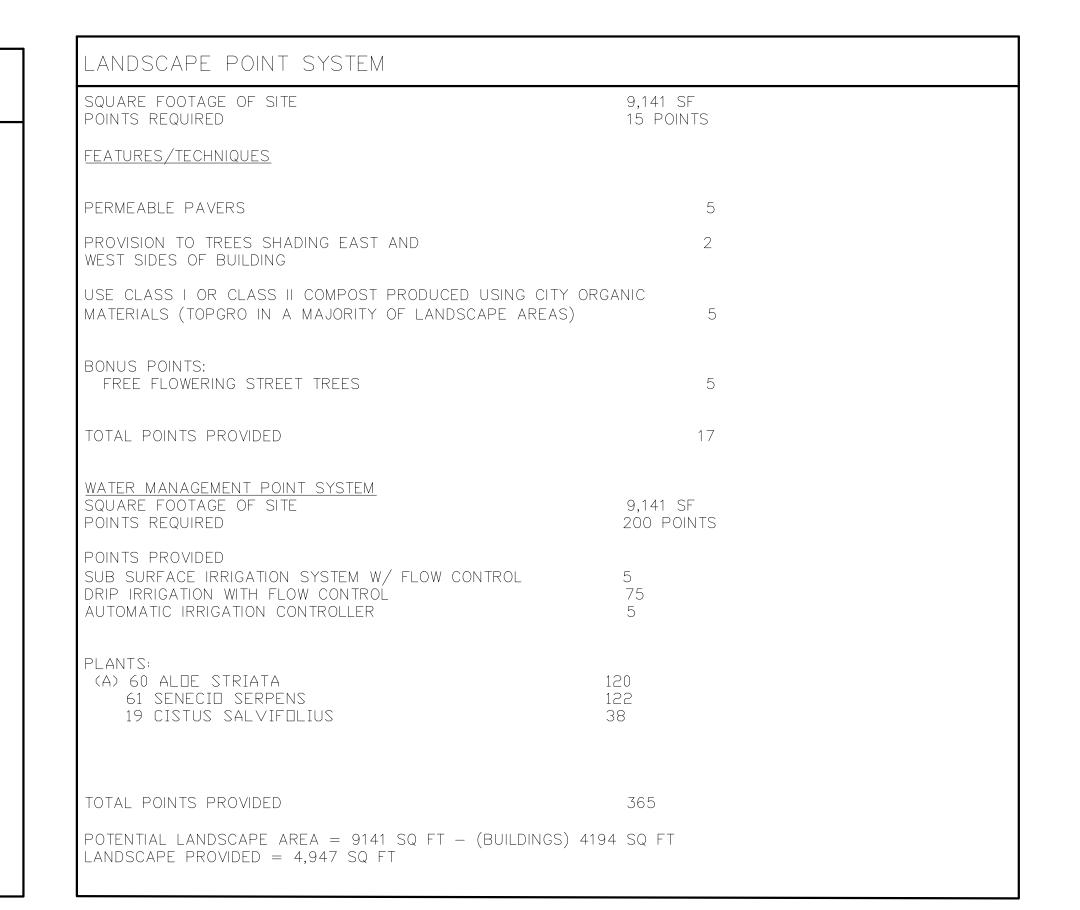


# SHEET INDEX

CS-1	COVERSHEET	1 OF	9
LI-1	IRRIGATION CALCULATIONS	2 OF	9
LI-2	IRRIGATION HYDROZONE	3 OF	9
LI-3	IRRIGATION PLAN	4 OF	9
LI-4	IRRIGATION DETAILS	5 OF	9
LI-5	IRRIGATION DETAILS	6 OF	9
LP-1	PLANTING LAYOUT PLAN	7 OF	9
LP-2	PLANTING DETAILS	8 OF	9
LP-3	SOIL REPORT	9 OF	9

# GENERAL NOTES

- 1. ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- 2. ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- 4. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- 5. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 FEET AND FOR SHORING AND UNDERPINNING.
- 6. A LICENSED SURVEYOR SHALL PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND ON A WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
- 7. IN LIEU OF SPECIAL INSPECTION BY THE DEPUTY BUILDING INSPECTOR, THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONSAND DURING REMOVAL OF SHORING.
- 8. THE CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL O DAYS PRIOR TO STARTING THE SHORING AND EXCAVATION WORK



# TOTAL LANDSCAPE AREA: 4,947 SF

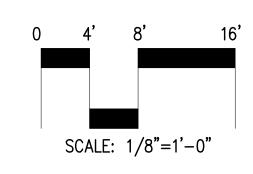
## HOLD HARMLESS AND INDEMNIFICATION CLAUSE

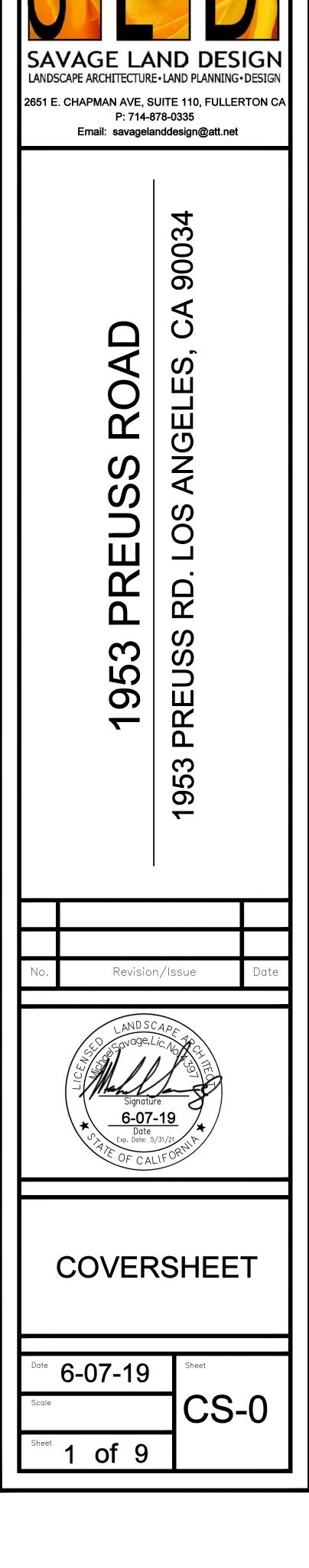
CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE



TWO WORKING DAYS BEFORE YOU DIG

Service Alert of Southern California





## GENERAL IRRIGATION NOTES

1. ALL CITY AND STATE LAWS, RULES AND REGULATION GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES, AND

3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

5. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE MAIN LINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORESEEN BELOW GRADE CONDITIONS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

6. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO EACH CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION OT THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY

7. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

8. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.

9. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE USE OF RAIN-BIRD PRESSURE COMPENSATING SCREENS "PCS", SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH REMOTE CONTROL VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

10. 120 VAC POWER SOURCE FOR THE CONTROLLER SHALL BE PROVIDED UNDER THE ELECTRICAL SECTION OF THE SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND SHALL MAKE THE FINAL CONNECTION FORM THE ELECTRICAL SOURCE TO THE CONTROLLER.

11. ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING. IN ADDITION TO THE CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.

12. ALL LATERAL LINE PIPING UNDER PAVING WITHOUT A SLEEVE SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.

13. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS NO SUBSTITUTIONS OF SMALLER PIPE SHALL BE PERMITTED BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND

14. FINAL LOCATION OF THE AUTOMATIC CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

15. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS 1-INCH ABOVE FINISH GRADE.

REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.

16. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEADS ARE FLUSH WITH ADJACENT SIDEWALK OR CURB.

17. AFTER RECEIVING NOTIFICATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE, THE IRRIGATION CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS 1/4-INCH ABOVE FINISH GRADE.

18. ALL EQUIPMENT INSTALLED IN VALVE BOXES SHALL BE INSTALLED PER DETAIL DRAWINGS WITHOUT CUTTING SIDE WALLS OF THE VALVE BOX. CUT VALVE BOXES WILL BE REPLACED WITH NEW VALVE BOXES AS INSPECTED BY THE OWNERS AUTHORIZED REPRESENTATIVE AT THE CONTRACTOR'S OWN EXPENSE.

19. ALL LEAD WIRES SHALL BE #14 GAUGE AND BLACK IN COLOR. ALL COMMON WIRES SHALL BE #14 GUAGE AND WHITE IN COLOR. TWO (2) EXTRA WIRES SHALL BE PROVIDED FOR EACH GROUP OF FIVE (5) VALVES AND LOOPED IN A NEARBY VALVE BOX WITH A 2' MIMIMUM COIL.

20. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

21. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO

22. THE CONTRACTOR SHALL ALLOW FOR AN ASSORTMENT OF VARIABLE ADJUSTABLE NOZZLES (VAN) TO BE INSTALLED IN AREAS WHERE STANDARD PATTERN NOZZLES ARE NOT APPLICABLE.

23. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.

24. "HEAT BRAND" THE TOPS OF THE VALVE BOX LIDS WITH THE APPROPRIATE IDENTIFICATION. REFER TO THE IRRIGATION SPECIFICATIONS.

## WATER CONSERVATION STATEMENT

THE SYSTEM IS DESIGNED TO ACHIEIVE CONSERVATION AND EFFICIENCY IN WATER USE BY PROVIDING ANTI-DRAIN DEVICES TO PREVENT LOW HEAD DRAINAGE, RAIN SENSOR / INTERRUPT SWITCH THAT PREVENTS THE SYSTEM FROM ACTIVATING DURING RAIN EVENTS, PRESSURE COMPENSATING DEVICES AND LOW VOLUME HEADS TO REDUCE WATER CONSUMPTION.

## HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, NCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND HE LANDSCAPE ARCHÍTECT HARMLESS FROM ANY AND ALL LIABILITY REAL O ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF TI OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE

## Appendix B - Sample Water Efficient Landscape Worksheet.

## WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package. Please complete all sections (A and B) of the worksheet.

## SECTION A. HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Hydrozone*	Zone or Valve	Irrigation Method**	Area (Sq. Ft.)	% of Landscape Area
A- TREES	A3	BUBBLERS	160 SF	10.35%
B- IRRIGATED LANDSCAPE	A2	DRIP	506 SF	32.73%
C- IRRIGATED LANDSCAPE	A1	DRIP	830 SF	53.69%
D- VINES	A4	BUBBLERS	50 SF	3.23%
	Total		1546 SF	100%

HW = High Water Use Plants MW = Moderate Water Use Plants MS = Micro-spray S = Spray R = Rotor LW = Low Water Use Plants B= Bubbler D= Drip O = Other

RRIGATED LANDSCAPE B 0.3 DRIP 0.81 0.37 830 307.4074 9548.7  RRIGATED LANDSCAPE C 0.5 DRIP 0.81 0.62 506 312.3457 9702.1  INIES D 0.5 BUBBLER 0.81 0.62 50 312.3457 9702.1  TOTAL 1.975309 1546 709.8765 22050.1852  MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)*  Injudication Method overhead spray or drip 0.81 for drip 0.83 for drip 0.83 for drip 0.84 for a conversion factor that converts acre-inches per year to gallons per square foot per year. Li 1 she total landscape are ain square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.  PARTA Calculations  Requiar Lindscape Areas  Total ETAF x Area 799.88 Average ETAF for Regular Landscape Areas must be below for non-residential areas.  Notal ETAF Area 799.88 Average ETAF for Regular Landscape Areas must be below for non-residential areas.  Notal ETAF Area 0.45917	This workshoot is filled out by th	o project applie	ant and it i	s a roquiro	d alamant a	f the Lande	cano Docum	ontation D	nekago	
Hydrozone	This worksheet is filled out by th	e project applic	ant and it i	s a required	a element o	i tile Lalius	scape Docum	entation	ackage.	
#/Planting Description (PF)   Factor		Reference E	vapotran	spiration (	Eto)	50.1	LOS ANGELE	S		
Regular Landscape Areas		#/Planting	Factor		efficiency				Total Water Use	
RRIGATED LANDSCAPE B 0.3 DRIP 0.81 0.37 830 307.4074 9548.7  RRIGATED LANDSCAPE C 0.5 DRIP 0.81 0.62 506 312.3457 9702.1  //INES D 0.5 BUBBLER 0.81 0.62 50 30.8642 958.7  //INES D 0.62 50 30.862 50 30.862  //INES D 0.62 50 30.862 50 30.862  //INES D 0.62 50 30.862  //INES D 0.62		Regular Lan	dscape A	reas						
Name	TREES	Α	0.3	BUBBLER	0.81	0.37	160	59.25926	1840.7	
TOTAL 1.975309 1546 709.8765 22050.1852  TOTAL 1.975309 1546 709.8765 22050.18	IRRIGATED LANDSCAPE	В	0.3	DRIP	0.81	0.37	830	307.4074	9548.7	
TOTAL 1.975309 1546 709.8765 22050.1852    MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)*   26412.0	IRRIGATED LANDSCAPE	С	0.5	DRIP	0.81	0.62	506	312.3457	9702.1	
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) <sup>e</sup> 22050.1852  MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) <sup>e</sup> 26412.0  Lyfront lawn drip  25 for spray head 0.81 for drip  81 for drip  82 to x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAF is .55 cor residential areas and 0.45 for non-residential areas.  82 egular Landscape Areas 65 total ETAF x Area 60 total ETAF x Area	VINES	D	0.5	BUBBLER	0.81	0.62	50	30.8642	958.7	
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) <sup>e</sup> 26412.0  "Hydrozone #/Planting Description overhead spray or drip overhead spray or drip overhead spray or drip 0.81 for drip 0.81 for drip 0.81 for drip 0.82 is a conversion factor that converts acre-inches per year to gallons per square foot per year, LA is the total landscape area in square feet, and ETAF is .55 or residential areas and 0.45 for non-residential areas.  ETAF Calculations  Regular Landscape Areas  Fotal Area 1546  Average ETAF (BHD)  Irrigation Method overhead spray or drip 0.75 for spray head 0.81 for drip 0.75 for s					TOTAL	1.975309	1546	709.8765	22050.1852	
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) <sup>e</sup> 26412.0  "Hydrozone #/Planting Description overhead spray or drip overhead spray or drip overhead spray or drip 0.81 for drip 0.81 for drip 0.81 for drip 0.82 is a conversion factor that converts acre-inches per year to gallons per square foot per year, LA is the total landscape area in square feet, and ETAF is .55 or residential areas and 0.45 for non-residential areas.  ETAF Calculations  Regular Landscape Areas  Fotal Area 1546  Average ETAF (BHD)  Irrigation Method overhead spray or drip 0.75 for spray head 0.81 for drip 0.75 for s						F1	TWILTOTAL		22050 1852	
**Irrigation Method overhead spray or drip**  **Irrigation Method overhead spray or drip**  **Irrigation Method overhead spray or drip**  **Irrigation Efficiency 0.75 for spray head 0.81 for drip**  **Required] = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per year to gallons per square foot per year. As is the total landscape area in square feet, and ETAF is .55 or residential areas and 0.45 for non-residential areas.  **ETAF Calculations**  **Regular Landscape Areas**  **Total ETAF x Area**  **O.45917**  **Irrigation Method overhead spray or drip**  **Required] = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor the converts acre-inches per year. Usually a square foot per year.  **Irrigation Method overhead spray or drip**  **Required] = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor the converts acre-inches per year to gallons per square foot per year.  **Irrigation Method overhead spray or drip**  **India May a conversion factor the converts acre-inches per year to gallons per square foot per year.  **It Station - LOS ANGELES(Eto)(.062)(.55 x LAG)  **Irrigation Method overhead spray or drip**  **India May a conversion factor the converts acre-inches per year to gallons per square foot per year.  **India May a conversion factor the converts acre-inches per year to gallons per square foot per year.  **India May a conversion factor the converts acre-inches per year to gallons per square foot per year.  **India May a conversion factor the converts acre-inches per year to gallons per square foot per year.  **India May a conversion factor that converts acre-inches per year to gallons per square foot per year.  **India May a conversion f		M	AVIMILIM	ALLOWED	WATER AL				50000000 000000	
All Landscape Areas  Overhead spray or drip  Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor the converts acre-inches per acre per year. Standard foot per year. Standard foot per year. Standard foot per year to gallons per year.  ETAF Calculations  Regular Landscape Areas  Fotal ETAF x Area  Total ETAF x Area  Total ETAF x Area  Overage ETAF for Regular Landscape Areas  Fotal ETAF x Area  Overage ETAF  Overage ETAF  Overage ETAF for Regular Landscape Areas  Fotal ETAF x Area										
where 0.62 is a conversion factor that converts acre-inches per year to gallons per square foot per year, LA is the total landscape area in square feet, and ETAF is .55 ior residential areas and 0.45 for non-residential areas.  ETAF Calculations  Regular Landscape Areas  Fotal ETAF x Area  709.88  Average ETAF for Regular Landscape Areas  Average ETAF  0.45917  All Landscape Areas  Fotal ETAF x Area  (B+D)	<sup>a</sup> Hydrozone #/Planting Descripti Eg. 1.) front lawn 2.) low water use plantings 3.) medium water use planting	on		overhead spray or			0.75 for spray head Required 0.81 for drip Eto x 0.6 where 0.6 converts a			actor tha
where 0.62 is a conversion factor that converts acre-inches per year to gallons per square foot per year, LA is the total landscape area in square feet, and ETAF is .55 ior residential areas and 0.45 for non-residential areas.  ETAF Calculations  Regular Landscape Areas  Fotal ETAF x Area  709.88  Average ETAF for Regular Landscape Areas  Average ETAF  0.45917  All Landscape Areas  Fotal ETAF x Area  (B+D)	eMAWA (Annual Gallons Allower	d) = (Eta)(0.62)	[ /ETAE v 1 /	) + //1_ETA	E) v SI A)1					
ETAF Calculations Regular Landscape Areas Fotal ETAF x Area Fotal ETAF x Area Fotal ETAF x Area Fotal Landscape Areas Fotal Landscape Areas Fotal Landscape Areas Fotal Landscape Areas Fotal ETAF x Area Fotal Landscape Areas Fotal ETAF x Area										
Regular Landscape Areas  Total ETAF x Area 709.88 Average ETAF for Regular Landscape Areas  Total Area 1546 must be below for non-residential areas.  Average ETAF 0.45917  All Landscape Areas  Total ETAF x Area (B+D)	없이다. 그 그 이 경기는 이 요리를 받았다면 요리를 하고 있다. 그 그리고 있다면 하는 것이 없었다.			re feet, and	ETAF is .55			LA	(G)	2)(.55 x
Total ETAF x Area 709.88 Average ETAF for Regular Landscape Areas Total Area 1546 must be below for non-residential areas.  Average ETAF 0.45917  All Landscape Areas Total ETAF x Area (B+D)	ETAF Calculations									
Total Area 1546 must be below for non-residential areas.  Average ETAF 0.45917  All Landscape Areas  Total ETAF x Area (B+D)	Regular Landscape Areas									
Total Area 1546 must be below for non-residential areas.  Average ETAF 0.45917  All Landscape Areas  Total ETAF x Area (B+D)	Total ETAF x Area		709.88				Average ETA	AF for Regu	lar Landscape	Areas
All Landscape Areas  Fotal ETAF x Area  (B+D)			7.57							
Total ETAF x Area (B+D)	Total Area									
			0.45917							
	Total Area  Average ETAF  All Landscape Areas		0.45917							
	Average ETAF									

