

**8787 VENICE BLVD
LA 34**

South Robertson
Neighborhoods Council
Land Use Committee Meeting
January 12, 2023

PRESENTATION OUTLINE

- **PROJECT BACKGROUND**
- **ENTITLEMENT INFORMATION: DENSITY BONUS/
AFFORDABLE HOUSING INCENTIVE PROGRAM**
- **PROJECT DESIGN**
- **PROJECT BENEFITS**

Please note: This presentation is for informational purposes only and is not intended to substitute or replace any information in the entitlement application or the zoning code.

AERIAL VIEW



Web Dev with Luke

PeopleReady

8773 Venice Blvd Parking

8813 Venice Blvd Parking

Creative Housing Associates

Father's Office Commissary

Google

HELMS AVENUE

VENICE BOULEVARD

HUTCHISON AVENUE

SITE PHOTOS



ZIMAS



LEGEND

-  Project Site
-  Multi-Family Zone (RD)
-  Commercial Zone (C2)
-  Open Space Zone (OS)

THE PROJECT



Southwest Perspective

Mixed-Use (Residential/Commercial)

- 73 One-Bedroom Apartment Units
 - 11 Restricted Affordable
- 69,176 SF Commercial

Floor Area

- 79,272 SF Residential (53%)
- 16,130 SF Retail (11%)
- 53,046 SF Office (36%)
- 148,448 SF Total (3.53 to 1 FAR)

ENTITLEMENTS

DENSITY BONUS PROGRAM

(AFFORDABLE HOUSING PROGRAM)

WITH INCENTIVES AND WAIVERS

SUSTAINABLE COMMUNITIES PROJECT
EXEMPTION (SCPE)

DENSITY BONUS/ AFFORDABLE HOUSING INCENTIVE PROGRAM

Eligibility Requirements

- 1) **Housing Development Project:** The construction of 5 or more dwelling units in a project wherein at least 50% of the floor area is residential (LAMC Section 12.22.A.25(b)).
- 2) **On-Site Restricted Affordable Units:** At least 15% of density restricted affordable for Very Low Income households as defined by California Department of Housing and Community Development (Government Code Section 65915(d)(2)(C)).
 - “Very Low Income” = 50% of Area Median Income adjusted for family size
 - 2022 Area Median Income (Net) = \$87,750

**DENSITY BONUS/
AFFORDABLE
HOUSING INCENTIVE
PROGRAM**

**Eligibility
Requirements**

1) Housing Development Project: The construction of 5 or more dwelling units in a project wherein at least 50% of the floor area is residential (LAMC Section 12.22.A.25(b)).

Table 1. Proposed Total Floor Area

	Residential	Commercial
Floor Area	79,272 SF	69,176 SF
%	53%	47%



The project meets this requirement and is therefore eligible for the Affordable Housing Density Bonus Program.

**DENSITY BONUS/
AFFORDABLE
HOUSING INCENTIVE
PROGRAM**

**Eligibility
Requirements**

2) On-Site Restricted Affordable Units: At least 15% of¹⁰ density restricted affordable for Very Low-Income households as defined by California Department of Housing and Community Development (Government Code Section 65915(d)(2)(C)).

- “Very Low Income” = 50% of Area Median Income adjusted for family size
- 2022 Area Median Income (Net) = \$87,750

Table 2. Proposed Affordability

Proposed Units	Proposed Affordable	%
73 units	11 units	15%



The project meets this requirement and is therefore eligible for the Affordable Housing Density Bonus Program.

**DENSITY BONUS/
AFFORDABLE
HOUSING INCENTIVE
PROGRAM**

**Incentives and
Waivers***

Incentive: A modification of Zoning Code requirements that enables the construction of affordable housing (California Government Code 65915(k)).

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- **On-Menu Incentive:** Incentives pre-evaluated in LAMC Section 12.22.A.25(f).
- **Off-Menu Incentive:** Project specific incentives that were not pre-evaluated.

Waiver: Relief from development standard that would otherwise physically preclude the construction of housing.