2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL 4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC	CONTRO		RAMMING	. ACTUAL V	VATERING	TIMES				CE VALUES AR L TYPE, EXPOS				
HISTORICAL SEASONAL Eto:  PEAK MONTHLY Eto:  PEAK DAILY ETO (JULY) REQUIREMENT:  PEAK WEEK IY ETO (JULY) REQUIREMENT:  PEAK WEEK IY ETO (JULY) REQUIREMENT:  PEAK WEEK ETO (1 WEEK OF TIME WITHIN 6 DAYS OF JULY):  1.40 IN./WK.  1.41 IN./WK.  1.42 IN./WK.  1.44 IN./WK.  1.44 IN./WK.  1.45 IN./WK.  1.46 IN./WK.  1.46 IN./WK.  1.47 IN./WK.  1.48 IN./WK.  1.49 IN./WK.  1.40 IN./WK.	SYSTEM	DATA REF	ERENCE II	NFORMAT	ION:									
HISTORICAL SEASONAL Eto:  PEAK MONTHLY ETO:  PEAK WEEK DAILY ETO:  PEAK WEEK ETO (LIUY) REQUIREMENT:  1.40 IN./WK.  1.40 IN./WK.  1.40 IN./WK.  PEAK WEEK ETO (1 WEEK OF TIME WITHIN 6 DAYS OF JULY):  0.24 IN./DAY  PRECIPITATION RATE - DRIPUNE:  0.6 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.7 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.8 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.9 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.0 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.1 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.2 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.3 IL.(DW)  SHRUB MATE - DRIPUNE:  0.4 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.5 IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.6 IN./HR.  IN./HR.  IN./HR.  PRECIPITATION RATE - DRIPUNE:  0.7 IN./HR.  0.8 IN./HR.  0.8 IN./HR.  IN./HR				V						1.5	IN./WEEI	(PEAK)		
PEAK DAILY ETO (JULY) REQUIREMENT: PEAK WERKLY ETO (JULY) REQUIREMENT: PEAK WERK ETO (JUWEK OF TIME WITHIN 6 DAYS OF JULY):  0.24 IN./OAY  IRRIGATION SYSTEM EFFICIENCY RATING (IE) - DRIPLINE/ BUBBLER: 0.6 IN./HR. PRECIPITATION RATE - DRIPLINE: 0.6 IN./HR. PRECIPITATION RATE - DRIPLINE: 0.6 IN./HR. PRECIPITATION RATE - DRIPLINE: 0.7 IN./WR. PRECIPITATION RATE - DRIPLINE: 0.81 (LOW) SHRUB WATER USE PLANT FACTOR: 0.81 (LOW) SHRUB WATER USE PLANT FACTOR: 0.9 (MOD)  EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37 LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK.  ADJUSTED - LOW/MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 0.071 0.072 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 0.071 0.072 0.074 0.075 0.278 3.38% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 0.071 0.072 0.073 0.075											-			
PEAK WEEKLY ETO (JULY) REQUIREMENT: Peak WEEK TO (1 WEEK OF TIME WITHIN 6 DAYS OF JULY):  0.24 IN,/DAY  IRRIGATION SYSTEM EFFICIENCY RATING (IE) - DRIPUNE/ BUBBLER: 0.6 IN,/HR.  TREES WATER USE PLANT FACTOR: 0.3 (LOW)  SHRUB WATER USE PLANT FACTOR: 0.3 (LOW)  SHRUB WATER USE PLANT FACTOR: 0.5 (MOD)  EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW TREE DRIPUNE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - LOW SHRUB DRIPUNE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPUNE (PLANT WATER USE/ IE (.3/.81))  ADJUSTED - LOW/MODERATE TREE DRIPUNE PEAK (JULY) WEEK Etc 0.07 0.52 IN,/WK.  ADJUSTED - LOW SHRUB DRIPUNE PEAK (JULY) WEEK Etc 0.07 0.52 IN,/WK.  ADJUSTED - MODERATE SHRUB DRIPUNE PEAK (JULY) WEEK Etc 0.07 0.52 IN,/WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 1.99  DAILY ETC VALUES: JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.78% 5.26 3.8% 11  MONTHLY PERCENTAGE (OF TOTAL YEAR) JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 1.000 1.00	PEAK MO	NTHLY Eto:								6.2	IN./ MO			
Peak Week ETO (1 WEEK OF TIME WITHIN 6 DAYS OF JULY):    RRIGATION SYSTEM EFFICIENCY RATING (IE) - DRIPLINE/ BUBBLER:	PEAK DAI	LY ETo (JUL	Y) REQUIRE	MENT:						0.20	IN./ DAY			
IRRIGATION SYSTEM EFFICIENCY RATING (IE) - DRIPLINE/ BUBBLER:  0.6 IN./HR.  1.7 PRECIPITATION RATE - DRIPLINE:  1.0 C IN./HR.	PEAK WE	EKLY ETo (JI	JLY) REQUI	REMENT:						1.40	IN./WK.			
PRECIPITATION RATE - DRIPLINE:  TREES WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  O.3 (LOW)  SHRUB WATER USE PLANT FACTOR:  O.5 (MOD)  EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  O.62  ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc:  O.07  O.52 IN./WK.  ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  O.07  O.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  O.12  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  DAILY ETC VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  O.071  O.096 O.119 O.157 O.157 O.177 O.193 O.200 O.190 O.167 O.126 O.087 O.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)	Peak Wee	eK ETo (1 W	EEK OF TIN	NE WITHIN	6 DAYS OF	JULY):				0.24	IN./DAY			
PRECIPITATION RATE - DRIPLINE:  TREES WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  O.3 (LOW)  SHRUB WATER USE PLANT FACTOR:  O.5 (MOD)  EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  O.62  ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc:  O.07  O.52 IN./WK.  ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  O.07  O.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  O.12  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  DAILY ETC VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  O.071  O.096 O.119 O.157 O.157 O.177 O.193 O.200 O.190 O.167 O.126 O.087 O.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)	IRRIGATIO	ON SYSTEM	EFFICIENC	Y RATING (	IE) - DRIPL	INE/ BU	JBBLER		0.81	(81%)				
TREES WATER USE PLANT FACTOR:  SHRUB WATER USE PLANT FACTOR:  0.3 (LOW)  SHRUB WATER USE PLANT FACTOR:  0.5 (MOD)  EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc:  0.07  0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  0.07  0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  0.07  0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  0.07  0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  0.07  0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:  0.12  DAILY ETC REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  0.071  0.096  0.119  0.157  0.177  0.193  0.200  0.190  0.167  0.126  0.087  0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4%  5.4%  7.4%  9.4%  1.1.0%  1.1.0%  1.1.6%  1.2.4%  1.1.8%  1.0.0%  7.8%  5.2%  3.8%  1.0  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4%  5.4%  7.4%  9.4%  1.1.0%  1.1.0%  1.1.6%  1.2.4%  1.1.8%  1.0.0%  7.8%  5.2%  3.8%  1.0  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  1.0.000														
SHRUB WATER USE PLANT FACTOR:    0.3												T .		
EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37  LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81)) 0.62  ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK. ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK. ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETC REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT. 2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Etc VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)										1000000		I		
EVAPOTRANSPIRATION ADJUSTMENT FACTOR  LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81))  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  ADJUSTED - LOW/MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc  O.07  O.52 IN./WK.  ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc: O.07  O.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc: O.07  O.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc: O.12  O.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETG REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL  O.071  O.096  O.071  O.096  O.119  O.157  O.177  O.193  O.200  O.190  O.167  O.126  O.087  O.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC	SHRUB W	ATER USE P	LANT FACT	TOR:										
LANDSCAPE COEFFICIENT - LOW TREE DRIPLINE (PLANT WATER USE/ IE (.3/.81))       0.37         LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81))       0.37         LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))       0.62         ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc       0.07       0.52 IN./WK.         ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc:       0.07       0.52 IN./WK.         ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:       0.07       0.52 IN./WK.         ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc:       0.12       0.87 IN./WK.         AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY30% OF PEAK SUMMER SCHEDULE. SPRING AND       DEC       TOT.         ETO REPLACEMENT VALUES:       5.8       6.2       5.9       5       3.9       2.6       1.9         DAILY Etc VALUES:       JAN       FEB       MAR       APR       MAY       JUNE       JULY       AUG       SEPT       OCT       NOV       DEC         JO.071       0.096       0.119       0.157       0.177       0.193       0.200       0.190       0.167       0.126       0.087       0.061         MONTHLY PERCENTAGE (OF TOTAL YEAR)       JAN       FEB       MAR       APR       MAY       JUNE										Supplied (S.R.				
LANDSCAPE COEFFICIENT - LOW SHRUB DRIPLINE (PLANT WATER USE/ IE (.3/.81)) 0.37  LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81)) 0.62  ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK.  ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.07 0.52 IN./WK.  ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Etc VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  MONTHLY PERCENTAGE (OF PEAK JULY)	EVAPOT	RANSPIRA	TION ADJ	USTMENT	FACTOR									
LANDSCAPE COEFFICIENT - MODERATE SHRUB DRIPLINE (PLANT WATER USE/ IE (.5/.81))  O.62  ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc. 0.07 0.52 IN./WK. ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc. 0.07 0.52 IN./WK. ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc. 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT. 2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC 0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT. 4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT. 4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 11	LANDSCA	PE COEFFIC	CIENT - LOV	V TREE DRI	PLINE (PLA	NT WA	TER US	E/ IE (.3/.8	1))		0.3	7		
ADJUSTED - LOW/MODERATE TREE DRIPLINE PEAK (JULY) WEEK Etc 0.07 0.52 IN./WK.  ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Etc: 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETC REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Etc VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10	LANDSCA	PE COEFFIC	CIENT - LOV	V SHRUB D	RIPLINE (PI	ANT W	ATER U	JSE/ IE (.3/	.81))		0.3	7		
ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Eto: 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Eto: 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10	LANDSCA	PE COEFFIC	IENT - MO	DERATE SH	RUB DRIPL	INE (PL	ANT W	ATER USE/	IE (.5/.81)	)	0.6	2		
ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Eto: 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Eto: 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10														
ADJUSTED - LOW SHRUB DRIPLINE PEAK (JULY) WEEK Eto: 0.07 0.52 IN./WK.  ADJUSTED - MODERATE SHRUB DRIPLINE PEAK (JULY) WEEK Eto: 0.12 0.87 IN./WK.  AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10	party services				*************									
AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10							EEK Etc							
AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY 30% OF PEAK SUMMER SCHEDULE. SPRING AND  ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOT.  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10							-							
ETO REPLACEMENT VALUES  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL  2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10	ADJUSTEL	) - MODERA	VIE SHKOR	DRIPLINE	EAK (JULY	) WEEK	Eto:	0.12			0.8	/ IN./WK.		
JAN   FEB   MAR   APR   MAY   JUNE   JULY   AUG   SEPT   OCT   NOV   DEC   TOTAL	AS A GE	NERAL RUL	E, WITER II	RRIGATION	TIMES ARI	APPR	OXIMA.	TELY 30% O	F PEAK SU	MMER SCHED	ULE. SPRIN	GAND		
JAN   FEB   MAR   APR   MAY   JUNE   JULY   AUG   SEPT   OCT   NOV   DEC   TOTAL	ETO REPL	ACEMENT V	ALUES											
2.2 2.7 3.7 4.7 5.5 5.8 6.2 5.9 5 3.9 2.6 1.9  DAILY Eto VALUES:  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC  0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL 4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC				APR	MAY	JUNE		JULY	AUG	SEPT	ост	NOV	DEC	TOTAL
JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC           0.071         0.096         0.119         0.157         0.177         0.193         0.200         0.190         0.167         0.126         0.087         0.061           MONTHLY PERCENTAGE (OF TOTAL YEAR)           JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC         TOTAL           4.4%         5.4%         7.4%         9.4%         11.0%         11.6%         12.4%         11.8%         10.0%         7.8%         5.2%         3.8%         10           MONTHLY PERCENTAGE (OF PEAK JULY)           JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC	JAN	1515-502	F-10-10-10-10-10-10-10-10-10-10-10-10-10-	20000000	0.000/0.00		5.8		127.653.67		(30/30/00/01			50
JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC           0.071         0.096         0.119         0.157         0.177         0.193         0.200         0.190         0.167         0.126         0.087         0.061           MONTHLY PERCENTAGE (OF TOTAL YEAR)           JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC         TOTAL           4.4%         5.4%         7.4%         9.4%         11.0%         11.6%         12.4%         11.8%         10.0%         7.8%         5.2%         3.8%         10           MONTHLY PERCENTAGE (OF PEAK JULY)           JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC	(TIO 10742)	2.7	3.7					1			I			
0.071 0.096 0.119 0.157 0.177 0.193 0.200 0.190 0.167 0.126 0.087 0.061  MONTHLY PERCENTAGE (OF TOTAL YEAR)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC TOTAL YEAR  4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC	2.2		5.7									1		
JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC         TOTAL           4.4%         5.4%         7.4%         9.4%         11.0%         11.6%         12.4%         11.8%         10.0%         7.8%         5.2%         3.8%         10           MONTHLY PERCENTAGE (OF PEAK JULY)         JULY         AUG         SEPT         OCT         NOV         DEC           JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC	2.2	VALUES:				JUNE		JULY	AUG	SEPT	ост	NOV	DEC	
JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC         TOTAL           4.4%         5.4%         7.4%         9.4%         11.0%         11.6%         12.4%         11.8%         10.0%         7.8%         5.2%         3.8%         10           MONTHLY PERCENTAGE (OF PEAK JULY)         JULY         AUG         SEPT         OCT         NOV         DEC           JAN         FEB         MAR         APR         MAY         JUNE         JULY         AUG         SEPT         OCT         NOV         DEC	2.2 DAILY Eto JAN	VALUES: FEB	MAR	APR	MAY	JUNE	0.193							
4.4% 5.4% 7.4% 9.4% 11.0% 11.6% 12.4% 11.8% 10.0% 7.8% 5.2% 3.8% 10  MONTHLY PERCENTAGE (OF PEAK JULY)  JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC	DAILY Eto JAN 0.071	VALUES: FEB 0.096	MAR 0.119	APR 0.157	MAY	JUNE	0.193							
JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC	DAILY Eto JAN 0.071	VALUES: FEB 0.096	MAR 0.119 AGE (OF TO	APR 0.157 TAL YEAR)	MAY 0.177		0.193	0.200	0.190	0.167	0.12	6 0.087	0.061	
JAN FEB MAR APR MAY JUNE JULY AUG SEPT OCT NOV DEC	DAILY Eto JAN 0.071  MONTHLY	VALUES: FEB 0.096 PERCENTA	MAR 0.119 AGE (OF TO MAR	APR 0.157 TAL YEAR) APR	MAY 0.177 MAY			0.200 JULY	0.190 AUG	0.167 SEPT	0.12 OCT	6 0.087	0.061	TOTAL
	DAILY Eto JAN 0.071 MONTHLY JAN 4.4%	VALUES: FEB 0.096 V PERCENTA FEB 5.4%	MAR 0.119 AGE (OF TO MAR 7.4%	APR 0.157 TAL YEAR) APR 9.4%	MAY 0.177 MAY			0.200 JULY	0.190 AUG	0.167 SEPT	0.12 OCT	6 0.087	0.061	TOTAL
	DAILY Eto JAN 0.071  MONTHLY JAN 4.4%	VALUES: FEB 0.096 PERCENTA FEB 5.4% PERCENTA	MAR 0.119 AGE (OF TO MAR 7.4% AGE (OF PE	APR 0.157 TAL YEAR) APR 9.4% AK JULY)	MAY 0.177 MAY 11.0%	JUNE		0.200 JULY 12.4%	0.190 AUG 11.8%	0.167 SEPT 10.0%	0.12 OCT 7.89	0.087 NOV 6 5.2%	0.061 DEC 3.8%	TOTAL 100
	DAILY Eto JAN 0.071  MONTHLY JAN 4.4%	VALUES: FEB 0.096 PERCENTA FEB 5.4% PERCENTA FEB	MAR 0.119 AGE (OF TO MAR 7.4% AGE (OF PE	APR 0.157 TAL YEAR) APR 9.4% AK JULY) APR	MAY 0.177 MAY 11.0%	JUNE		0.200 JULY 12.4%	0.190 AUG 11.8%	0.167 SEPT 10.0%	0.12 OCT 7.89	0.087 NOV 6 5.2%	DEC 3.8%	TOT#

## PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE

**DOCUMENTATION PACKAGE** "I/we certify that based upon periodic site observations, the work has been substantially completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature*	Date
Name (print)	Telephone No. 714-878-0335
MICHAEL SAVAGE	Fax No.
Title PRESIDENT	Email Address SAVAGELANDDESIGN@ATT.NET
License No. or Certification No. RLA 43	97
Company SAVAGE LAND DESIGN	Street Address 2651 E. CHAPMAN AVE, STE 110
FULLERTON	State CALIFORNIA Zip Code 92831

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

## PART 6. SOIL MANAGEMENT REPORT

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Attach documentation verifying implementation of recommendations from soil analysis report per ordinance

## Appendix C - Sample Certificate of Completion

CERTIFICATE OF COMPLETION This certificate is filled out by the project applicant upon completion of the landscape project

Date					
Project Name 1953 Preuss Rd					
Name of Project Applicant	Telephone No.				
	Fax No.				
Title	Email Address				
Company	Street Address				
City	State	Zip Code			

		A CONTRACT OF THE PROPERTY OF
LOS ANGELES		Latitude/Longitude (optional)
State CALIFORNIA	Zip Code 90034	
Property Owner	r or his/her desig	nee:
Name		Telephone No. 714-878-0335
MICHAEL SAVA	NGE	Fax No.
PRESIDENT		Email Address SAVAGELANDDESIGN@ATT.NET
SAVAGE LAND	DESIGN	Street Address 2651 E. CHAPMAN AVE, STE 110

Parcel, tract or lot number, if available.

Zip Code 92831

FULLERTON

1953 PREUSS ROAD

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

CALIFORNIA

Property Owner Signature

Please answer the questions below:

Date the Landscape Documentation Package was submitted to the local agency Date the Landscape Documentation Package was approved by the local agency

Date that a copy of the Water Efficient Landscape Worksheet (including the Water Budget Calculation) was submitted to the local water purveyor\_\_\_

# **IRRIGATION MAINTENANCE SCHEDULE:**

1. LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING REPLENISHING MULCH; FERTILIZING; PRUNING; AND WEEDING IN ALL LANDSCAPE

2. WHENEVER POSSIBLE, REPAIR OF THE IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENT SPECIFICATION.

## **IRRIGATION AUDIT SCHEDULE:**

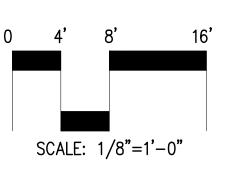
1. AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE STATE OF CALIFORNIA LANDSCAPE AUDITOR HANDBOOK.

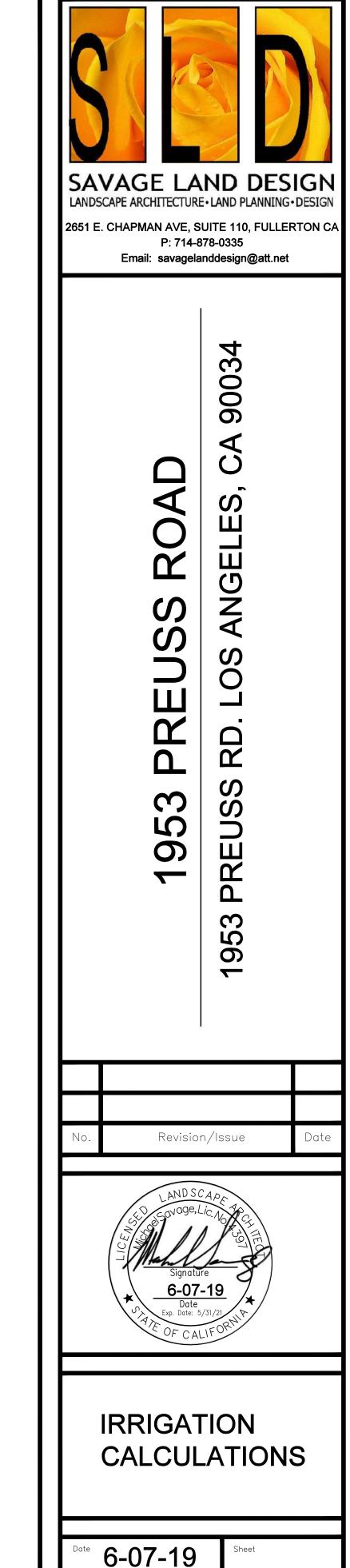
2. AUDITS SHALL BE CONDUCTED BY A STATE CERTIFIED LANDSCAPE IRRIGATION AUDITOR AT LEAST ONCE EVERY FIVE YEARS AND SUBMITTED TO THE LOCAL WATER PURVEYOR.

## **SOIL SPECIFICATION / ANALYSIS SAMPLE:**

1. PROVIDE SOIL SPECIFICATIONS IF IMPORT SOIL OR PROVIDE SOIL ANALYSIS IF USING ON SITE SOIL. THE SOIL INFORMATION MUST INCLUDE: SOIL TEXTURE (% OF ORGANIC MATTER), INFILTRATION RATE (OR ESTIMATED RANGE), PH & TOTAL SOLUBLE SALTS, INDICATE IF MULCH, SOIL AMENDMENTS OR OTHER MATERIAL WILL BE USED OR REQUIRED.

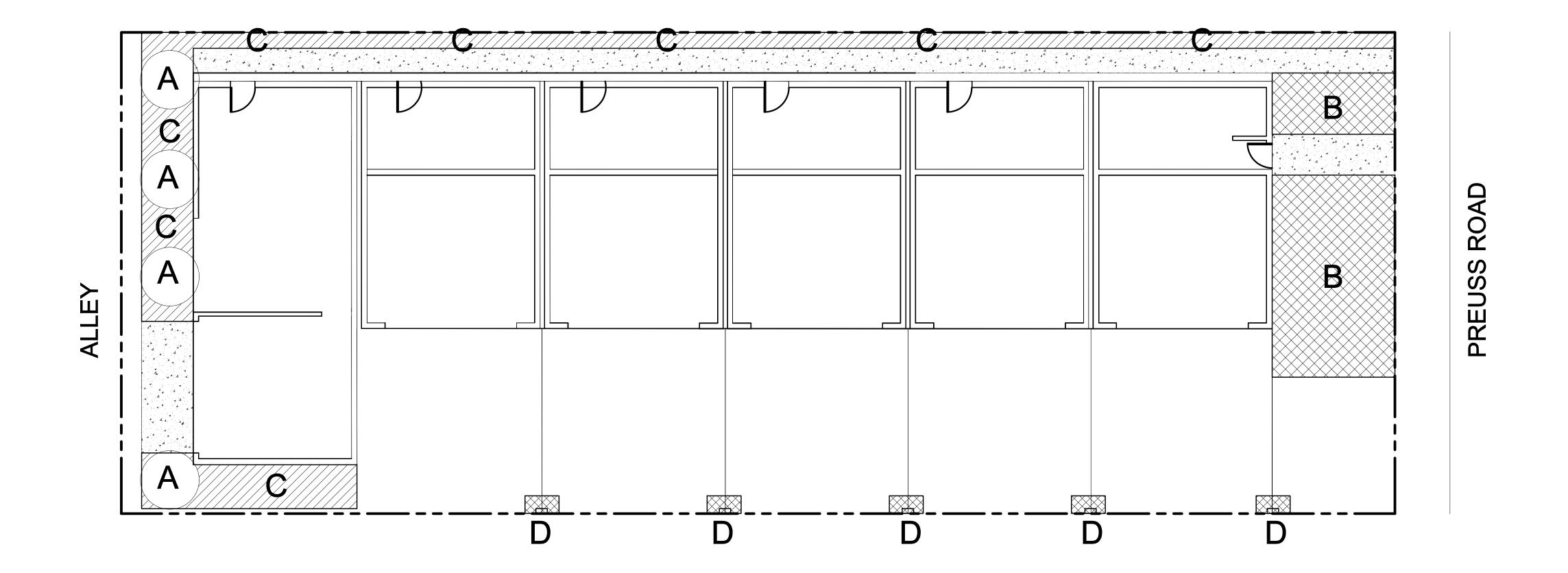


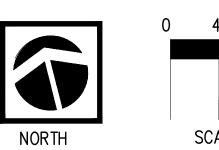


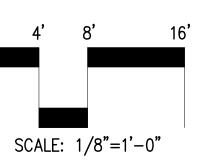


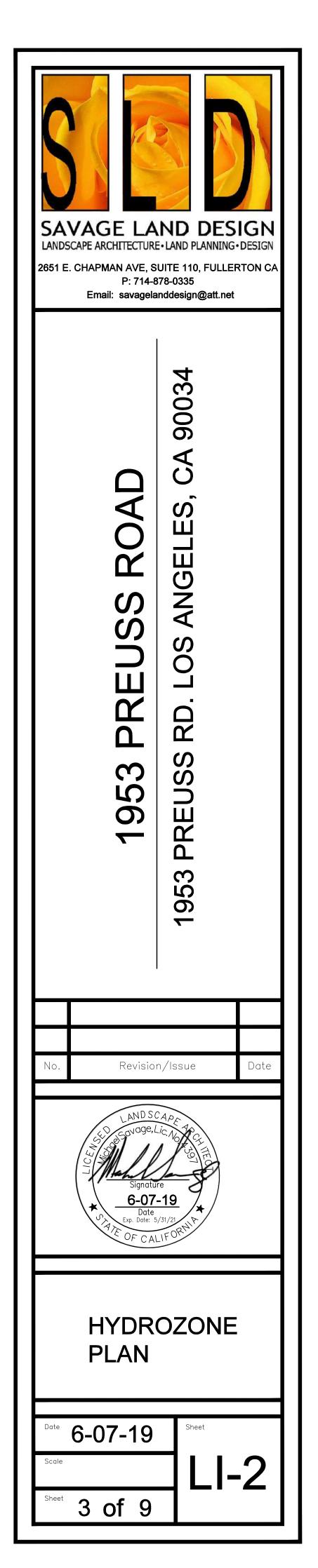
2 of 9

HYDROZONE	UNIT A AREA (SF)	% OF TOTAL LANDSCAPE AREA	WATER USE CLASSIFICATION	HYDROZONE BASIS	EXPOSURE	HYDROZONE DESCRIPTION	IRRIGATION METHOD	IRRIGATION DEVICE MANUFACTURER	ZONE PRESSURE (PSI)	ZONE FLOW (GPM)	PRECIP. RATE	VALVE NUMBER	NUMBER AND TYPE OF OUTLET
A- TREES	160	10.35%	L	PL	PART SUN/SHADE	TREES	В	HUNTER	30	4	2.41	А3	4 TREES
B-IRRIGATED LANDSCAPE (DRIP)	506	32.73%	L	PL	PART SUN/SHADE	SHRUBS	D	HUNTER	30	5.2	0.99	A2	511 LF
C-IRRIGATED LANDSCAPE (DRIP)	830	53.69%	М	PL	PART SUN/SHADE	SHRUBS	D	HUNTER	30	7.1	0.82	A1	695 LF
D - VINES	50	3.23%	М	PL	PART SUN/SHADE	VINES	D	HUNTER	30	2.5	4.82	A4	5 VINES
		100.00%											
Total	1546												
WATER USE CLASSIFICATION							HYDROZONE BASIS		IRRIGATION METHOD				
Т	TURF						PL	PLANT TYPE		D		DRIP	
н	HIGH						IR	IRRIGATION METHOD		R	SMALL ROTOR		
М	MEDIUM						SU	SUN EXPOSURE		В		BUBBLER	
Ĺ,	LOW						SL	SLOPE		SP	<u>.</u>	SPRAY	
0	OTHER						0	OTHER		0		OTHER	
BASED ON WATER USE CLASSIFICAT	ION												
OF LANDSCAPE SPECIES (WUCOLS)													
PUBLISHED BY THE STATE OF CALIFO													
DEPARTMENT OF WATER RESOURCES													









#### IRRIGATION LEGEND

SYMBOL: MANUFACTURER: MODEL NUMBER; RAD.: P.S.I.: G.P.M.: DESCRIPTION: RAINBIRD 1806-PA80-1402 POP-UP BUBBLER 2' 25 .50 HUNTER PGV 101G 1" GLOBE VALVE W/ FLOW CONTROL → HUNTER 1" ICV GLOBE VALVE W/ 1" HY100 FILTER SYSTEM ICZ-101 CONTROLLER ASSEMBLY. REFER TO IRRIGATION NOTES FOR INFORMATION HUNTER NIBCO T-113-K ISOLATION GATE VALVE FLUSH VALVE ASSEMBLY — SEE DETAILS PLD-06-18 ON SURFACE DRIPLINE - INLET PRESSURE 30 PSI ----- HUNTER PVC SCH 40 === APPROVED IRRIGATION SLEEVE (SEE NOTES FOR SIZE)

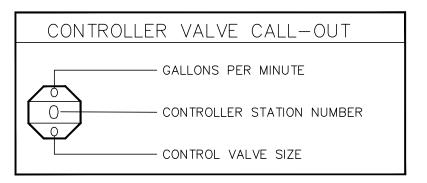
APPROVED PVC CLASS 200 LATERAL LINE PIPE

APPROVED PVC SCH 40 MAIN LINE PIPE (SIZE PER PLAN)

DW 5/8" DOMESTIC WATER METER FOR LANDSCAPE USE ONLY

FEBCO 825YA 1" REDUCED PRESSURE BACKFLOW ASSEMBLY IN LOCKING ENCLOSURE

NOTE: LAY OUT ROWS SO THAT EMITTERS ARE TRIANGLE SPACED

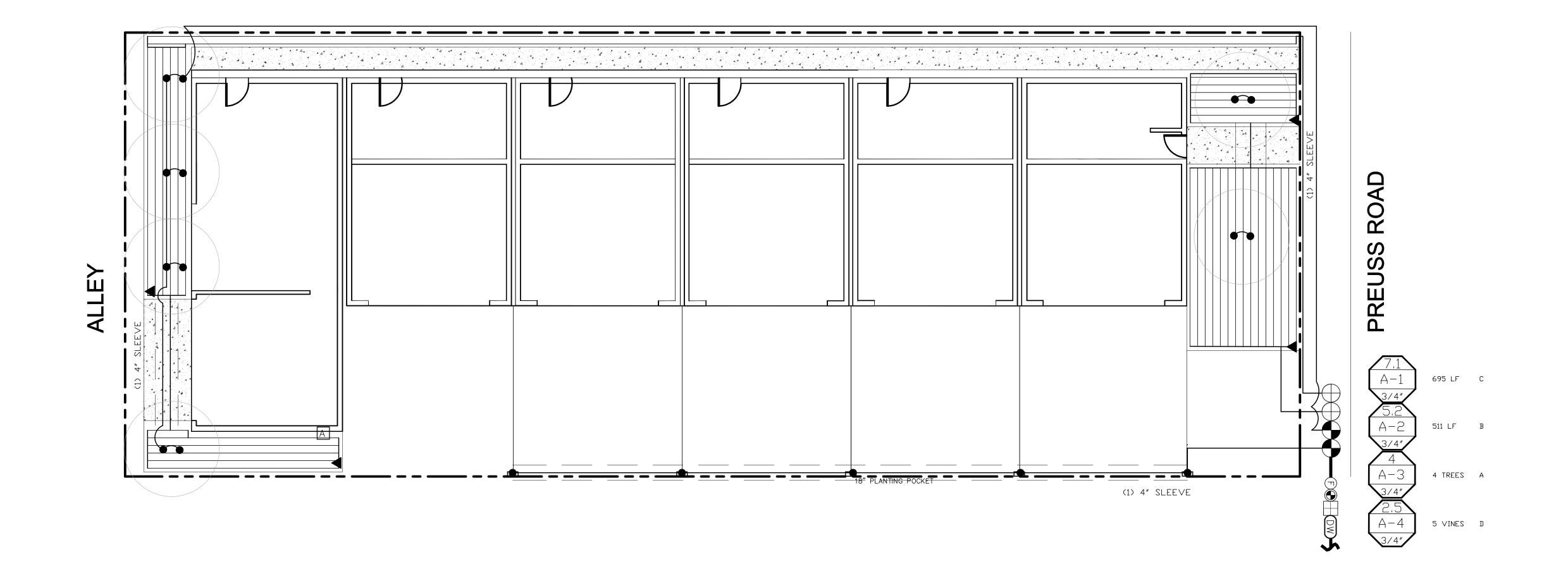


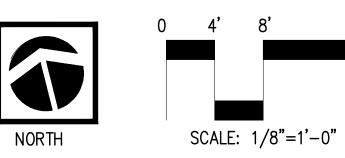
#### **IRRIGATION NOTES:**

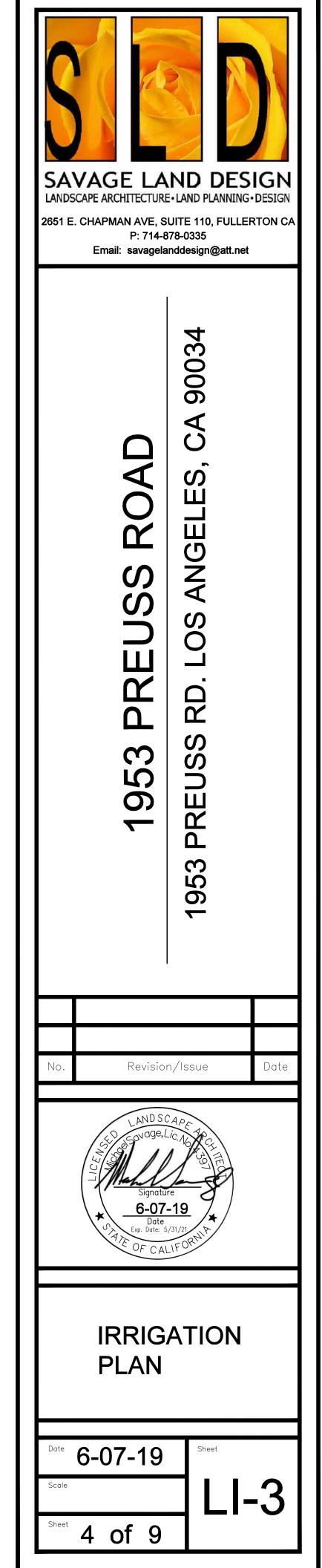
- DESIGN PRESSURE: 30 PSI STATIC WATER PRESSURE 110 / 79 PSI
- CONTRACTOR SHALL PROVIDE BALL VALVE BETWEEN POINT OF CONNECTION AND CONTROL VALVE MANIFOLD. PRESSURIZED MAINLINE FROM POINT OF CONNECTION TO CONTROL VALVE SHALL BE PVC SCHEDULE 80.
- CONTRACTOR SHALL PROVIDE (1)HUNTER PRO-C OUTDOOR CONTROLLER CONTRACTOR SHALL PROVIDE (1) SOLAR-SYNC-SEN RAIN SENSOR. INSTALL PER MANUFACTURE'S INSTRUCTIONS. CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICES TO CONTROLLER.

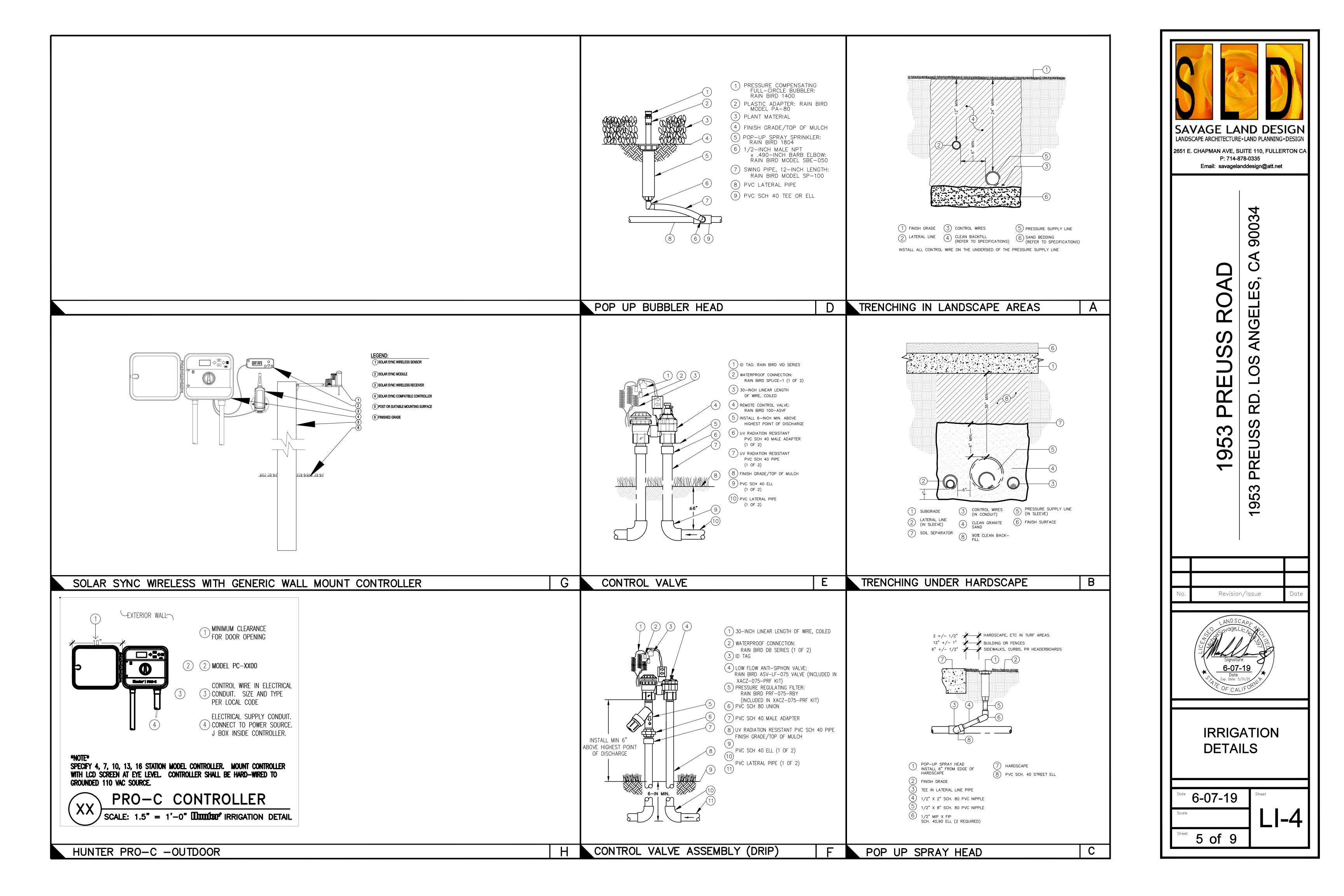
#### **CONSTRUCTION NOTES:**

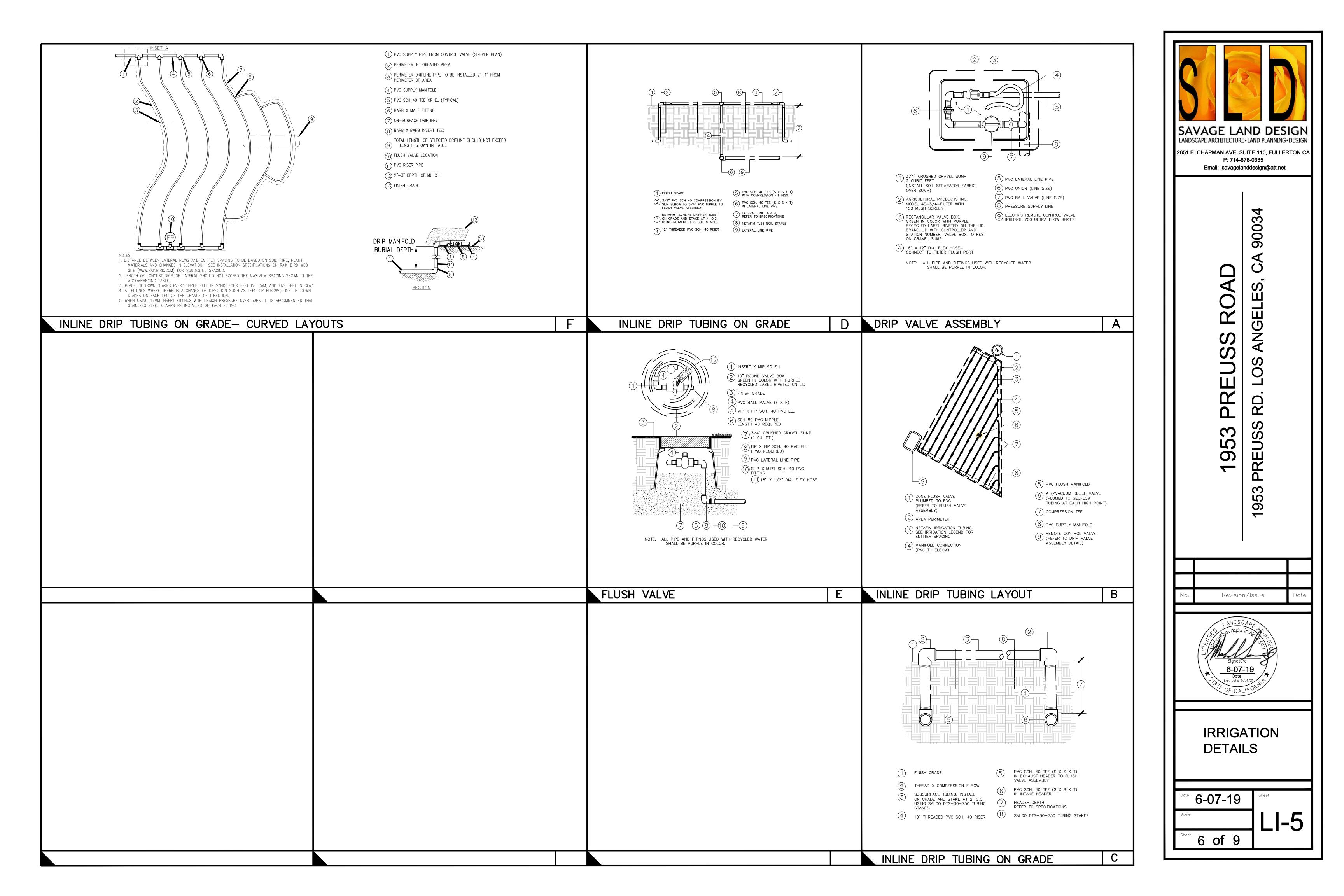
THIS PROJECT WILL COMPLY WITH: 2017 CBC, CPC, AND 2017 CEC AND 2018
 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
 THE HOUSE STREET NUMBER WILL BE VISABLE FROM THE STREET.
 THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS
 PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES,
 CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GERNERATED ON
 CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED
 CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN
 SYSTEMS.