* Provided definitions are intended to summarize the definitions provided

On-Menu Incentive

- 1) “Averaging” or blending, of allowable development across the project site.
- 2) Floor Area Increase up to 35%

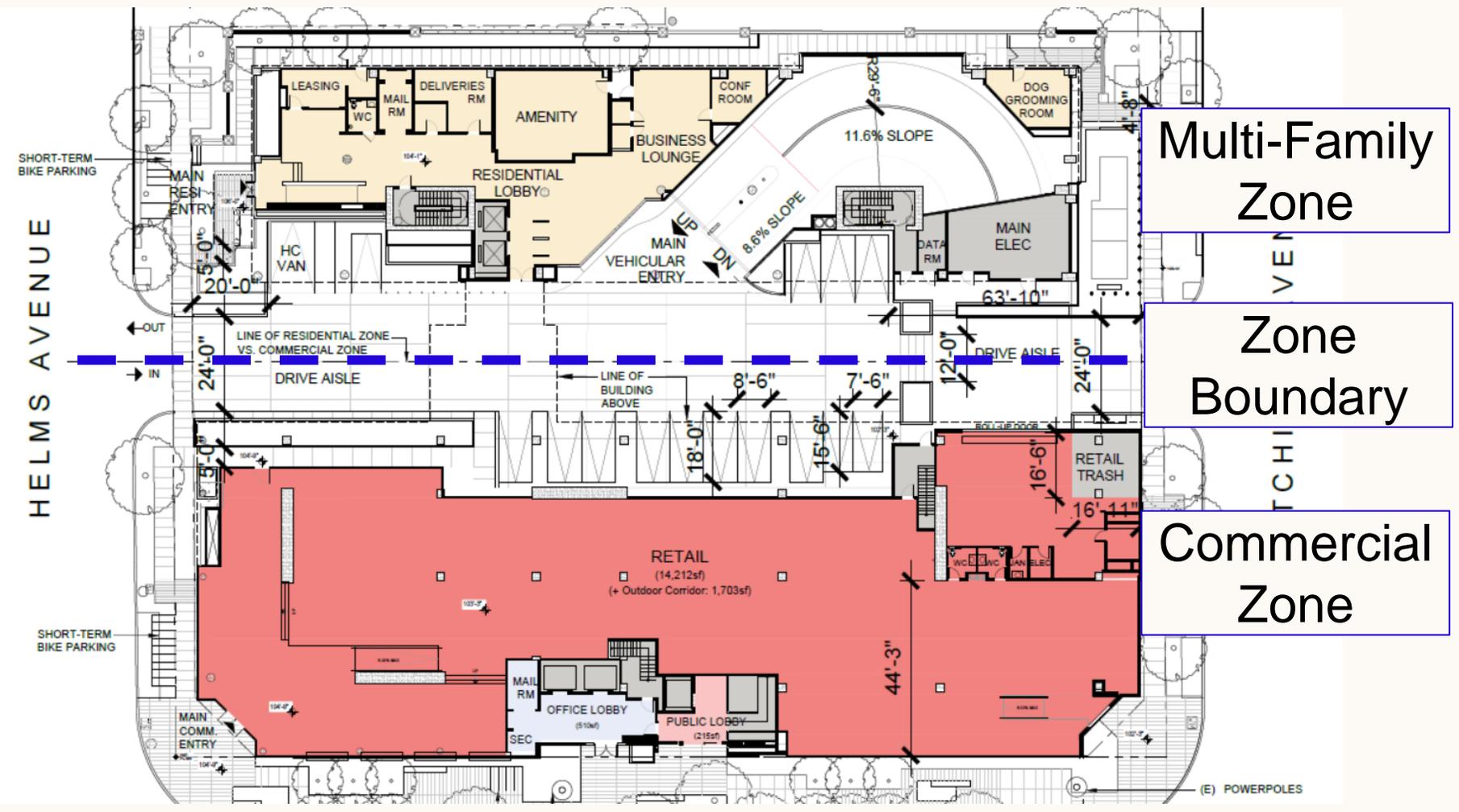
**DENSITY BONUS/
AFFORDABLE
HOUSING INCENTIVE
PROGRAM**

**“On-menu” (pre-
evaluated) incentives**

**DENSITY BONUS/
AFFORDABLE
HOUSING INCENTIVE
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**“On-menu” (pre-
evaluated) incentives**

1) “Averaging” of allowable development 13
across project site.