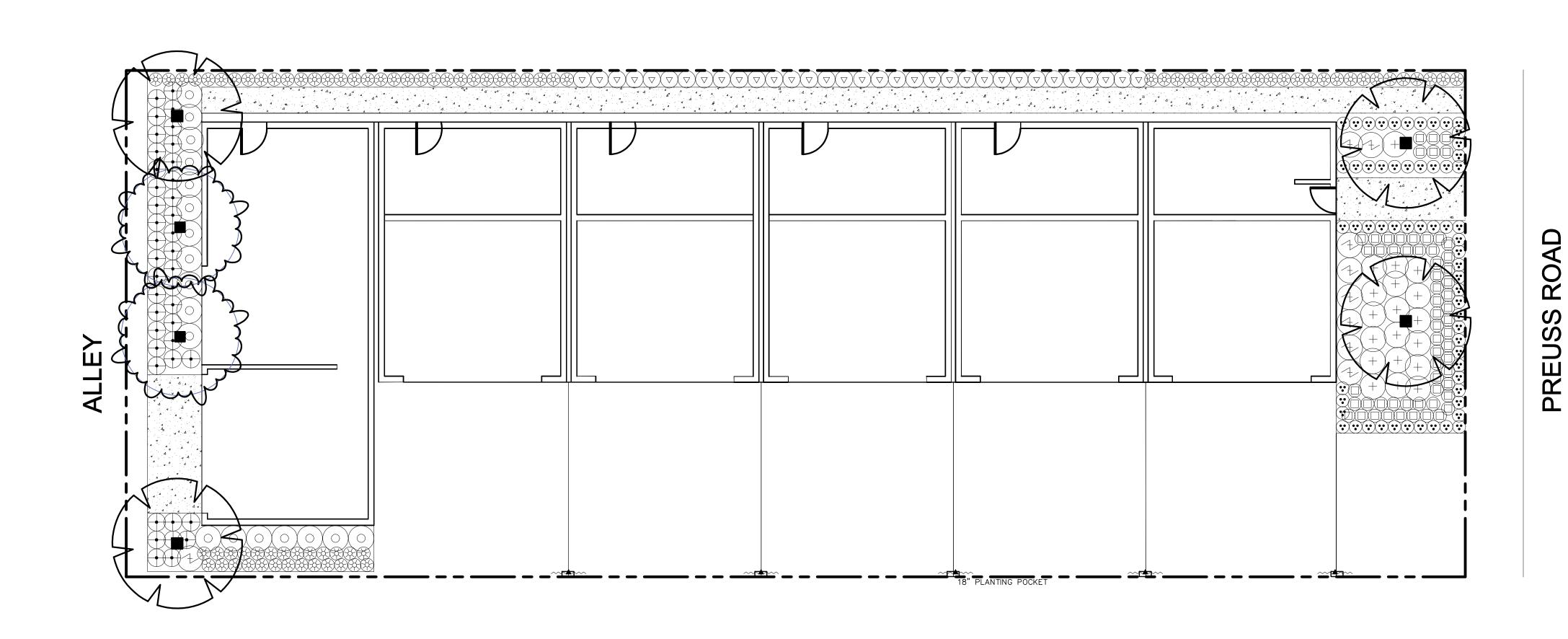




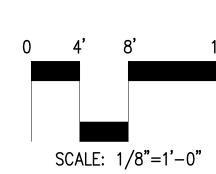


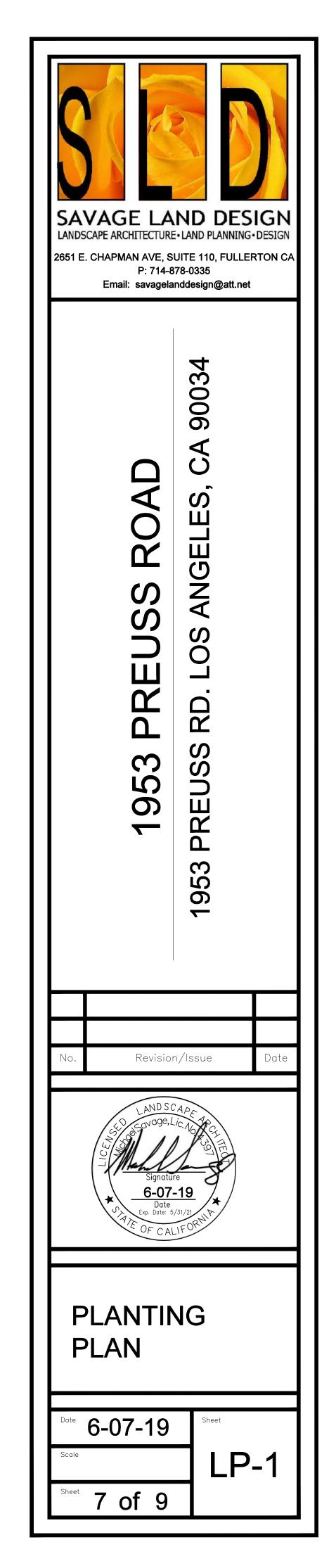


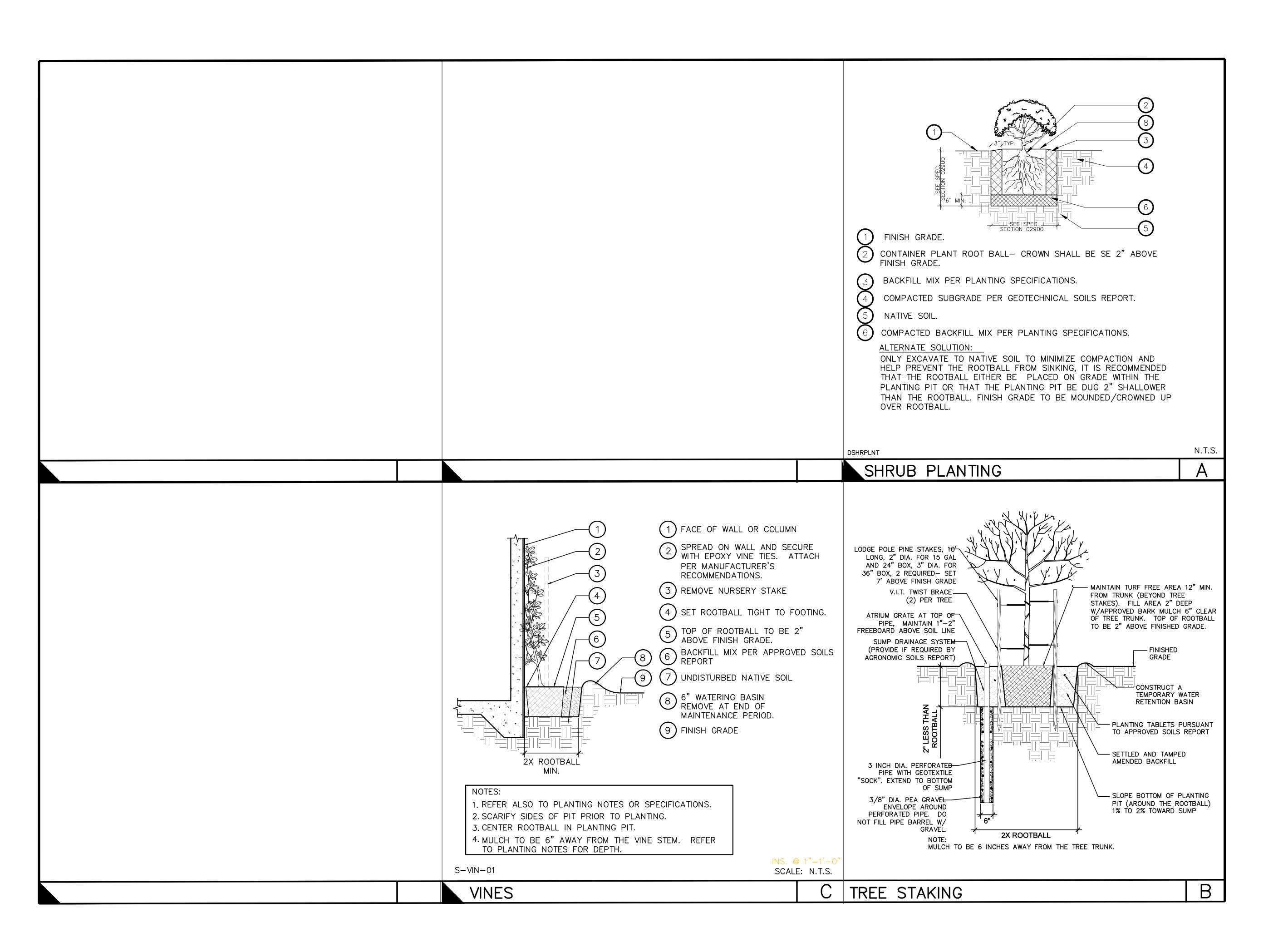


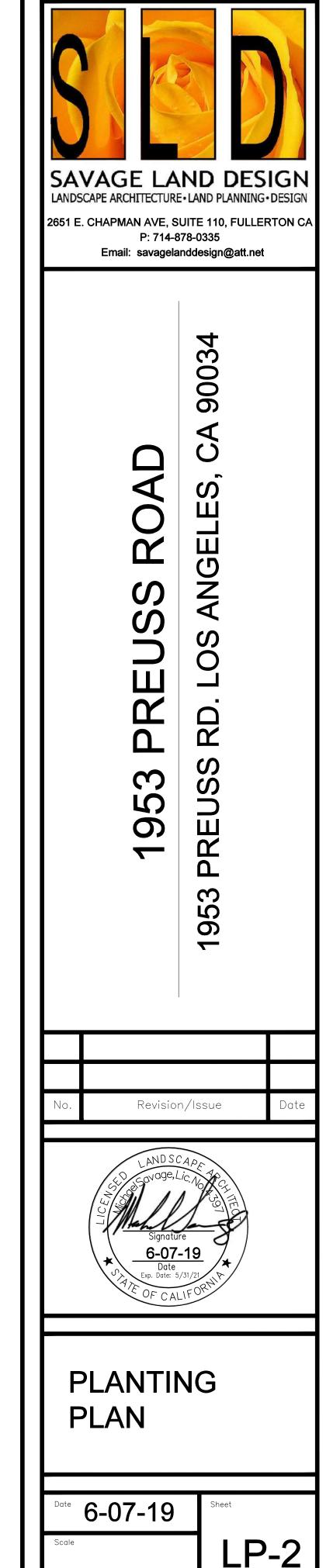












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The degree of toxicity   barium   1.40   *	WALLACE LABS	S	SOILS REPO	RT	Print Date	Jun. 6, 2019
Annonium bicarbonate/DTPA   Sample interpretation." very low, "* low, *** moderate   Sample Description   Cataractible - may good   Interpretation of data   Sample Description   Cataractible - may good   Cataractible - may g	365 Coral Circle		Location		1953 Preuss Road, Lo	s Angeles
Commontain   Description   D	SUCCESSION CONTRACTOR AND ADMINISTRATION OF THE SECOND CONTRACTOR		No.		Michael Savage, Sava	ge Land Design
Sample   Description   Sample   Description   Descriptio	CONTRACTOR CONTRACTOR OF STREET		2 Altr. (24-15)	* very low *		
Sample ID Number   19-157-03						y high
Interpretation of data		onatc/D11		e ID Number	70.0	y mgn
Sow medium high					INVESTMENT OF CONTROL OF CONTROL	06/05/2019
0-7 8-15 over 15 phosphorus   13.91   ****   0-60 60 -120 121-180 potassium   6.240 ***   0-0.4 4 -1 to over 10   manganese   8.25 ****   0-0.2 0.3 -0.5 over 0.5   copper   2.46   ****   0-0.2 0.2 -0.5 over 1   boron   3.13.50   ****   0-0.2 0.2 -0.5 over 1   boron   3.10   ****   0-0.2 0.2 -0.5 over 1   boron   3.10   ****   0-0.2 0.2 -0.5 over 1   boron   3.10   ****   0-0.2 0.2 0.2 0.2 0.2 0.2 0.2 0.2 0.2 0.2	-				1	
0-00 60 -120 121-180					13.91	133
0 - 4   - 10   over   0   iron     2.267   *****	1967 Feb. 2000 (**1500000 C.)000-01000000-1-1960-2-1	)	9 70			***
0-1   1-1.5 over   1.5   zinc	0 - 4 4 - 10 over 10	)	•		22.67	****
0-0.2 0.3-0.5 over 0.5   copper   0-0.2 0.2-0.5 over 1   horon   0.29   ***   calcium   318.05 ***   magnesium   313.36   ****   magnesium   313.36   ****   magnesium   10.55   ***   molybdenum   10.05   ***   molybdenum   10.05   ***   molybdenum   10.05   ***   molybdenum   10.09   ***   molybdenum   10.00   ***	0- 0.5 0.6- 1 over 1		manganese		8.25	****
0-0.2   0.2   0.5   0.	0 - 1 1 - 1.5 over 1.:	5	zinc		8.84	****
Calcium   318.05   ***	The Property September - Delinated D. Schollerskeit 2011	5	copper		217477417600	W. (1984) 1984 - C
	0- 0.2 0.2- 0.5 over 1		33 12.3		According to the Control of the Cont	
Suffur   10.55   %			- i		N/20/10/20/20/20/20/20/20/20/20/20/20/20/20/20	
molybdenum   0.09 ***   molybdenum   0.09 ***   molybdenum   nickel   0.48 *     molybdenum   nickel   0.49 *     molybdenum   nickel   0.49 *     molybdenum   nickel   0.49 *     molybdenum   0.47 *     molybdenum   0.40 *     molybdenum   0.48 *     molybdenum   0.49 *     molybdenum   0.40 *     molybdenum   0.40 *     molybdenum   0.40 *     molybdenum   0.09 *     molybdenum   0.09 *     molybdenum   0.09 *     molybdenum   0.00 *     molybdenum   0.00 *     molybdenum   0.00 *     molybdenum   0.40 *     molybenum   0.40 *     molyben			123,237		CS1940 MAN	
The following trace   aluminum   are elements may be toxic   arsenic   ar					980 \$250 0000	- Constant
Selements may be toxic	The following trace				81	
The degree of toxicity   cadmium   cadmium   0.09   *	100		(A)		APRES.	*
the soil, soil texture, organic matter, and the cobalt concentrations of the lead   0.00   0.			20 20 20 20 20 20 20 20 20 20 20 20 20 2			*
organic matter, and the concentrations of the lead   0.098 *	depends upon the pH o	f	cadmium		0.09	*
Concentrations of the   lead	the soil, soil texture,		chromium		0.02	*
Individual elements as   Itihium   0.27	organic matter, and the	1	cobalt			
Mercury   Note   Note   Note   Mercury   Note	AND THE PROPERTY OF THE PARTY O				457-55-45-5558	
Selenium						
The pH optimum depends   Silver   Ind   *	well as to their interact	ions.				2
Import	The -II do		ADD-9		10	
Martice and clay content		nas				
The ECLE is a measure of the soil salinity:   The ECLE is a few plants		nt_	BUT OFFICE OF THE SPECIAL PROPERTY OF THE SPECIAL PROP		0.00.00000000	
under 5.2 is too acidic         Saturation Extract           6.5 to 7 is ideal         Saturation Extract           over 9 is too alkaline         pH value         7.77         *****           The ECe is a measure of the soil salinity:         ECe (millinow)         1.04         ****           The ECe is a measure of the ECe (millinow)         ECe (millinow)         1.04         ****           Least colspan="2">Celcium         27.5         2.5 </td <td></td> <td></td> <td>1-1-1-1-1</td> <td></td> <td></td> <td>*</td>			1-1-1-1-1			*
over 9 is too alkaline         pH value         7.77         *****           The ECe is a measure of the soil salinity:         ECe (millimho/cm)         0.49         **           1-2 affects a few plants         calcium         27.5		•	, manual		0.02	
over 9 is too alkaline         pH value         7.77         *****           The ECe is a measure of the soil salinity:         ECe (millimho/cm)         0.49         **           1-2 affects a few plants         calcium         27.5	6.5 to 7 is ideal		Saturation Extract	t		
The ECe is a measure of the soil salinity:	Processor Control of the Control of		A.D. A.D. A.D. A.D. A.D. A.D. A.D. A.D.		7.77	****
the soil salinity:    mho/cm    mho/cm    millim   millim   molecum   millim   milli			-			**
1-2 affects   few plants   calcium   27.5		-	`			millieq/
2-4 affects some plants, sodium 52.7		s		1	27.5	1.4
Problems over 150 ppm   Chloride   S9   S1	<del>_</del>				10.9	0.9
problems over 150 ppm chloride 59 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	> 4 affects many plant	s.	sodium		52.7	2.3
problems over 150 ppm chloride 59 nitrate as N 2 0.3 0.3 0.0 0.0			potassium		1.5	0.0
nitrate as N   2   0.3   1.5     phosphorus as P   0.3   0.3   0.5     toxic over 800   sulfate as S   25.2   1.5     anion sum			cation sum			4.6
toxic over 800 sulfate as S anion sum toxic over 1 for many plants boron as B increasing problems start at 3 scale set. gypsum requirement-lbs./1000 sq. ft.  calculated infiltration rate inches/hour soil texture sandy loam gravel > 2 mm sand 61.0% 9.8% silt 21.9% gravel > 1/4 incl clay 17.1% 2.1% lime (calcium carbonate) no gravel > 1/2 incl Total nitrogen 0.362%  Total carbon 0.362% carbon:nitrogen ratio 0.72% moisture content of soil 2.5%	problems over 150 pp	m			1000	1.7
toxic over 800 sulfate as S anion sum  toxic over 1 for many plants boron as B increasing problems start at 3 est. gyps um require ment-lbs./1000 sq. ft.    Calculated infiltration rate inches/hour sandy loam gravel > 2 mm   Soil texture   sandy loam gravel > 2 mm   Soil texture   sandy loam gravel > 1/4 incl   Clay   17.1% 2.1%     Iime (calcium carbonate)   no gravel > 1/2 incl   Total nitrogen   0.052% 0.8%     Total carbon   0.362%     Carbon:nitrogen ratio   0.72%     moisture content of soil   2.5%						0.1
toxic over 1 for many plants boron as B  increasing problems start at 3  est. gypsum requirement-lbs./1000 sq. ft.  calculated infiltration rate inches/hour  soil texture  sandy loam sand	40 min 000		TO		11000-10000	0.0
toxic over 1 for many plants increasing problems start at 3 SAR  est. gypsum requirement-lbs./1000 sq. ft.    calculated infiltration rate inches/hour   0.68     soil texture   sandy loam   gravel > 2 mm     sand   61.0%   9.8%     silt   21.9%   gravel > 1/4 incl     clay   17.1%   2.1%     lime (calcium carbonate)   no   gravel > 1/2 incl     Total nitrogen   0.052%   0.8%     Total carbon   0.362%     carbon:nitrogen ratio   6.9     organic matter based on carbon   0.72%     moisture content of soil   2.5%	toxic over 800				25.2	3.4
Increasing problems start at 3   SAR	toxic over 1 for many	nlants	SERVICE OF THE SERVIC		0.26	Although the
est. gypsum requirement-lbs./1000 sq. ft.         38           calculated infiltration rate inches/hour         0.68           soil texture         sandy loam         gravel > 2 mm           sand         61.0%         9.8%           silt         21.9%         gravel > 1/4 incl           clay         17.1%         2.1%           lime (calcium carbonate)         no gravel > 1/2 incl           Total nitrogen         0.052%         0.8%           Total carbon         0.362%           carbon:nitrogen ratio         6.9           organic matter based on carbon         0.72%           moisture content of soil         2.5%		-	awatan sa		1-5-0-5-0-5-0-5-0-5-0-5-0-5-0-5-0-5-0-5-	
calculated infiltration rate inches/hour0.68soil texturesandy loamgravel > 2 mmsand61.0%9.8%silt21.9%gravel > 1/4 inclclay17.1%2.1%lime (calcium carbonate)nogravel > 1/2 inclTotal nitrogen0.052%0.8%Total carbon0.362%carbon:nitrogen ratio6.9organic matter based on carbon0.72%moisture content of soil2.5%						
soil texture         sandy loam         gravel > 2 mm           sand         61.0%         9.8%           silt         21.9%         gravel > 1/4 incl           clay         17.1%         2.1%           lime (calcium carbonate)         no gravel > 1/2 incl           Total nitrogen         0.052%         0.8%           Total carbon         0.362%           carbon:nitrogen ratio         6.9           organic matter based on carbon         0.72%           moisture content of soil         2.5%			-	s/hour		
sand61.0%9.8%silt21.9%gravel > 1/4 inclclay17.1%2.1%lime (calcium carbonate)nogravel > 1/2 inclTotal nitrogen0.052%0.8%Total carbon0.362%carbon:nitrogen ratio6.9organic matter based on carbon0.72%moisture content of soil2.5%					733105 E-	
clay17.1%2.1%lime (calcium carbonate)nogravel > 1/2 inclTotal nitrogen0.052%0.8%Total carbon0.362%carbon:nitrogen ratio6.9organic matter based on carbon0.72%moisture content of soil2.5%		sand				
lime (calcium carbonate)nogravel > 1/2 inclTotal nitrogen0.052%0.8%Total carbon0.362%carbon:nitrogen ratio6.9organic matter based on carbon0.72%moisture content of soil2.5%		silt			21.9%	gravel > 1/4 inch
Total nitrogen 0.052% 0.8%  Total carbon 0.362%  carbon:nitrogen ratio 6.9  organic matter based on carbon 0.72%  moisture content of soil 2.5%		• •			17.1%	AND THE PROPERTY OF THE PROPER
Total carbon 0.362% carbon:nitrogen ratio 6.9 organic matter based on carbon 0.72% moisture content of soil 2.5%			•			
carbon:nitrogen ratio 6.9 organic matter based on carbon moisture content of soil 2.5%			n		5-282708 00000761270	( 0.01 ( 0.00 (
organic matter based on carbon moisture content of soil  0.72% 2.5%					132-3430	
moisture content of soil 2.5%						
			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			
nan saturation detectives 10.470						
Elements are expressed as mg/kg dry soil or mg/l for saturation extract.			1	turation suf	DESCRIPTION	

WALLACE LABORATORIES, LLC

365 Coral Circle El Segundo, CA 90245 phone (310) 615-0116 fax (310) 640-6863

June 7, 2019

Michael Savage, savagelanddesign@att.net Michael Savage Land Design 2651 E. Chapman Avenue, Suite 110 Fullerton, CA 92831

> RE: Soil Management Report for 1953 Preuss Road, Los Angeles Our ID No. 19-157-03, received June 5, 2019

Dear Michael,

The soil pH is moderately alkaline at 7.77. The salinity is modest at 0.49 millimho/cm.

Nitrogen and sulfur are low. Phosphorus, iron, manganese, zinc, copper and magnesium are high. Potassium and boron are moderate. Sodium is moderate. SAR (sodium adsorption ratio) is 2.2. The concentrations of common non-essential heavy metals are

The texture is sandy loam. Based on the non-gravel fraction, it contains 61.0% sand, 21.9% silt and 17.1% clay. The gravel content is 9.8%.

Soil organic matter is low at 0.72% on a dry weight basis. The carbon:nitrogen ratio is

The estimated rate of water percolation based on Soil Water Characteristics version 6.02.74 model developed by Keith Saxton of the USDA is moderately slow 0.68 inches per hour for normal soil compaction. The model is based on the soil texture, percent gravel and percent soil organic matter.

#### Recommendations

General soil preparation on a square foot basis. Broadcast the following uniformly; rates are per 1,000 square feet for a 6-inch lift. Incorporate them homogeneously 6" deep.

Ammonium sulfate (21-0-0) - 5 pounds Potassium sulfate (0-0-50) - 8 pounds agricultural gypsum - 20 pounds Organic soil amendment - about 4 cubic yards, sufficient for 3% to 5% soil organic matter on a dry weight basis

Soil Analyses Plant Analyses Water Analyses

Michael Savage Land Design, June 7, 2019, page 2

For the preparation on a volume basis, homogeneously blend the following materials into the soil. Rates are expressed per cubic yard:

Ammonium sulfate (21-0-0) -1/4 pound Potassium sulfate (0-0-50) - 1/3 pound agricultural gypsum – 1 pound Organic soil amendment - about 20% by volume, sufficient for 3% to 5% soil organic

Organic soil amendment:

matter on a dry weight basis

- 1. Humus material shall have an acid-soluble ash content of no less than 6% and no more than 20%. Organic matter shall be at least 50% on a dry weight basis.
- 2. The pH of the material shall be between 6 and 7.5.
- 3. The salt content shall be less than 10 millimho/cm @ 25° C. on a saturated paste
- 4. Boron content of the saturated extract shall be less than 1.0 part per million.
- 5. Silicon content (acid-insoluble ash) shall be less than 50%.
- 6. Calcium carbonate shall not be present if to be applied on alkaline soils. 7. Types of acceptable products are composts, manures, mushroom composts, straw, alfalfa, peat mosses etc. low in salts, low in heavy metals, free from weed seeds, free of pathogens and other deleterious materials.
- 8. Composted wood products are conditionally acceptable [stable humus must be present]. Wood based products are not acceptable which are based on red wood or
- 9. Sludge-based materials are not acceptable.
- 10. Carbon:nitrogen ratio is less than 25:1.
- 11. The compost shall be aerobic without malodorous presence of decomposition
- 12. The maximum particle size shall be 0.5 inch, 80% or more shall pass a No. 4 screen for soil amending.