Ground Floor Plan

**DENSITY BONUS/
AFFORDABLE
HOUSING INCENTIVE
PROGRAM**

**“On-menu” (pre-
evaluated) incentives**

2) Floor Area Increase up to 35%

Table 3. Permitted and Proposed Floor Area

Parcel Group	By Right FAR	Buildable Lot Area (SF)	Permitted Floor Area with On-Menu 35% Floor Area Increase (SF)	Proposed Floor Area (SF)	Proposed FAR	% Increase
Parcel Group C (Commercial)	3 to 1	25,022	101,339	85,349	3.53 to 1	18%
Parcel Group D (Multi-Family)	3 to 1	17,025	68,951	63,099		
TOTAL	3 to 1	42,047	170,290	148,448		

**The project is eligible for a 35% floor area increase.
Only 18% floor area increase is proposed.**

Off-Menu Incentive

Height increase across the Project site

- 22-foot height increase in Multi-Family
- 23.5-foot height increase in Commercial

	Multi-Family	Commercial
By Right	45 feet	55 feet
Density Bonus Incentive	22 feet	23.5 feet
Proposed	67 feet	78.5 feet

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HOUSING INCENTIVE
PROGRAM**

**“Off-menu” (project
specific) incentives**

PROPOSED WAIVERS

DENSITY BONUS/ AFFORDABLE HOUSING INCENTIVE PROGRAM

Proposed Waivers

- Relief from transitional height from OS zone in Venice Boulevard median.
 - ✓ Note there is **no** transitional height requirement adjacent to the north, multi-family zoned neighborhood.
 - ✓ Transitional Height (LAMC Section 12.21.1.A.10) is required from single-family, agricultural or open space zones (OS, in our case)
- Interior amenities to count up to 36% of open space requirement.

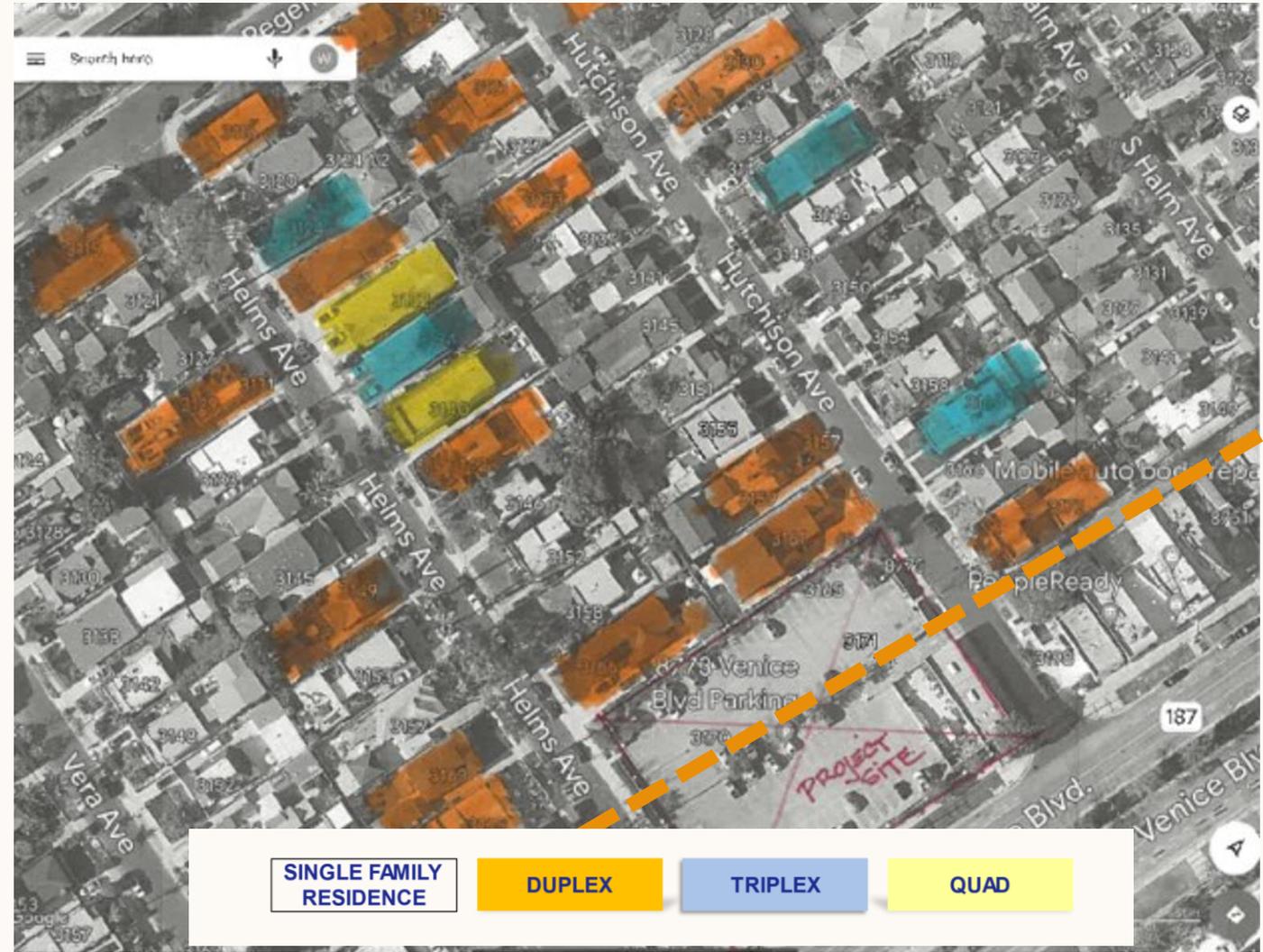
**DENSITY BONUS/
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Proposed Waivers