Maximum total permissible pollutant concentrations in amendment in parts per million on a dry weight basis:

arsenic	12	copper	100	selenium	20
cadmiu	ım 15	lead	200	silver	10
chrom	ium 200	mercury	5	vanadium	50
cobalt	30	molybdenum	20	zinc	200
		nickel	100		

Higher amounts of salinity or boron may be present if the soils are to be preleached to reduce the excess or if the plant species will tolerate the salinity and/or boron.

Soil Analyses Plant Analyses Water Analyses

Soil Analyses Plant Analyses Water Analyses

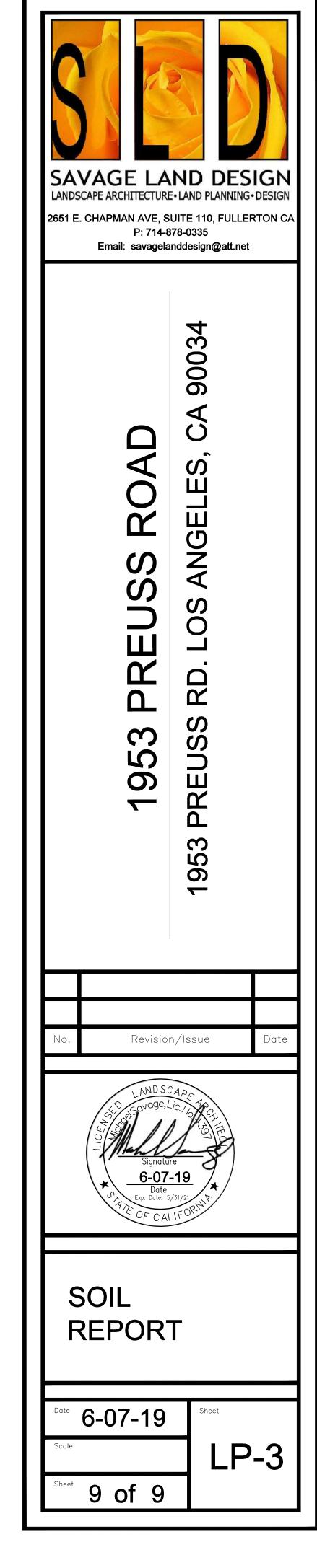
Michael Savage Land Design, June 7, 2019, page 3

For site maintenance, apply ammonium sulfate (21-0-0) at 5 pounds per 1,000 square feet about once per quarter.

Monitor the site with periodic soil testing. Adjust the maintenance program as needed.

Sincerely,

Garn A. Wallace, Ph. D. GAW:n







Martin Epstein President

Ken Blaker Vice-President

Jon Liberman Treasurer

Vacant Secretary

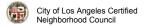
Charlie Stein
Corresponding Secretary

#### South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920 F: (310) 295-9906 E: info@soronc.org

soronc.org



# Motion to support revised application for hotel project at 1434-1456 S Robertson Blvd

Agenda Item: To be filled in by Exec Committee

**Date:** June 18, 2020

Proposed By: Land Use Committee

Include motion in No Consent Agenda?

#### **Background**

The project representative first presented a version of this proposed hotel project at 1434-1450 S Robertson Blvd to the Land Use Committee on April 04, 2017, who voted 7-Y to 1-N to recommend the General Board support the project. The General Board then voted to submit a letter of support for the project at their April 20, 2017 meeting, with a vote of 16-Y, 0-N, 0-A.

Since then, the project owner acquired an additional adjacent property at 1456 S Robertson Blvd and revised the project application accordingly. The project was revised from a 6-story, 112-guest-room hotel with 73 parking spaces to a 7-story, 136-guest-room hotel with 77 parking spaces. The project representative presented this revised project to the Land Use Committee at their February 04, 2020 meeting. The committee was pleased to see that the revised project incorporated many of the committee's and community's critiques of the original project, including a coffee shop that is open to the community, increased landscaping along Robertson Blvd, and relocating vehicle drop-off/pick-up circulation away from the street frontage. The committee voted 8-Y, 0-N, 0-A to recommend the General Board support the project.

The requested entitlements include a zone change from C2-1-O to RAS4-1-O, a Conditional Use Permit to allow a hotel within 500 feet of an R zone, and Site Plan Review for a development in excess of 50,000 square feet of non-residential floor area. The subject property is 26,271 square feet with no height limit.

#### **Proposed Motion**

Submit a letter in support of the project to City Planner Oliver Netburn (oliver.netburn@lacity.org) to be included in case file for the hotel project at 1434-1456S Robertson Blvd; CPC-2019-7522-VZC-CU-SPR; ENV-2019-7523-EAF.

#### Considerations

**Committee review:** Votes For: 8 Against: 0 (highly recommended)

#### **Arguments for:**

The zone change (and subsequent increased FAR) permits the building to utilize a larger footprint, thereby allowing the building's program to fit in fewer stories.

#### Arguments against:

The existing commercial and apartment buildings will be demolished. Tenants will be displaced.





The neighborhood is in need of a reasonably-priced hotel option.

<sup>&</sup>lt;sup>i</sup> Supporting Documents/Drawings: https://www.dropbox.com/sh/g6j4rhp6z9ndv3y/AAB7R2ISuqpl1oN7oF3whg7\_a?dl=0





Oliver Netburn Department of City Planning 200 N. Spring Street Los Angeles, CA 90012

19 June 2020

Re: Case Number CPC-2019-7522-VZC-CU-SPR

Dear Mr. Netburn:

I am writing on behalf of the South Robertson Neighborhoods Council ("SORO NC") to comment on the proposed hotel project at 1434-1456 S Robertson Blvd.

At a duly-noticed meeting of the General Board on June 18, 2020, SORO NC voted 00 yes / 00 no / 00 abstain to recommend that the applicant's project be approved. The addition of a reasonably-priced hotel in this neighborhood is much needed and the zone change would allow the project to utilize a larger footprint, thereby reducing the number of stories necessary to house the building's program. Additionally, SORO NC is pleased to note that the revised project incorporates many of the Land Use Committee's and community's critiques of the original project, including a coffee shop that is open to the community, increased landscaping along Robertson Blvd, and relocating vehicle drop-off/pick-up circulation away from the street frontage.

Please do not hesitate to contact me if you have any questions about this comment letter.

Sincerely,

Martin Epstein
President, South Robertson Neighborhoods Council

Cc: Jordan Beroukhim, Office of Council Member Herb Wesson Krystal Návar, SORO NC Land Use Committee Chair

Martin Epstein President

Ken Blaker Vice-President

Jon Liberman

Vacant Secretary

Charlie Stein Corresponding Secretary

South Robertson Neighborhoods Council

PO Box 35836 Los Angeles, CA 90035

P: (310) 295-9920 F: (310) 295-9906 E: info@soronc.org

soronc.org



#### **Developer Guidelines**

Requested SORO NC Land Use Committee meeting date

Tuesday, February 4, 2020

**Project information** 

Planning case number CPC-2019-7522 VZC

City hearing date Tuesday, February 4, 2020

Project name Sinan Sinanian

**Project address** 1434-1450 S Robertson Blvd

Los Angeles, 90035

**Contact information** 

Information for Owner

Name Eric Liberman

Address 18980 Ventura Blvd. # 200

Tarzana, CA, 91356

**Phone number** (818) 996-9666

Email ericl@qesqms.com

Representative of the Applicant

Representative name Eric Liberman

**Address** 14549 Archwood St

Los Angeles, CA, 91405

**Phone number** (818) 997-8033

Email qesadmin@qesqms.com

**Project background** 

1. Description of what is being requested of this Committee that is not "by right"

This project was approved by the SORO NHC on 04/20/2017. This is to present updates and revisions in design.

2. Description of project

a. Size of property 26271

**b. Size of proposed building(s)** 7880

**3. Proposed use of property**7- Story hotel 68 feet in height with 136 guest rooms and 77 parking spaces over one level of subterranean parking.

4. Describe the community benefit from your proposed use of the property

the neighborhood is in need of a reasonable priced hotel options.

5. Parking spaces

a. Currently on property 0

**b. Required by code** 71

c. Breakdown of the actual spaces

6. Trash enclosure and loading dock

a. Trash enclosure Yes

b. Loading dock

Additional notes on trash and loading Trash enclosure off the alley.

7. Have you provided any additional amenities we should know about to offset requested discretionary approvals affects on adjacent neighbors and/or the SORO community?

N/A

#### 8. Outreach

For discretionary approval, SORO requires, *prior* to this meeting, your notification of neighbors within a 500 foot radius of the project. You must also notify us of the results of sign-offs by neighbors within this 500 foot radius.

9. Name and ID of all environmental or planning documents prepared to support this project. Click the + sign to add more lines.

Name	ID	Link (if available)
	2019-7523 EAF	

#### 10. Additional comments

This project was approved by the SORO NHC on 04/20/2017. This is to present updates and revisions in design.



#### APPLICATIONS:

#### DEPARTMENT OF CITY PLANNING APPLICATION

-	
	CPC 2019-7522-VZC-CU-SPR
Ca	ise Number
En	ev. Case Number ENV 2019 - 7523 - EAF
An	plication Type Vesting Zone Change, Conditional Use Gite Plan Periew
288	K:Y A -1
Ca	se Filed With (Print Name) H + AWAKUNI Date Filed [2-11-19]
Ap	plication includes letter requesting:
	Waived hearing
	Provide all information requested. Missing, incomplete or inconsistent information will cause delays.  All terms in this document are applicable to the singular as well as the plural forms of such terms.  Detailed filing instructions are found on form CP-7810
1.	PROJECT LOCATION
	Street Address <sup>1</sup> 1434 - 1456 S. Robertson Blvd. Unit/Space Number
	Legal Description <sup>2</sup> (Lot, Block, Tract) Lot 14,15,16,17,18,19 and 20Tract 6721
	Assessor Parcel Number 4303-001-009,010,011,014 and 039 Total Lot Area 26,271 sf
2.	PROJECT DESCRIPTION
	Present Use Commercial and Residential
	Proposed Use Development of a Hotel with 136 guest rooms and 77 parking spaces
	Project Name (if applicable) 1434 - 1456 S. Robertson Blvd
	Describe in detail the characteristics, scope and/or operation of the proposed project 7 story hotel
	containing 136 rooms 77 parking spaces over one level of subterranean parking.
	Additional information attached
	Complete and check all that apply:
	Existing Site Conditions
	☐ Site is undeveloped or unimproved (i.e. vacant) ☐ Site is located within 500 feet of a freeway or railroad
	Site has existing buildings (provide copies of building permits)  Site is located within 500 feet of a sensitive use (e.g. school, park)

<sup>&</sup>lt;sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)
<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)



#### APPLICATIONS:

#### **DEPARTMENT OF CITY PLANNING APPLICATION**

	THIS BOX FOR CITY PLANNING STAFF USE ONLY
Ca	ase Number
Er	nv. Case Number
Ar	oplication Type
	ase Filed With (Print Name)  Date Filed
-	
	Waived hearing
	Provide all information requested. Missing, incomplete or inconsistent information will cause delays.  All terms in this document are applicable to the singular as well as the plural forms of such terms.  Detailed filing instructions are found on form CP-7810
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	Street Address <sup>1</sup> 1434 - 1456 S. Robertson Blvd. Unit/Space Number
	Legal Description <sup>2</sup> (Lot, Block, Tract) Lot 14,15,16,17,18,19 and 20Tract 6721
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	Proposed Use Development of a Hotel with 136 guest rooms and 77 parking spaces
	Project Name (if applicable) 1434 - 1456 S. Robertson Blvd
	Describe in detail the characteristics, scope and/or operation of the proposed project 7 story hotel
	containing 136 rooms 77 parking spaces over one level of subterranean parking.
	Additional information attached
	Complete and check all that apply:
	Existing Site Conditions
	☐ Site is undeveloped or unimproved (i.e. vacant) ☐ Site is located within 500 feet of a freeway or railroad
	☐ Site has existing buildings (provide copies of building permits) ☐ Site is located within 500 feet of a sensitive use (e.g. school, park)

<sup>&</sup>lt;sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)
<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

☐ Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)	☐ Site has special designation (e.g. National Historic Register, Survey LA)
Proposed Project Information	☐ Removal of protected trees on site or in the
(Check all that apply or could apply)	public right of way
□ Demolition of existing buildings/structures	☑ New construction:78,800square feet
☐ Relocation of existing buildings/structures	☐ Accessory use (fence, sign, wireless, carport, etc.)
☐ Interior tenant improvement	☐ Exterior renovation or alteration
☐ Additions to existing buildings	☐ Change of use <u>and/or</u> hours of operation
☐ Grading	☐ Haul Route
☐ Removal of any on-site tree	☐ Uses or structures in public right-of-way
☐ Removal of any street tree	☐ Phased project
Housing Component Information  Number of Residential Units: Existing 10 – Dem	nolish(ed) <sup>3</sup> 10 + Adding 0 = Total 0
Number of Affordable Units <sup>4</sup> Existing 0 – Dem	nolish(ed) 0 + Adding 0 = Total 0
Number of Market Rate Units Existing 10 - Dem	nolish(ed)10 + Adding0 = Total0
Mixed Use Projects, Amount of Non-Residential Floor Area:	square feet
Public Right-of-Way Information  Have you submitted the Planning Case Referral Form to BO Is your project required to dedicate land to the public right-of If so, what is/are your dedication requirement(s)?  If you have dedication requirements on multiple streets, plean	f-way? ☑ YES □ NO ft.
ACTION(S) REQUESTED	
Provide the Los Angeles Municipal Code (LAMC) Section th Section or the Specific Plan/Overlay Section from which relief is	
Does the project include Multiple Approval Requests per LAM	C 12.36?
Authorizing Code Section 12.32 Legislative Actions	
Code Section from which relief is requested (if any):	
Action Requested, Narrative: A Vesting Zone Change from C2	2-1-O to RAS4-1-O
Authorizing Code Section 12.24 W.24	
Code Section from which relief is requested (if any):	
Action Requested, Narrative: A Conditional Use Permit to allow	w a Hotel within 500 feet of an R zone.
Additional Requests Attached   YES   NO	

3.

Number of units to be demolished and/or which have been demolished within the last five (5) years.
 As determined by the Housing and Community Investment Department

	RELATED DEPARTMENT OF CITY PLANNING CASES  Are there previous or pending cases/decisions/environmental clearances on the project site?   YES  NO  If YES, list all case number(s)						
	the application/project is directly related tomplete/check all that apply (provide copy).	o one of the above cases, list the pertinent cas	e numbers b	elow an			
(	Case No.	Ordinance No.:					
[	☐ Condition compliance review	☐ Clarification of Q (Qualified) classified	cation				
[	☐ Modification of conditions	☐ Clarification of D (Development Lim	itations) class	sification			
[	☐ Revision of approved plans	☐ Amendment to T (Tentative) classifi					
	☐ Renewal of entitlement						
	☐ Plan Approval subsequent to Master Con	ditional Use					
Fo	or purposes of environmental (CEQA) analy	sis, is there intent to develop a larger project?	☐ YES	□ NO			
	ave you filed, or is there intent to file, a Sub		☐ YES	□ NO			
		er parts of the projects or the larger project below, w					
	ed with the City:	,					
To	ELATED DOCUMENTS / REFERRALS  To help assigned staff coordinate with other E  Copy of any applicable form and reference r	epartments that may have a role in the proposed pumber if known.	oroject, pleas	e provide			
a.	Specialized Requirement Form CUP / Site	e Plan Review					
b.	Geographic Project Planning Referral Yes						
C.	Citywide Design Guidelines Compliance I	Review Form Yes					
d.	Affordable Housing Referral Form NA						
e.	ALA						
f.	Unpermitted Dwelling Unit (UDU) Inter-Ag	ency Referral Form NA					
g.	HPOZ Authorization Form NA						
h.	Management Team Authorization NA						
i.	Expedite Fee Agreement Yes						
j.	Department of Transportation (DOT) Refe	rral Form Yes					
k.	(80) (100) (	se Referral Form (PCRF) Yes					
I.	25, 2006-21						
m.	Building Permits and Certificates of Occup	eancy NA					
n.	Hillside Referral Form NA						
0.	Low Impact Development (LID) Referral F						
р	Proof of Filing with the Housing and Comr						
q.	Are there any recorded Covenants, affiday	its or easements on this property?   ☐ YES (pi	rovide copy)	☑ NO			

PROJECT T	EAM INFORMATION (Complete all app	olicable field	ds)	
Applicant <sup>5</sup>	name Sinan Sinanian			
Company/F	Firm Sinanian Development Inc.			
Address:	18980 Ventura Blvd. Ste. #200			Unit/Space Number
City	Tarzana		State CA	Zip Code: 91356
Telephone	818-996-9666		E-mail: sinan@:	sinanian.com
Are you in	escrow to purchase the subject pro	perty?	☐ YES	□ NO
Property C	Owner of Record	s applicant	☑ Differe	nt from applicant
Name (if di	fferent from applicant) Harkham F	amily Ente	rprises (Dan Harkh	nam)
Address	1006 North Crescent Drive			Unit/Space Number
City	Beverly Hills		State CA	Zip Code: 90210
Telephone	(323) 586-4600		E-mail: djharkha	m@me.com
Address:	irm QES, Inc. 14549 Archwood Street			Unit/Space Number 308
Address:				Unit/Space Number 308
City	Van Nuys			Zip: <u>91405</u>
Telephone	818-997-8033		_ E-mail: EricL@qe	esqms.com
Other (Spe	cify Architect, Engineer, CEQA Cor	nsultant etc	.) Architect	
Name Aran	n Alajajian			
Company/F	irm Alajajian Marcoosi Architects, Ind	С.		
Address:	320 W. Arden Ave			Unit/Space Number 120
City	Glendale		State CA	Zip Code: 91203
Telephone	818-244-5130		E-mail:_aram@a	amaincs.com
				-
	Primary Contact for Project Information			☐ Applicant
(select only	y <u>one</u> )		/Representative	
				=
				7

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

<sup>&</sup>lt;sup>5</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

#### PROPERTY OWNER

- 7. PROPERTY OWNER AFFIDAVIT. Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.
  - Ownership Disclosure. If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
  - Letter of Authorization (LOA). A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
  - Grant Deed. Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
  - Multiple Owners. If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
  - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
  - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
  - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
  - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Property Owner's signatures must be signed/notarized in the presence of a Notary Public. The City requires an original signature from the property owner with the "wet" notary stamp. A Notary Acknowledgement is available for your convenience on following page.

Signature	Date
Print Name Dan Hankliam	
Signature	Date
Print Name	

#### Space Below For Notary's Use

the
who
ithir tha ted
and
\ i

California All-Purpose Acknowledgement

Civil Code ' 1189

#### **APPLICANT**

- 8. APPLICANT DECLARATION. A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
  - a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
  - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
  - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
  - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
  - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
  - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
  - g. I understand that if this application is denied, there is no refund of fees paid.
  - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
  - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The Oily requires an original signature from the applicant.	the applicant's signature below does not need to be notarized.
Am and '	17/10/19
Signature: Somming	Date: /2/10/19
Print Name: STNAN SINANIA	AN .

#### **OPTIONAL**

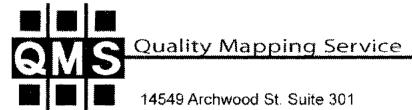
#### **NEIGHBORHOOD CONTACT SHEET**

 SIGNATURES of adjoining or neighboring property owners in support of the request are <u>not required</u> but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY#ONMAP
			INET WORKING
	4	1	N I
			7
			1
			1
			1
	1		
	1	1	
			11



# **VESTING TENTATIVE TRACT #74677**



Van Nuys, California 91405 Phone (818) 997-7949 - Fax (818) 997-0351 qmapping@qesqms.com

**THOMAS BROTHERS** Page: 632 Grid: J4

LEGAL **LOT:** 14 - 19 **TRACT:** 6721

M B 71-21

4303-001-(009-011,039) SITE ADDRESS: 1434-1450 S. ROBERTSON BLVD.

ASSESSOR PARCEL NUMBER:

**CD:** 05 **CT:** 2170.02 **CASE NO: SCALE:** 1'' = 100'

PA: 106 WILSHIRE **D.M.:** 129B169

**USES:** FIELD

**PHONE:** 818-997-8033

**DATE:** 02-28-17 Update: \_\_\_

NORTH

QMS: 17-091 NET AC: 0.52 =

DRAWN BY:

**CONTACT:** QES, INC

#### **Notice of Public Meeting**

The South Robertson Neighborhoods Council will conduct a public meeting to review the application below. You are invited to attend and provide comment.

South Robertson Neighborhoods Council Land Use and Economic Development Committee Meeting Tuesday, February 04, 2020 @ 7:00 pm Simon Wiesenthal Center 1399 Roxbury Dr., 3rd Floor Los Angeles, CA 90035

**Applicant: Sinanian Development, LLC** 

Property Address: 1434 – 1450 S. Robertson Blvd.

**Applicant's Request:** For the construction, use and maintenance of a boutique hotel 68 feet in height with 136 guest rooms and 77 parking spaces (63 required spaces) located on the ground floor and in a subterranean garage, the following entitlements are requested:

- Pursuant to LAMC Section 12.32 a Vesting Zone Change from C2-1-O to RAS4-1-O.
- Pursuant to LAMC Section 12.24 W. a **Conditional Use Permit** to allow a Hotel within 500 feet of an R zone.
- Pursuant to LAMC Section 16.05 **Site Plan Review** for a development project in excess of 50,000 square feet of non-residential floor area.

The South Robertson Neighborhoods Council is an advisory board to the Los Angeles City Council and was established to enable the Stakeholders of the South Robertson Community Council area to be informed of and play an active role in the governmental decision-making process affecting this community.