Neighborhood Map

Helms and Hutchison streets

**45% of parcels are multi-family buildings
23 of 51 parcels**



DENSITY BONUS/ AFFORDABLE HOUSING INCENTIVE PROGRAM

Proposed Waivers

- Relief from transitional height from OS zone in Venice Boulevard median.

Note: This proposal only relates to the property line along Venice Blvd.



**DENSITY BONUS/
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- Interior amenities (Business Center and Fitness Room) to count up to 36% of open space requirement. ¹⁹

Proposed Waivers

Table 5. Required and Proposed Open Space Ratios

	Required	Proposed
Outdoor	At least 50%	60%
Private (Balconies or Patios)	Up to 50%	4%
Interior	Up to 25%	36%

PROJECT DESIGN

- **MASSING**
- **USES**
- **VEHICLE ACCESS**
- **RELATIONSHIP TO HELMS BAKERY**
- **LANDSCAPING**

PROJECT DESIGN

- Massing designed to appear as two buildings



Project Rendering – Helms Perspective

PROJECT DESIGN

- Massing includes 15-foot step back at 6th floor along all street frontages



Project Rendering



Google

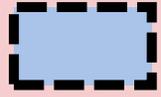
Nearby project at Palms and Woodbine with a 15-foot setback at 6th Floor

PROJECT DESIGN

LEGEND



Retail



Office

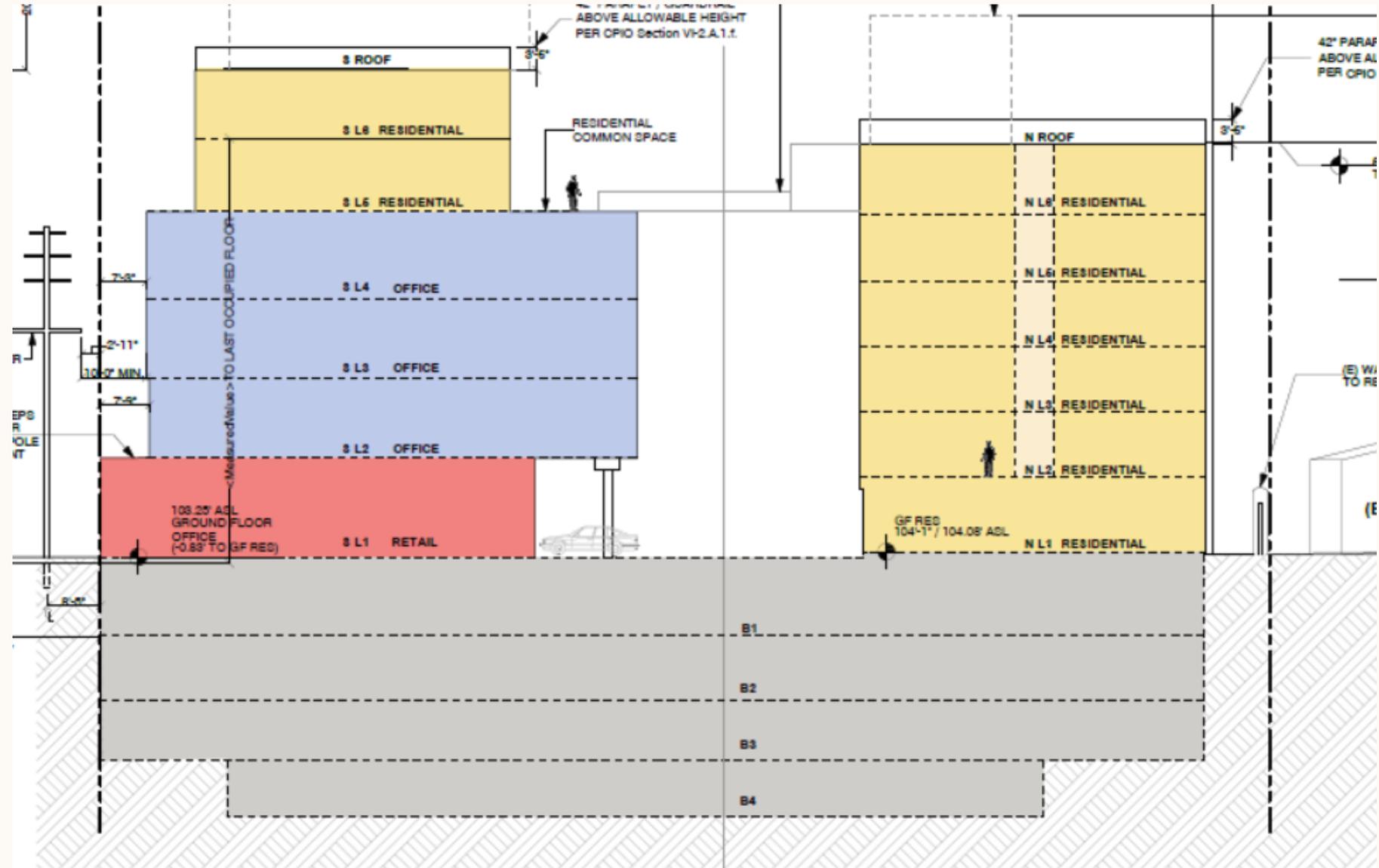


Residential



Parking

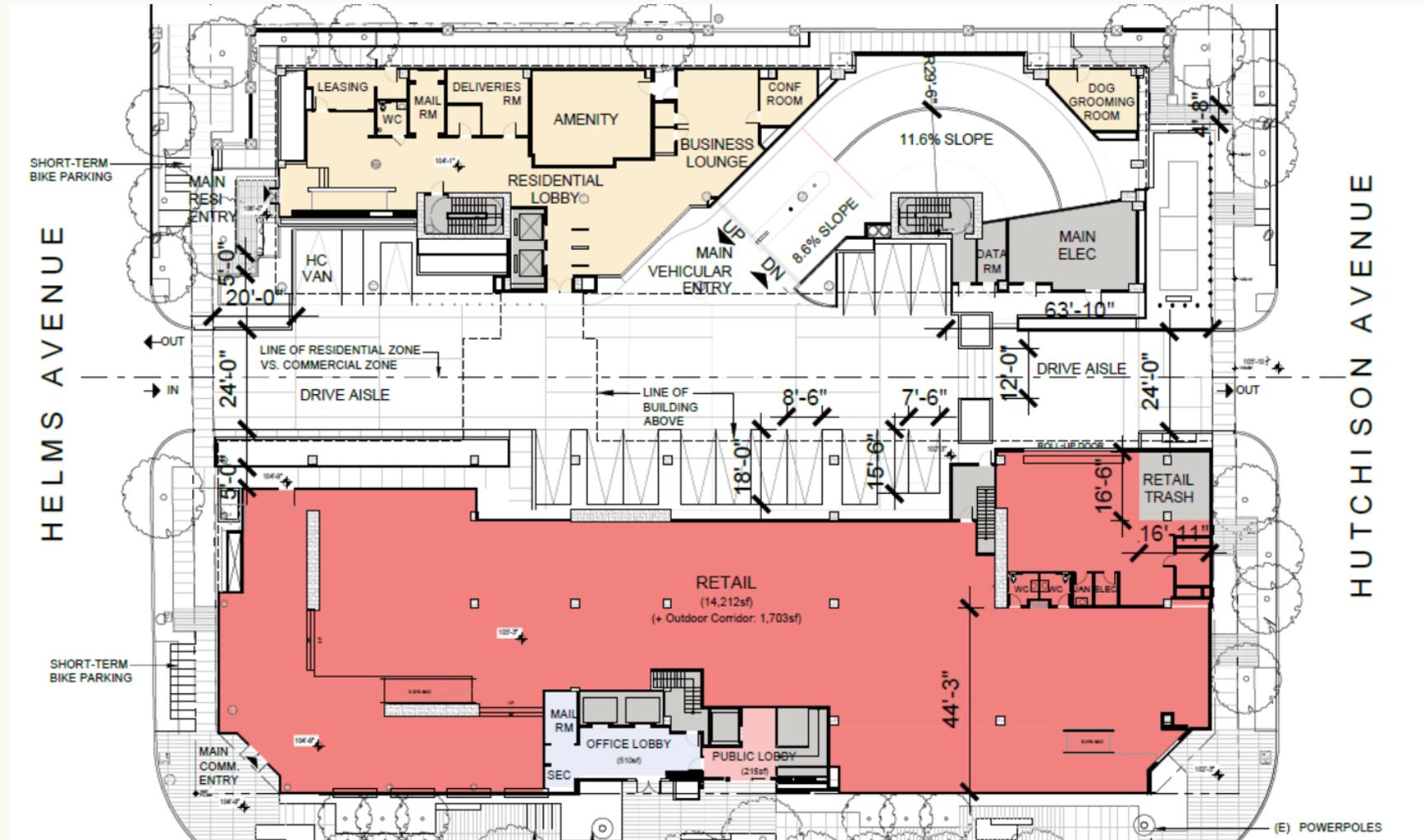
- Designed to accommodate a variety of uses