The South Robertson Neighborhoods Council is the certified Neighborhood Council and its boundaries are Beverly Hills on the north; Le Doux Ave, Olympic Blvd., and La Cienega Blvd. on the east; 10 Freeway, Exposition Blvd., Robertson Blvd., and Culver City on the south; and Beverly Hills, Pico Blvd., Motor Ave., and National Blvd. on the west.

For SORONC boundary map and more information, please visit www.soronc.org.



# Certificate of Bulk Mailing - Domestic

Mailed For  NO I MEETING QES INC  Postmaster's Certification  It is hereby certified that the number of malipieces presented and the associated pastage and file were verified. This certificate does not provide evidence that a piece was mailed to a particular address.  PS corm 3606-D January 2016 PSN 7530-17-000-5548	Number of Identical Weight Pieces of Mail Postage for Pieces to the Pieces of Mail Postage Paid Pounds 13.15  Total Number of Pounds 13.15  Fee Paid Fee Pai	For each additional 1,000 pieces, or fraction thereof (Notice 123)  Duplicate Copy	Fee for Certificate  Up to 1,000 pieces (1 certificate for total number)  Ourrent  Drice List	POSIAL SERVICE®
TOREVER / USA FOREVER / USA FO	Postal Dy Transaction Number have:  FORE VER / DSA FOREVER/ USA FOREVER	Acceptance employee must cancel postage affixed (by round-date) at the time of mailing.  If payment of total fee due is being	Postage: Mallers must affix meter, PC Postage or (uncanceled) postage stamps here in payme of total fee due.	SHIIDIA VIDO DOSHII ISA
ER / USA FOREVER / USA See Reverse for Instructions  USPS	POREVER / USA	AN AUAS, CABIMEUS,		

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#### ARCHITECTURAL:

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#### LANDSCAPE:

SCHEMATIC LANDSCAPE PLAN SCHEMATIC LANDSCAPE PLAN

# PROJECT SUMMARY

SCOPE OF WORK

SEVEN STORY, 136 ROOM, HOTEL OVER ONE LEVEL OF

SUBTERRANEAN GARAGE.

SITE AREA

FIRST FLOOR

THIRD FLOOR

FIFTH FLOOR

SIXTH FLOOR

F.A.R.:

SEVENTH FLOOR

TOTAL FLOOR AREA

LANDSCAPE AREA

SUBTERRANEAN GARAGE

OUTDOOR POOL / DECK AREA

COMMERCIAL AREA (RETAIL):

ASSESSOR NUMBER: 4303001009

FOR MISSING PORTION ... LOT 17

LEGAL DESCRIPTION

TRACT # 6721 LOTS 14 AND 15 AND LOT COM

AT SW COR OF LOT 16 TH N 7¢03'10" E 30 FT

TH S 77¢02'50" E 125 FT TH S 7¢03'10" W 30 FT

TH N 77¢02'50" W 51 FT TH N ... SEE MAPBOOK

SECOND FLOOR

FOURTH FLOOR

III-A SPRINKLERED THROUGHOUT TYPE OF CONSTRUCTION: (HOTEL AND BASEMENT GARAGE)

26,271 SQ.FT.

- 8,700 SQ.FT.

- 10,100 SQ.FT.

- 12,000 SQ.FT

- 12,000 SQ.FT.

- 12,000 SQ.FT.

- 12,000 SQ.FT

- 12,000 SQ.FT.

- 78,800 SQ.FT.

- 23,750 SQ.FT.

- 4,200 SQ.FT.

945 SQ. FT.

78,800 / 26,271 = 3.0

4,130 / 26,271 = 15.6%

C2-1-O **EXISTING ZONING** RAS4-1-0 PROVIDED ZONING OCCUPANCY GROUP: STORIES: 84'-0" **BUILDING HEIGHT:** 

**BUILDING AREA SUMMARY** 

PARKING ANALYSIS

1ST 30 ROOMS - 1 PARKING SPACE PER ROOM 30 SPACES 15 SPACES 2ND 30 ROOMS - 1 PARKING SPACE EVERY 2 ROOM AFTER 60 ROOMS - 1 PARKING SPACE EVERY 3 ROOMS 26 SPACES TOTAL PARKING SPACE REQUIRED FOR HOTEL 71 SPACES

PARKING SPACE PROVIDED - 77 SPACES (5% = 4 EV STALLS IS INCLUDED

IN THE UNDERGROUND LEVEL PARKING COUNT)

- 66 SPACES SUBTERRANEAN LEVEL - 11 SPACES SURFACE PARKING

# REQUIRED BICYCLE PARKING = 12 SPACES

SHORT TERM	LONG TERM
1 PER 20 GUEST ROOMS	1 PER 20 GUEST ROOMS
119/20=5.95 REQUIRED	119/20=5.95 REQUIRED
PROPOSED BICYCLE PARKIN	NG = 12 SPACES
SHORT TERM	LONG TERM
6	6
1ST FLOOR OUTDOOR SEATING AREA:	1,590 SQ. F.T

TOT I LOOK OUTDOOK OLATING AKLA.	1,000 00.1.1

2ND FLOOR (POOL DECK )	OPEN SPACE AREA SUMMARY
SWIMMING POOL AREA:	375 SQ. FT. (INCLUDED INTO OPEN SPACE AREA)
LANDSCAPE AREA:	2,240 SQ. FT. = 2,240 / 5,060 = 44.2%
OUTDOOR SITTING AREA:	2,275 SQ. FT.
TOTAL OPEN SPACE AREA:	5,060 SQ. FT.

**SETBACK TABLE** 

NORTH SETBACK: MIN 10'-0",

SOUTH SETBACK: MIN 9'-6",

EAST SETBACK: MIN 15'-0",

WEST SETBACK: MIN 12'-4", MAX 12-4"

# **VICINITY MAP**

Machines

h Hebrew

Academy

0

MAX 12'-3"

MAX 12'-9"

MAX 15'-0",

1434 South

Universal Reprographics

MaglQ Room

(C) Karen Michelle Boutique

O Y / Destiny Candle

Salon 1462

Robertson Boulevard

1434-1450 S. ROBERTSON BLVD.

LOS ANGELES, CA

320 W. ARDEN AVENUE, SUITE 120 GLENDALE, CA 91203 TEL: (818) 244-5130 FAX: (818) 551-1613 E-MAIL: ARAMAR@ATT.NET

#### LANDSCAPE ARCHITECT

COURTLAND STUDIO 505 E COLORADO BLVD. MEZZ C PASADENA, CA 91101 T: (818) 788-9382 F: (818) 788-3217

#### **SURVEYOR**

BRYAN GENTRY, L.S. 6345 GENTRY SURVEYING CO. 255 E. EASY ST., UNIT B SIMI VALLEY, CA. 93065

# **CONSULTANTS**

## **ARCHITECT**

ALAJAJIAN-MARCOOSI ARCHITECTS INC.

TEL: (805) 527-5299 FAX: (805) 527-2349

	SUBTERRANEAN GARAGE	FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		FOURTH FLOOR		FIFTH FLOOR		SIXTH FLOOR		SEVENTH FLOOR	
FLOOR AREA	23,750 SQ. FT	8,700 SQ. FT		12,000 SQ. FT		10,500 SQ. FT		10,500 SQ. FT		10,500 SQ. FT		10,500 SQ. FT		10,500 SQ. FT	
	ROOM DESCRIPTION	ROOM DESCRIPTION		ROOM DESCRIPTION		GUEST ROOM TYPE # OF	GR	GUEST ROOM TYPE # 0	OF GR	GUEST ROOM TYPE	#OF GR	GUEST ROOM TYP	E #OF GR	GUEST ROOM TYPE	# OF GR
	ELECTRICAL ROOM MECHANICAL ROOM ELECTRIC VOLT MACHINE ROOM LONG TERM BICYCLE ELEVATOR LOBBY ELEVATOR STAIRS	<ul> <li>1 LOBBY</li> <li>1 MEETING ROOM</li> <li>1 RESTROOM</li> <li>1 RECEPTION</li> <li>1 BAGGAGE HOLD</li> <li>1 OFFICE</li> <li>2 RETAIL SPACE</li> <li>2 BREAKFAST AREA</li> <li>HOUSE KEEPING</li> </ul>	1 1 2 1 1 2 1	RESTROOM LAUNDRY HOUSEKEEPING GM OFFICE STORAGE SERVER STAIRS MEETING ROOMS RESTROOMS	1 1 1 1 1 2 2 2	SWIMMING POOL POOL EQUIPMENT FITNESS HOUSE KEEPING STORAGE RESTROOM STAIRS ELEVATORS	1 1 1 2 2 2	HOUSE KEEPING STAIRS ELEVATORS	1 2 2	HOUSE KEEPING STAIRS ELEVATORS	1 2 2	HOUSE KEEPING STAIRS ELEVATORS	1 2 2	HOUSE KEEPING STAIRS ELEVATORS	1 2 2
TOTAL GUEST ROOMS				GR QQ GR ADA K	11 3	GR K UNIT GE ADA K	16 3 3 22	GR QQ UNIT GR K UNIT GE ADA K	19 3 3	GR QQ UNIT GR K UNIT GE ADA K	19 3 3	GR QQ UNIT GR K UNIT GE ADA K	19 3 3 25	GR QQ UNIT GR K UNIT GE ADA K	19 3 3

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HOTEL



#### Alajajian Marcoosi Architects Inc. 320 W. Arden Ave.

Glendale, CA 91203 Phone: (818) 244-5130 Fax: (818) 551-1613 E-mail: aramar@worldnet.att.net

# SINANIAN DEVELOPMENT

Project Name: HOTEL

1434-1450 S. ROBERTSON BLVD LOS ANGELES, CA

# **COVER** SHEET

Scale: N/A

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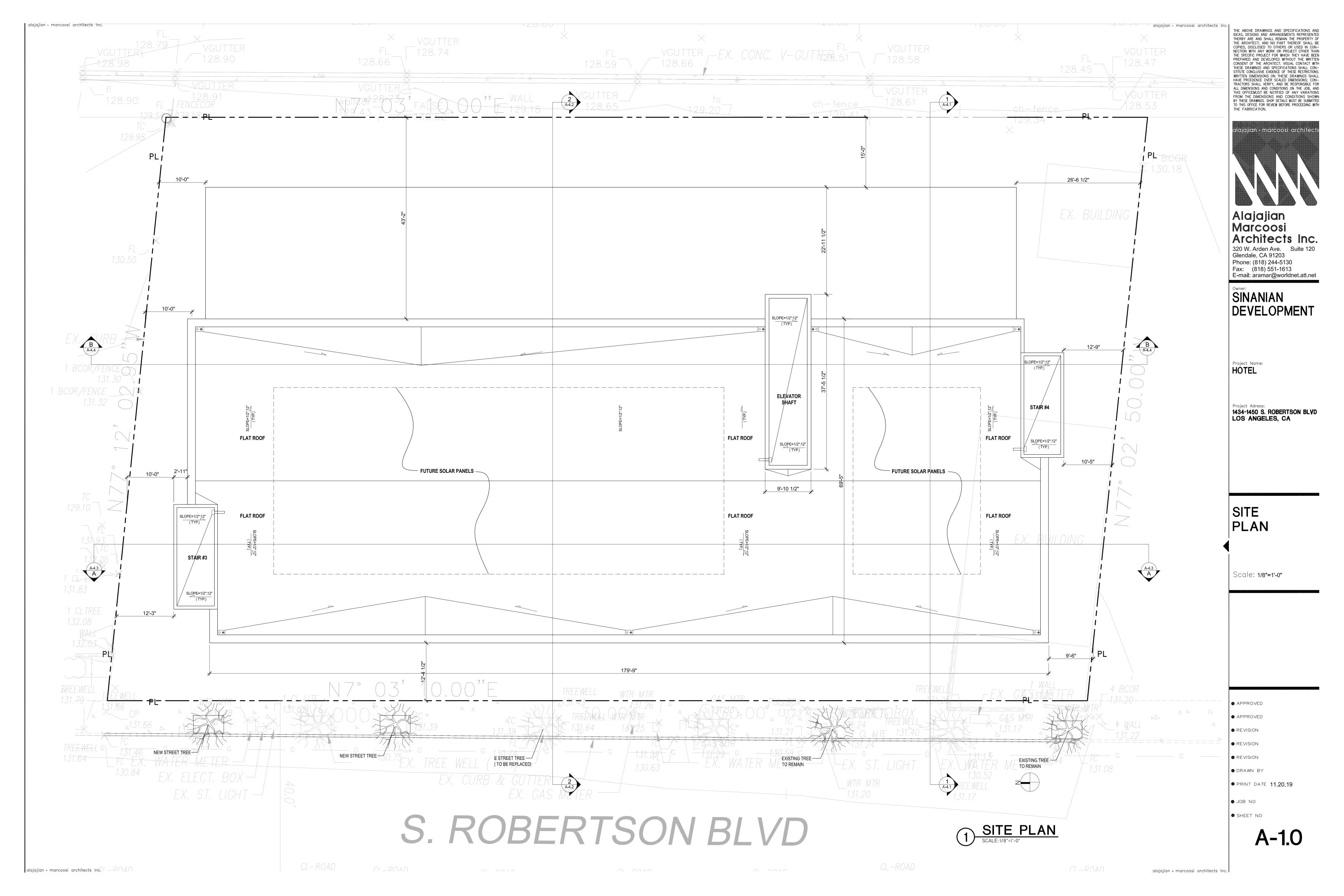
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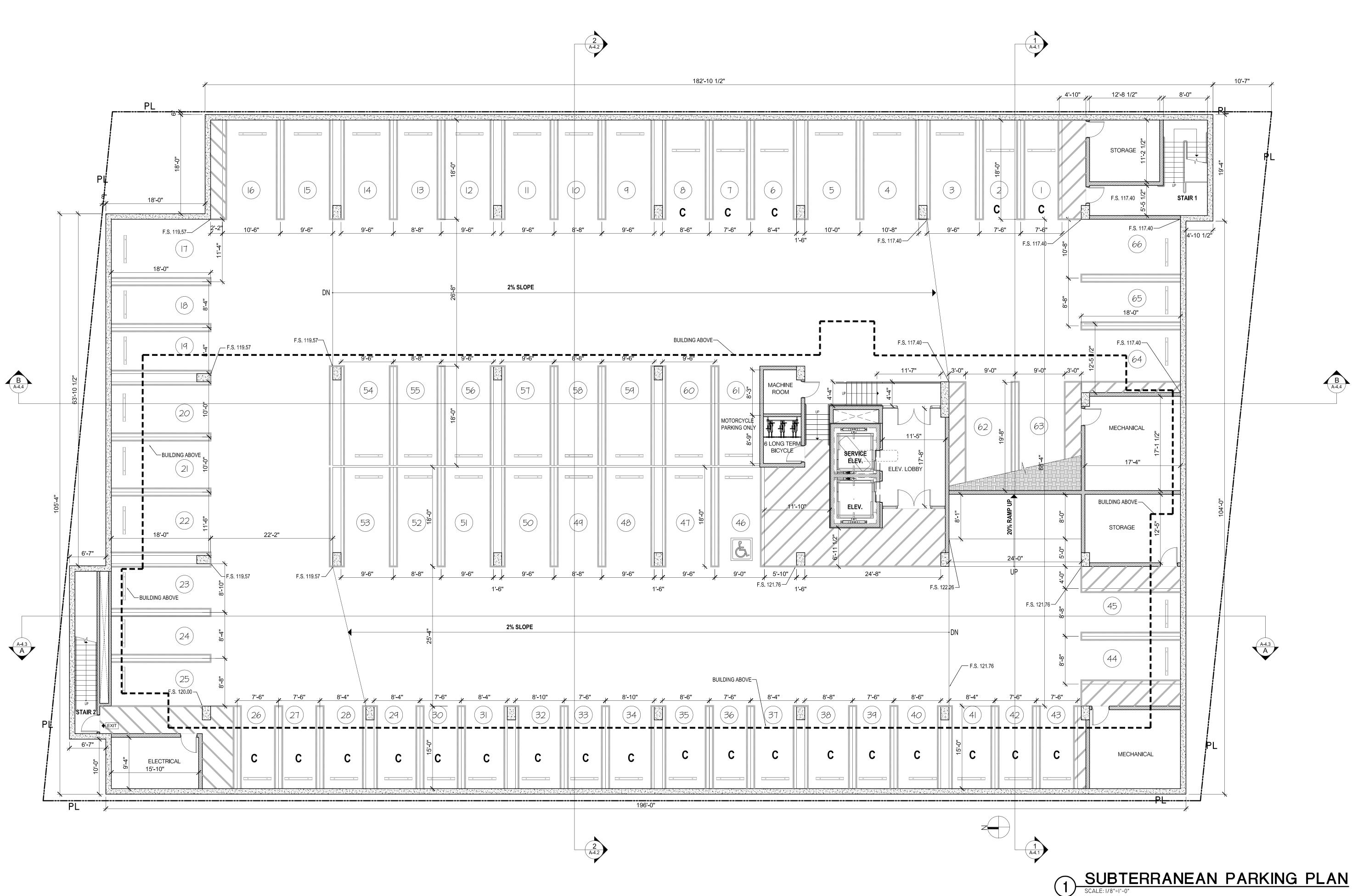
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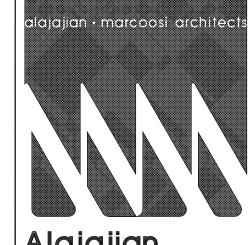
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TOTAL NUMBER OF GUEST ROOMS - 136





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SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

SUBTERRANEAN PARKING PLAN

Scale: 1/8"=1'-0"

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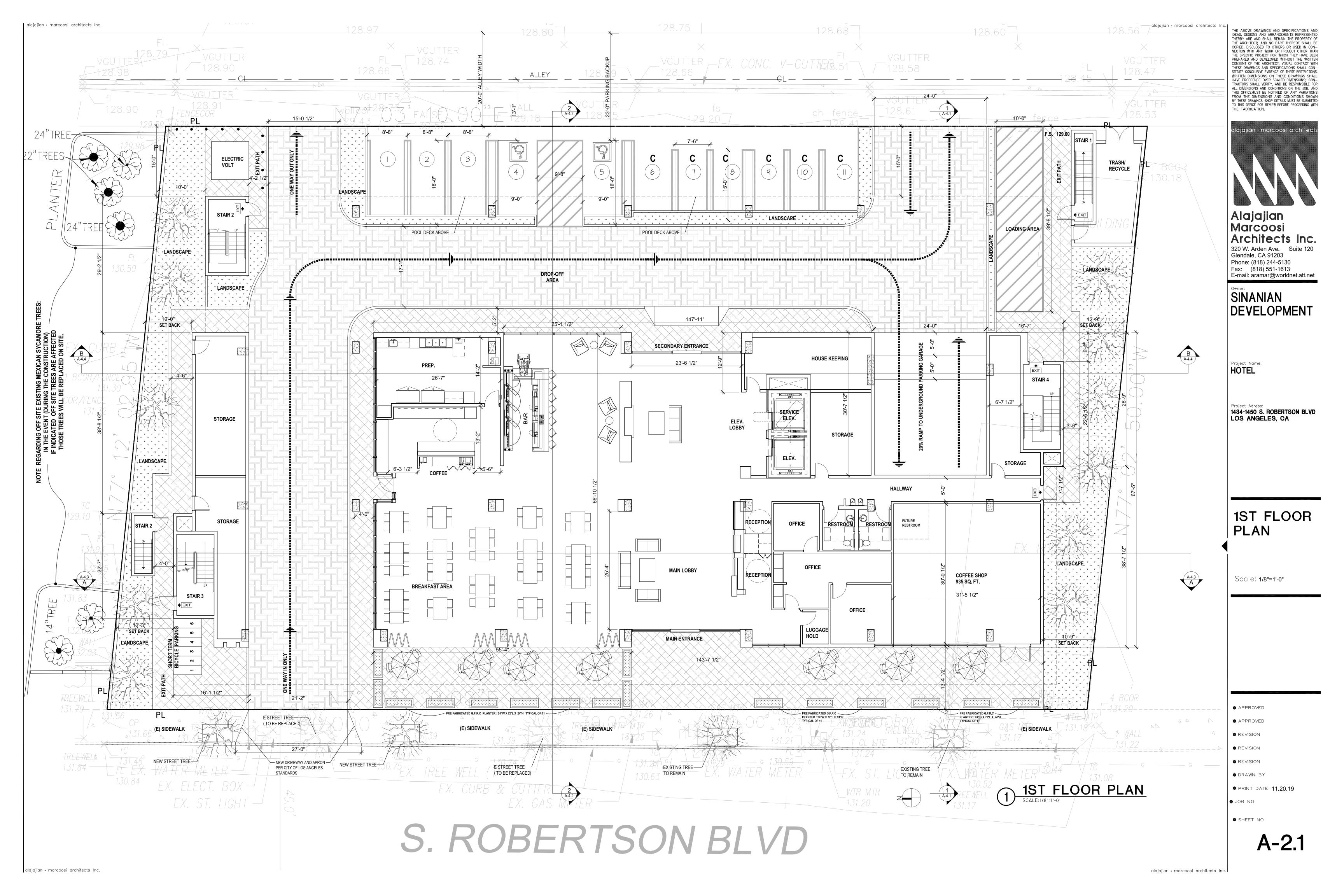
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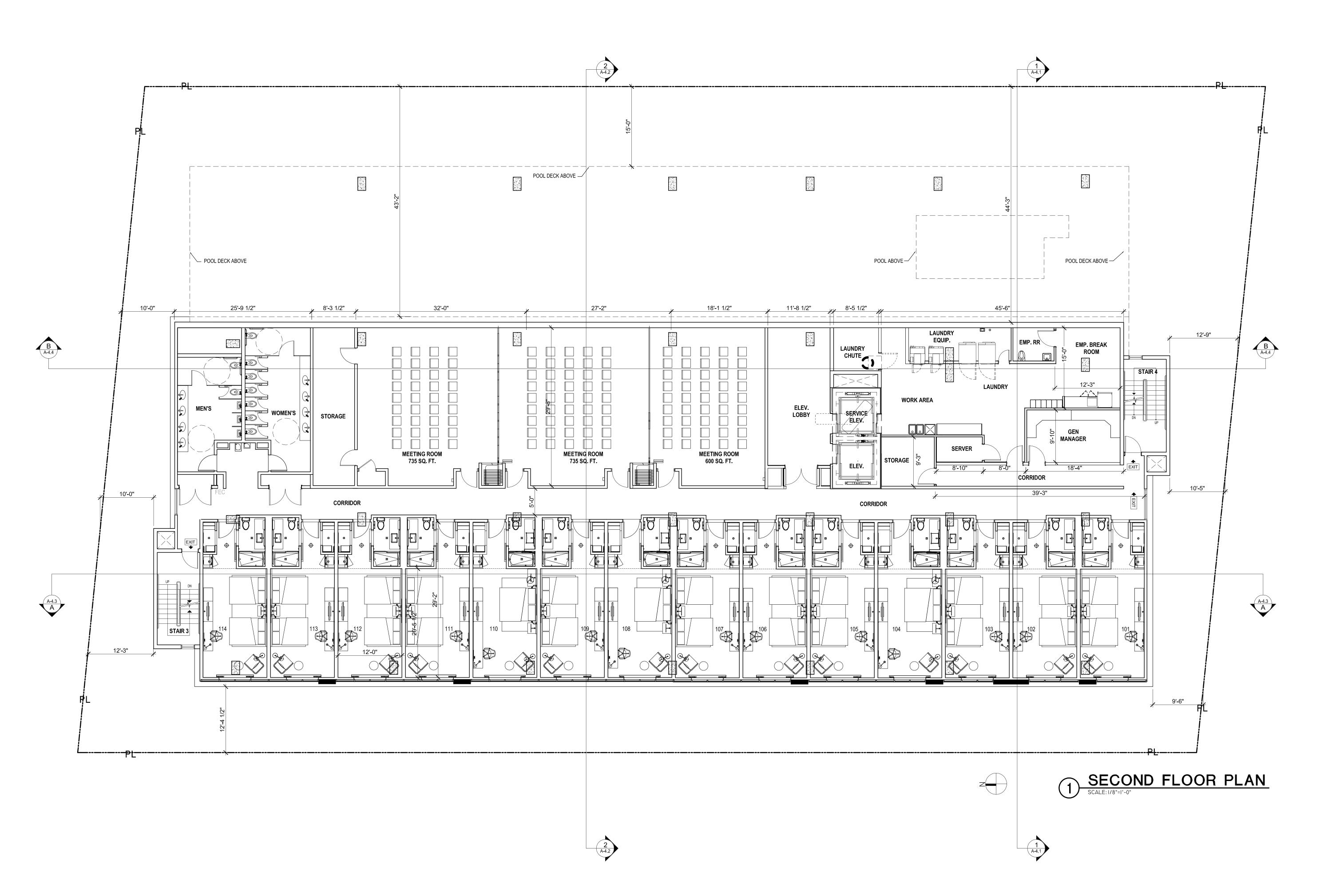
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# SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