Section – Hutchison Perspective

PROJECT DESIGN

- Off-street passenger and vehicle loading
- Primarily subterranean parking with internal garage ramp



Ground Floor Plan

PROJECT DESIGN

- Neutral color palette on cementitious panels references adjacent Helms Bakery in a modernist contemporary idiom. Solid exterior massing akin to Helms Bakery²⁵



Project Rendering



Beacon Laundry Building

PROJECT DESIGN

- Repetitive vertical elements breaking horizontal facades is a common theme in art deco architecture, like Helms Bakery



North Elevation



Beacon Laundry Building

PROJECT DESIGN

- Approximately 6,500+ SF of living roof.

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Standard

Soil Depth: Appx. 4 1/4"

Module Size: 1' x 2' x 3 1/4"

Weight: Appx. 27-29 lbs/sf saturated and vegetated.

Dry Weight: Appx. 20 lbs/sf (confirm with local grower.)

Merits: Maximizes storm water management, integrates perfectly with new construction and often times existing buildings.

Plants: Succulent ground covers, water conserving accent plants, and hardy spring blooming bulbs.



Project Benefits Section

- North landscape wall – remaining
- Landscaping
- Street Activation
- Safety Enhancement
- Compatible style – Helms Bakery
- Green house gas reduction
- No existing residents displaced
- On-site EV charging and parking
- Job creation in a transit-rich area
- New residents join this neighborhood

PROJECT BENEFITS

- Existing north PL improvements, including trees and wall, will be retained. 29



Wall along north property line

PROJECT BENEFITS

- Significant streetscape and landscape improvements to improve the pedestrian realm.



Landscape Plan

PROJECT BENEFITS

- Project includes active ground floor uses that increase “eyes” on the street, which enhance public safety.



Existing Venice Boulevard Frontage

PROJECT BENEFITS

- Project includes active ground floor uses that increase “eyes” on the street, enhance public safety.



Proposed Venice Boulevard Frontage

Community (local) Benefits

- Maintains historic integrity of Helms Bakery District.
 - Complements the Helms Bakery in a contemporary and compatible manner
- Generates housing units (including affordable units), retail, and jobs in a transit-rich area.
- Rare example of a development site with no existing dwelling units.
 - No existing residents will be displaced by the project.
- Use of solar panels to augment the Grid
- Automated parking system has capacity for 100% EV charging for its patrons.