# SECOND FLOOR PLAN

Scale: 1/8"=1'-0"

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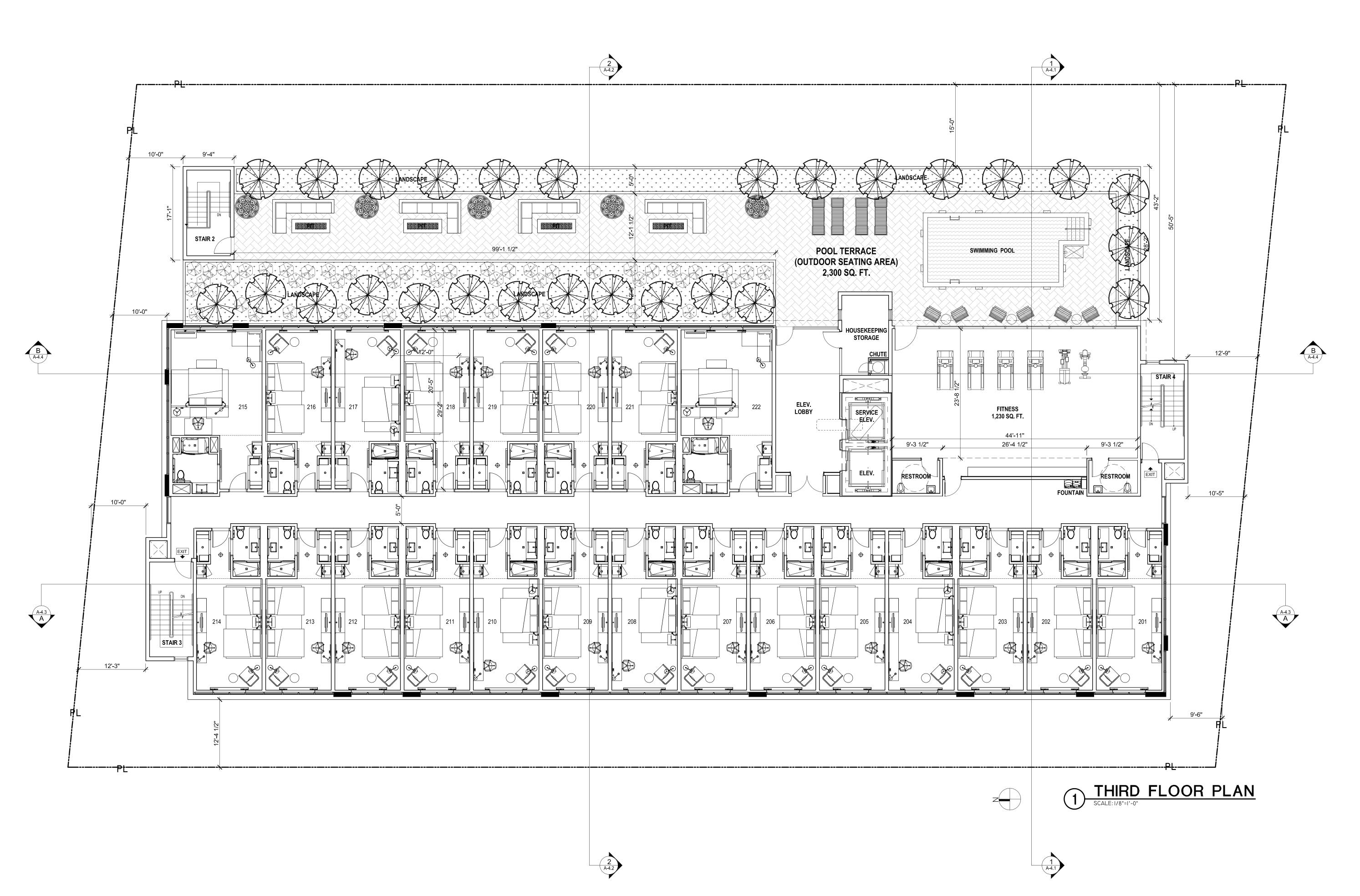
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SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

THIRD FLOOR PLAN

Scale: 1/8"=1'-0"

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• REVISION

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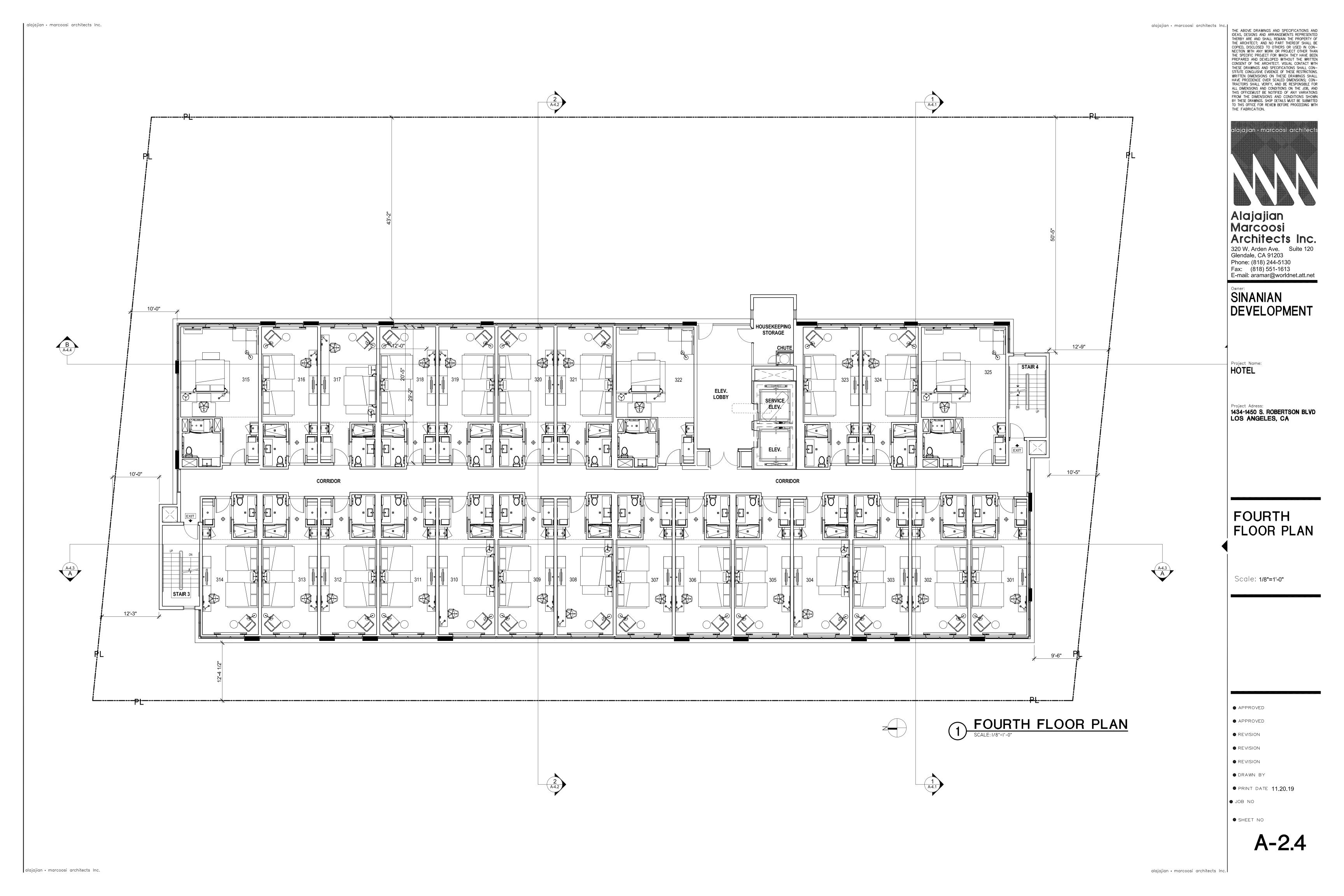
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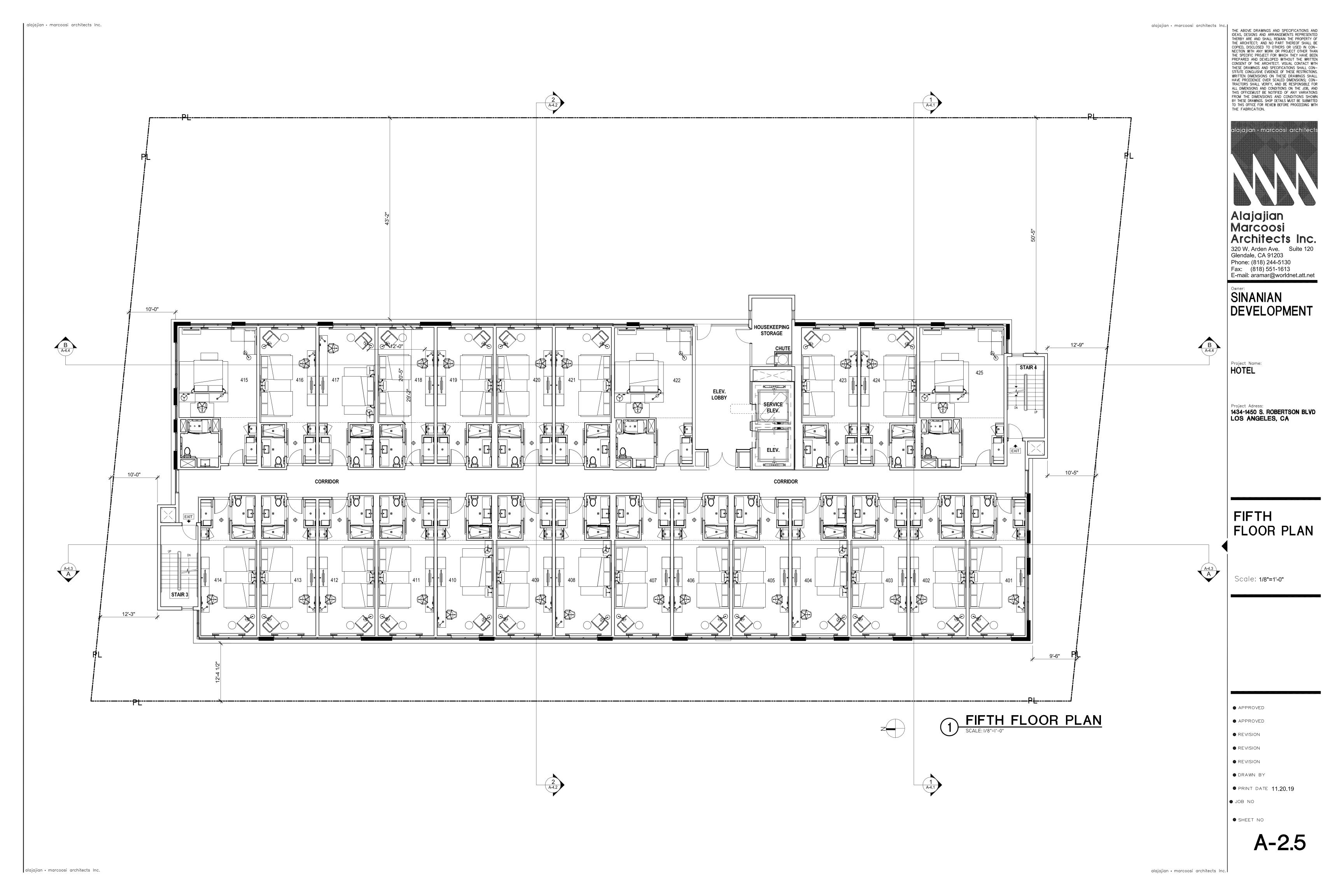
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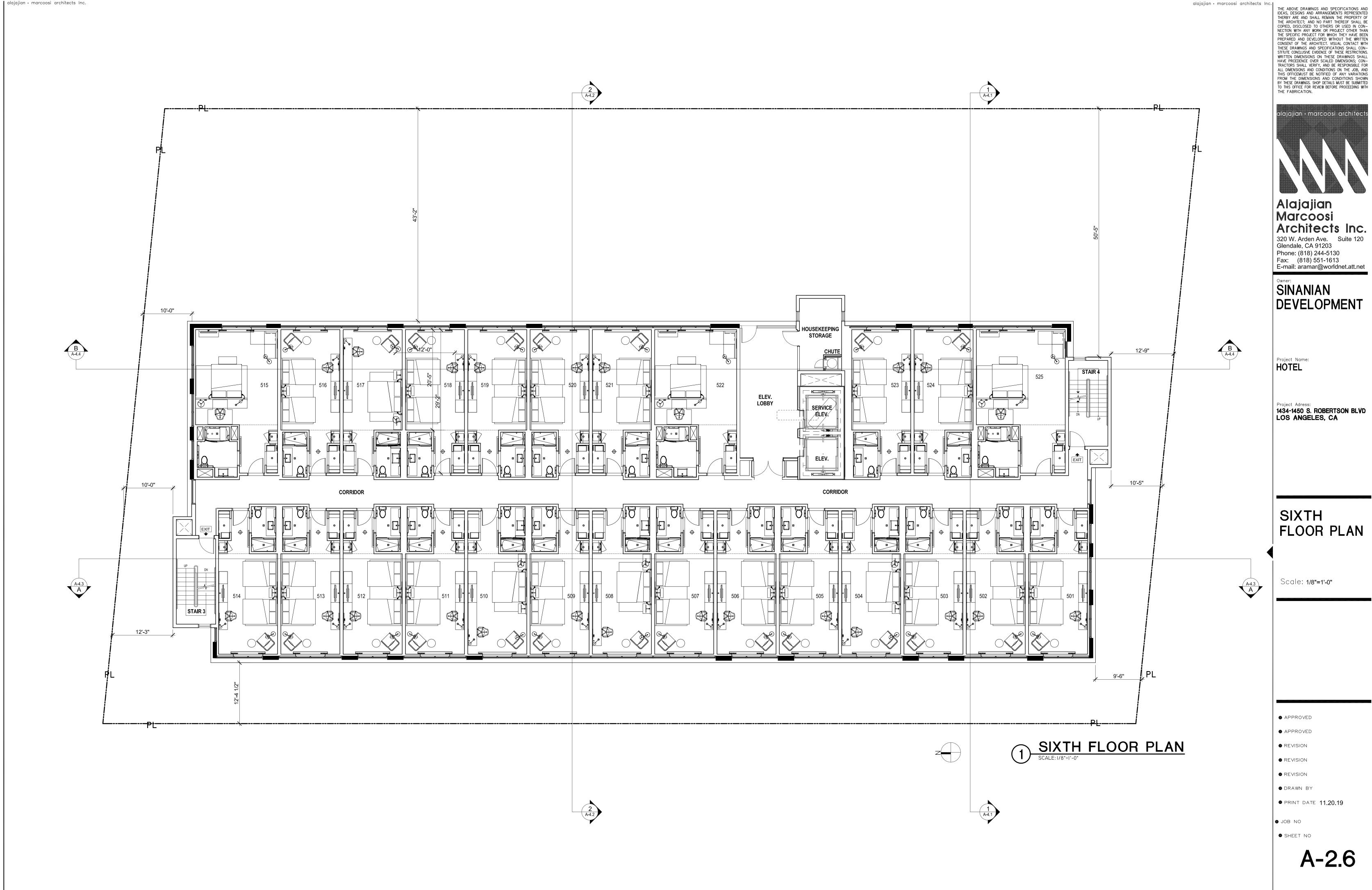
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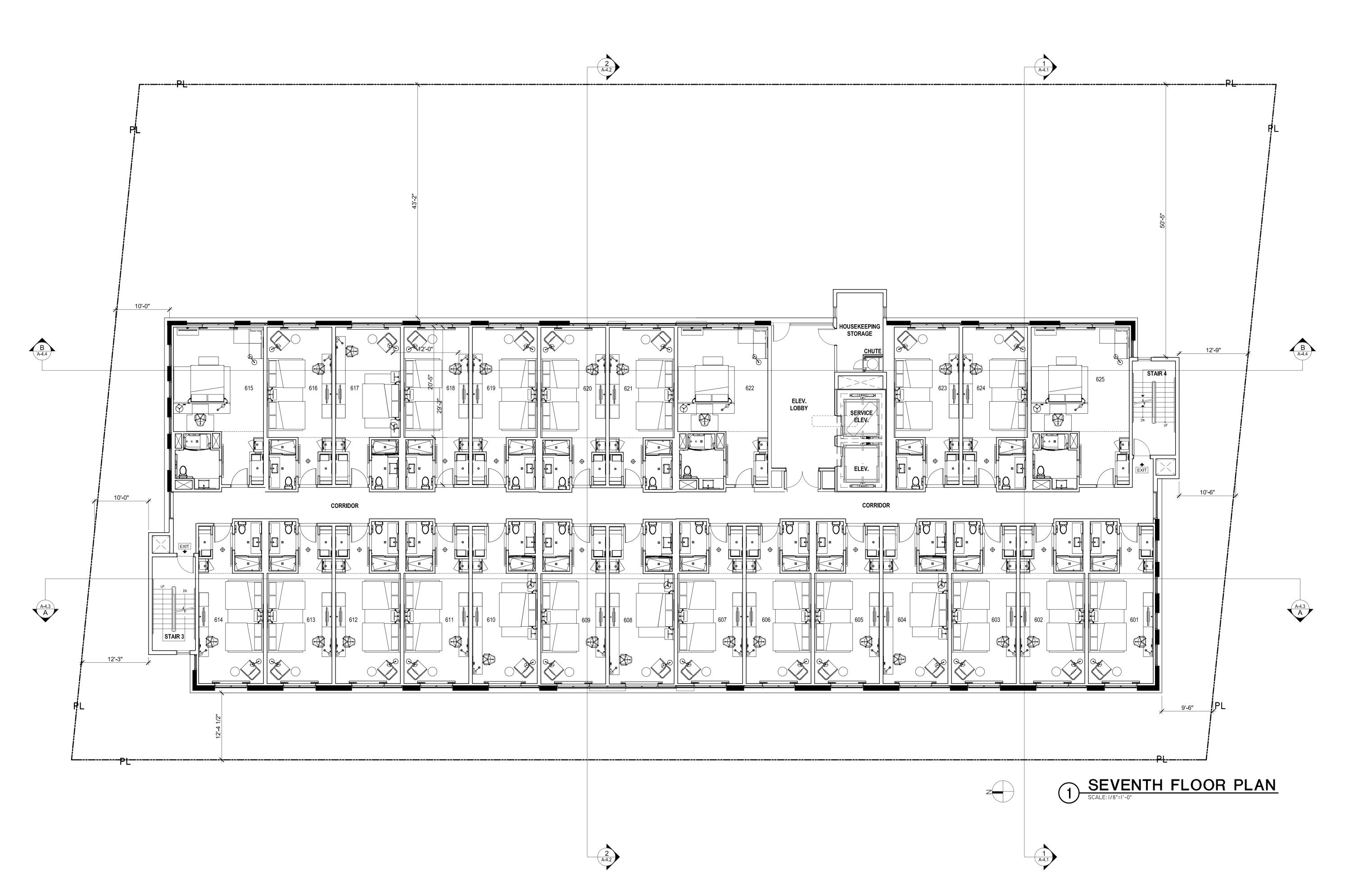


1434-1450 S. ROBERTSON BLVD

FLOOR PLAN

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SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

SEVENTH FLOOR PLAN

Scale: 1/8"=1'-0"

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SHEET NO

A-2.7

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(12) (1.1) (4) **(5)** ! PL (7)(1.2)(13)(1)TOP OF PARAPET @ 213.00 ROOF FIN. FL. @ 210.00 <u>하는 사회, 사회, 사회, 사회, 사회, 역사는 사회사업자를 보고하는데 학교하는데 하는데, 하는데, 하는데, 하는데, 하는데, 사회, 사회, 사회, 기회, 기회, 기회, 기회, 기회, 기회, 기회</u>, 기 6TH FIN. FL. @ 200.00 5TH FIN. FL. @ 190.00 4TH FIN. FL. @ 180.00 3RD FIN. FL. @ 170.00 2ND FIN. FL. @ 160,00 MEZZANINE FL @ 150,00 12'-3" SETBACK HOTEL SIGN PARKING ENTRANCE 10'-9" SETBACK

# (1) WEST ELEVATION SCALE: 1/8"=1'-0"

1 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DEC 722 " BAJA WHITE.

1.1 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6368 " WALRUS.

- 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6337 " SILVER CITY.
- 2 COMPOSITE NATURAL ANODIZED ALUMINUM CLAD OR EQUAL.
- 3) 1/4" NOMINAL THK. "FUNDERMAX 0674 NG MARS RED" OR EQUAL.
- 4) STORFRONT GLASS (PER GREEN CODE)

**EXTERIOR FINISH MATERIALS** 

5 ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS PER GREEN CODE)

- (6) COMPOSITE ALUMINUM COPPING
- (7) 1/4" ALUMINUM REVEAL, "FRY REGLET" OR EQUAL (TYP.)
- 8 6' HIGH DECORATIVE MASONRY WALL COLOR (NATURAL GREY)
- 9 72" HIGH GLASS RAIL.
- 9" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBER AND LUMINATED
- (11) 8" HIGH WOOD PATTERN CAST IN PLACE CONCRETE SIDING
- (12) HOTEL SIGN UNDER SEPARATE PERMIT
- 13 ANODIZED ALUMINUM DOOR / WINDOW DUAL GLAZED LOW "E" VISION GLASS. (PER GREEN CODE)

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Alajajian Marcoosi Architects Inc.

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# SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

# WEST ELEVATION

Scale: 3/16"=1'-0"

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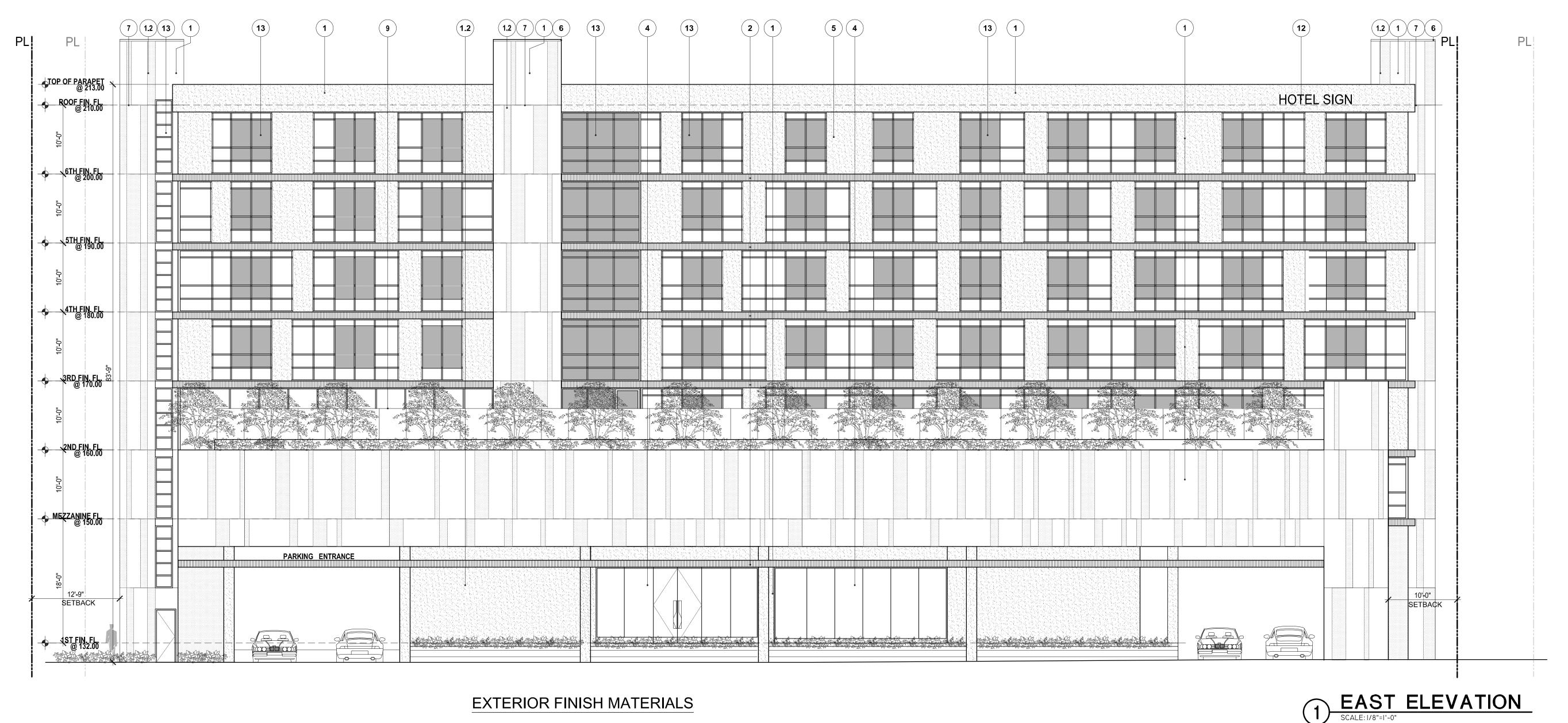
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SHEET NO

• JOB NO

A-3.1



#### **EXTERIOR FINISH MATERIALS**

- 1) 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DEC 722 " BAJA WHITE.
- (1.1) 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6368 " WALRUS.
- (1.2) 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6337 " SILVER CITY.
- COMPOSITE NATURAL ANODIZED ALUMINUM CLAD OR EQUAL.
- 1/4" NOMINAL THK. "FUNDERMAX 0674 NG MARS RED" OR EQUAL.
- STORFRONT GLASS (PER GREEN CODE)
- (5) ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS PER GREEN CODE)

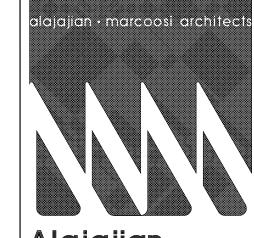
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#### (6) COMPOSITE ALUMINUM COPPING

- (7) 1/4" ALUMINUM REVEAL, "FRY REGLET" OR EQUAL (TYP.)
- (8) 6' HIGH DECORATIVE MASONRY WALL COLOR (NATURAL GREY)
- 9 72" HIGH GLASS RAIL.
- (10) 9" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBER AND LUMINATED
- (11) 8" HIGH WOOD PATTERN CAST IN PLACE CONCRETE SIDING
- 12 HOTEL SIGN UNDER SEPARATE PERMIT
- (13) ANODIZED ALUMINUM DOOR / WINDOW DUAL GLAZED LOW "E" VISION GLASS. ( PER GREEN CODE)

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# SINANIAN DEVELOPMENT

Project Name: HÓTEL

1434-1450 S. ROBERTSON BLVD LOS ANGELES, CA

## EAST ELEVATION

Scale: 3/16"=1'-0"

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• PRINT DATE 11.20.19

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# SCALE: 3/16"=1'-0"

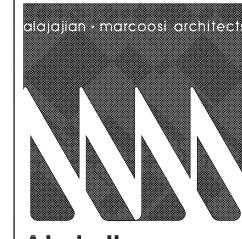
#### **EXTERIOR FINISH MATERIALS**

- 1 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DEC 722 " BAJA WHITE.
- 1.1 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6368 " WALRUS.
- 1.2 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6337 " SILVER CITY.
- 2 COMPOSITE NATURAL ANODIZED ALUMINUM CLAD OR EQUAL.
- (3) 1/4" NOMINAL THK. "FUNDERMAX 0674 NG MARS RED" OR EQUAL.
- (4) STORFRONT GLASS (PER GREEN CODE)
- 5 ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS PER GREEN CODE)

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- (6) COMPOSITE ALUMINUM COPPING
- (7) 1/4" ALUMINUM REVEAL, "FRY REGLET" OR EQUAL (TYP.)
- 8 6' HIGH DECORATIVE MASONRY WALL COLOR (NATURAL GREY)
- 9 72" HIGH GLASS RAIL.
- (10) 9" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBER AND LUMINATED
- (11) 8" HIGH WOOD PATTERN CAST IN PLACE CONCRETE SIDING
- (12) HOTEL SIGN UNDER SEPARATE PERMIT
- 13 ANODIZED ALUMINUM DOOR / WINDOW DUAL GLAZED LOW "E" VISION GLASS. (PER GREEN CODE)

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# SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

# SOUTH

| Scale: **3/16"=1'-0"** 

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HOTEL SIGN

HOTEL SIGN

STREET

# NORTH ELEVATION SCALE: 1/8"=1'-0"

#### EXTERIOR FINISH MATERIALS

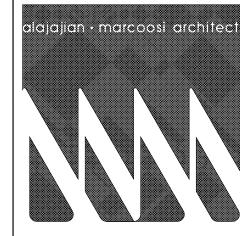
- 1 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DEC 722 " BAJA WHITE.
- 1.1 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6368 " WALRUS.
- 1.2 7/8" THK. LAHABRA STUCCO OR EQUAL, SMOOTH MACHINE FINISH, WITH TWO COATS OF POLYMER BASE EXTERIOR PAINT. DUNN EDWARDS " DE6337 " SILVER CITY.
- EXTERIOR PAINT. DUNN EDWARDS " DE6337 " SILVER CITY.

  (2) COMPOSITE NATURAL ANODIZED ALUMINUM CLAD OR EQUAL.
- (3) 1/4" NOMINAL THK. "FUNDERMAX 0674 NG MARS RED" OR EQUAL.
- 4 STORFRONT GLASS (PER GREEN CODE)
- 4) STORFRONT GLASS (PER GREEN CODE
- 5 ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS PER GREEN CODE)

- 6 COMPOSITE ALUMINUM COPPING
- (7) 1/4" ALUMINUM REVEAL, "FRY REGLET" OR EQUAL (TYP.)
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SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:
1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

NORTH ELEVATION

Scale: 3/16"=1'-0"

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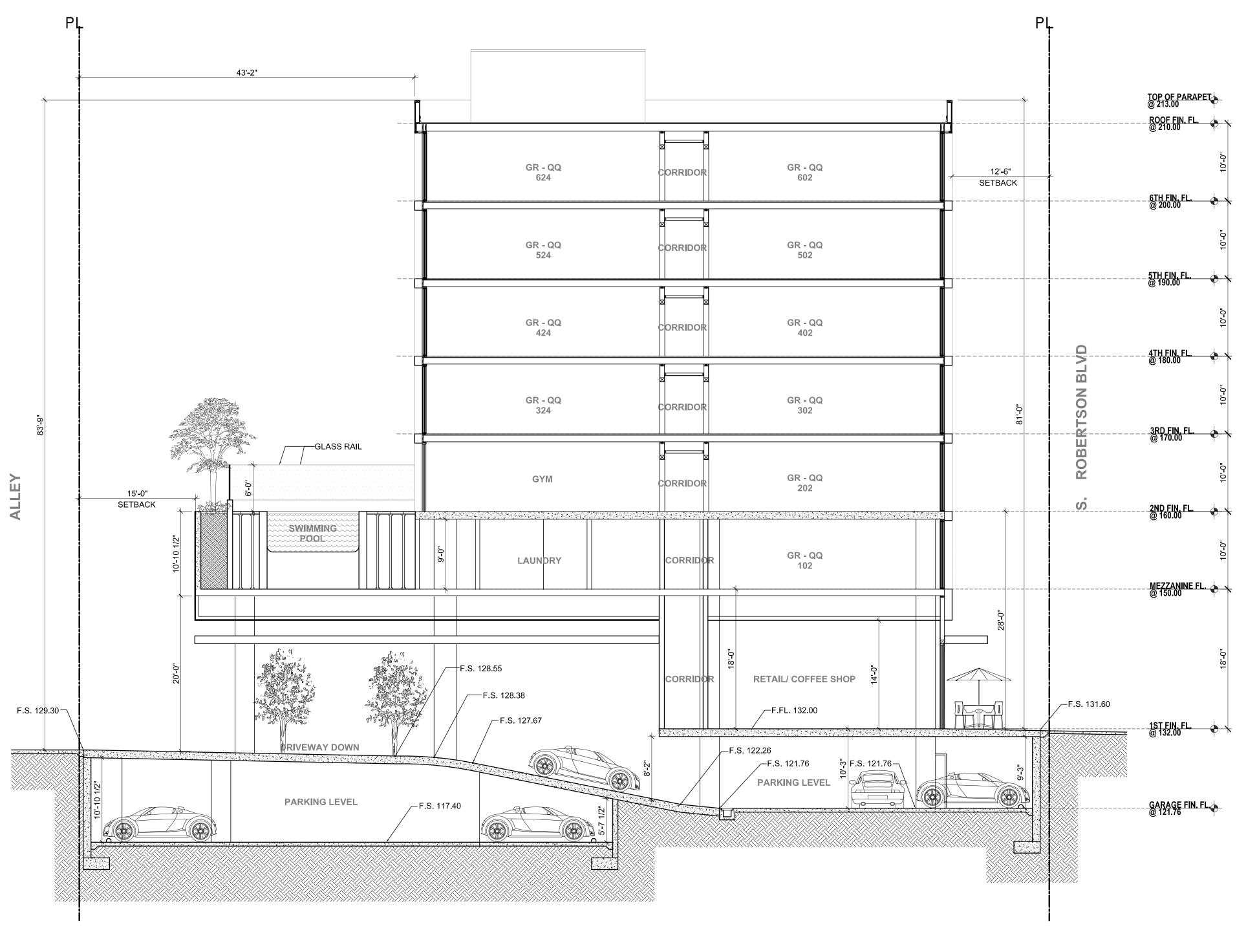
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SECTION 1-1

SCALE: 1/8"=1'-0"

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# SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

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LOS ANGELES, CA

# SECTION 1-1

Scale: 1/8"=1'-0"

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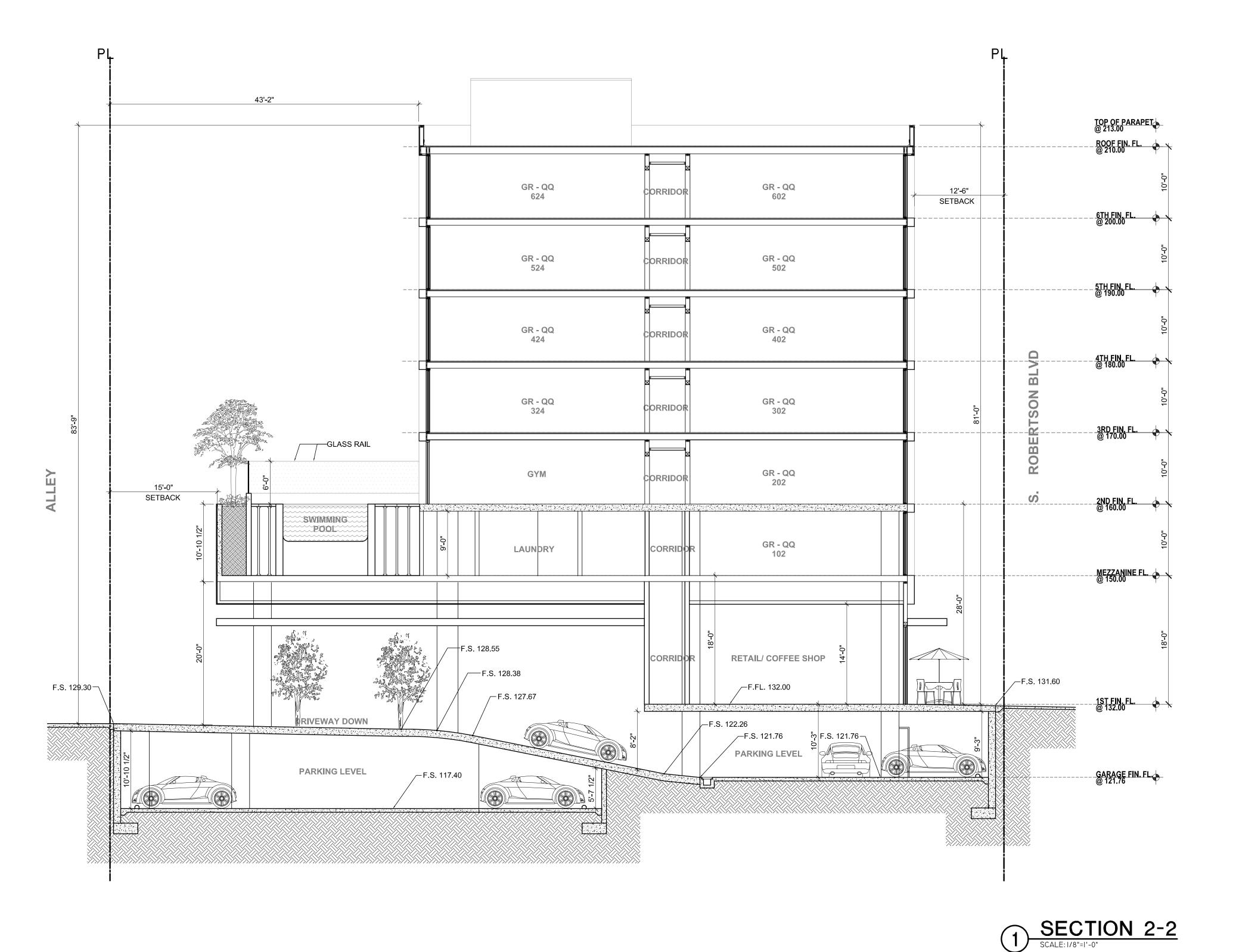
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# SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:
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# SECTION 2-2

Scale: 1/8"=1'-0"

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• JOB NO

• SHEET NO

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PL! PL 10'-10" TOP OF PARAPET @ 213.00 ROOF FIN. FL. @ 210.00 GR QQ 606 GR - QQ 611 6TH FIN. FL @ 200.00 GR QQ 506 GR - QQ 5TH FIN. FL @ 190.00 GR QQ 411 GR - QQ 401 GR QQ 406 GR - QQ 410 GR - K 404 GR QQ 306 GR - QQ 311 GR - QQ 301 GR QQ → 3RD FIN. FL @ 170.00 GR QQ 206 GR - QQ 211 2ND FIN. FL @ 160.00 STAIR 3 MEZZANINE FL. @ 150.00 STORAGE BREAKFAST BREAKFAST **DRIVEWAY** OFFICE F.S. 131.30 STAIR 2 **PARKING LEVEL** PARKING LEVEL PARKING LEVEL ∕−F.S. 121.76 2% SLOPE

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SECTION A-A

SCALE: N/A

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SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

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SECTION A-A

Scale: N/A

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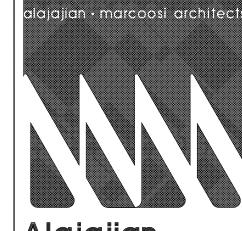
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PL PL STAIR 4 TOP OF PARAPET @213.00 ROOF FIN. AL. @ 210.00 7'-10 1/2" GR - ADA K GR - ADA K 722 HOUSEKEEPING STORAGE GR - QQ 619 GR - ADA K 622 HOUSEKEEPING STORAGE GR - QQ 519 HOUSEKEEPING STORAGE GR QQ 4x0 GR - QQ 419 GR - ADA K 422 ELEVATOR HOUSEKEEPING STORAGE **3RD FIN. FL 2** 0 170.00 HOUSEKEEPING FITNESS STORAGE 2ND FIN. FL @ 160.00 EMP. BREAK ROOM MEETING ROOM MEETING ROOM ELEVATOR LOBBY LAUNDRY EQUIPMENT MEETING ROOM STORAGE LAUNDRY MEZZANINE FL. @ 150.00 HOUSEKEEPING **STORAGE** ELEVATOR STORAGE **DRIVEWAY** PREP AREA BAR AREA LOBBY F.S. 131.30-**DRIVEWAY** MACHINE ROOM STORAGE **PARKING LEVEL** \_ F.S. 116.90 **PARKING LEVEL PARKING LEVEL** \_F.S. 120.56 F.S. 117.40— 2% SLOPE

SECTION B-B

SCALE: N/A

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SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress: 1434-1450 S. ROBERTSON BLYD LOS ANGELES, CA

SECTION B-B

Scale: N/A

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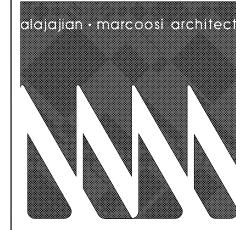
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VIEW FROM SOUTH-WEST

SCALE: N/A

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## SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

# VIEW FROM SOUTH-WEST

Scale: N/A

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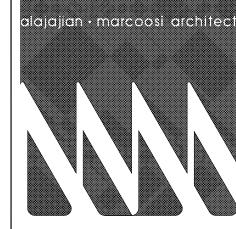
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VIEW FROM NORTH-WEST

SCALE: N/A

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## SINANIAN DEVELOPMENT

Project Name: **HOTEL** 

Project Adress:

1434-1450 S. ROBERTSON BLVD
LOS ANGELES, CA

# VIEW FROM NORTH-WEST

Scale: N/A

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